

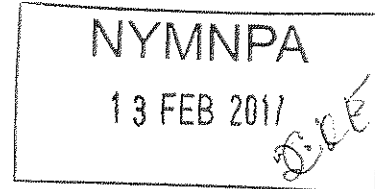
17/0023 HW

Colette Kelly

From: Rowena Sommerville
Sent: 13 February 2017 15:42
To: Chris France; Helen Webster; Colette Kelly; Mark Hill
Cc:

Subject: NYM/2017/0023/FL

Follow Up Flag: Follow up
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Colleagues,

re: **Application NYM/2017/0023/FL**

I have been informed that an application has been lodged, seeking to alter the terms of the planning agreement to an extension of the Victoria Hotel (by building an 'orangery' to the front of the property), which had originally been granted in 2015. I understand that the owner - copied in to this email - seeks to roof the extension with tiles rather than with glass, to minimise noise disturbance to neighbours.

No doubt technical guidance can be sought as to whether or not tiling would have this effect. Undoubtedly, tiling would make the extension heavier on the ground - and this is my main concern.

The original planning application was granted in 2015; I am an immediate neighbour of the Vic, my garden runs alongside the car park, but I knew nothing of this application - which is surely odd? I had thought that planning applicants had a responsibility to inform any neighbours who might be affected by the actions in question prior to any decision, but perhaps I have been misinformed?

During 2016 I have seen very considerable alteration/ erosion of the cliff at the end of my garden, and the eroding edge carries on from my property to the Vic - it is the seaward edge of the land where the proposed 'orangery' is to be built. I have lived in this property for thirty years and this is the first time that I have seen such movement, which I have raised with Mr Fiddler (Victoria Hotel) in person, and with the local Council.

I am very concerned that disturbing/building on such unstable land will inevitably hasten land movement, thus endangering my property - and hence affecting property values for the whole of Victoria Terrace and other nearby properties. Who will be responsible for this financial loss?

I strongly contend that the site should be re-assessed, taking into consideration this recent alteration, immediately next to it. None of us wants to see another Holbeck Hall - and still less to be financially responsible for it, I imagine.

I bring this serious matter to your attention, and I await your response with keen interest,

Yours sincerely,
Rowena Sommerville
Flat 2, Glenfield
Victoria Terrace

