

Planning (Listed Buildings and Conservation Areas) Act 1990  
North York Moors National Park Authority

Notice of Decision of Planning Authority on Application for  
Listed Building Consent

To Ms S Mallard  
c/o Ursula Bradwell Architects  
Church Hall  
Newton Street  
Whitby  
YO21 1QX

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The above named Authority being the Planning Authority for the purposes of your application validated 20 March 2017, in respect of the proposed **Listed Building consent for installation of replacement window to dormer and rooflight together with internal alterations including removal of partition at Hollington, The Square, Robin Hoods Bay**, has considered your said application and has **granted** consent in respect of the proposed works subject to the following conditions:

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.
2. The development hereby permitted shall not be carried out other than in strict accordance with the following documents:

Document Description	Document No.	Date Received
Location Plan	N/A	15 March 2017
Proposed Floor Plans	3021M.16.03F	05 September 2017
Proposed Elevations and Sections	3021M.16.04G	22 September 2017
Structural Calculations for Hollington	2479 1A Oct 2016	03 October 2017

- or in accordance with any minor variation thereof that may be approved in writing by the Local Planning Authority.
3. Notwithstanding the first floor structure detailed on cross section a-a on submitted drawing 3021M.16.04G, the flitch plates shall be as specified (i.e. 8mm x 60mm steel plates) installed/fixd to the side of the existing joists in accordance with the detail described in the submitted Structural Calculations 2479 1A Oct 2016, received on 03 October 2017.
  4. All pointing in the development hereby permitted shall accord with the following specification - a lime mortar mix of 1:2½ (lime; sand (sand mix of 50% sieved sharp sand and 50% builders sand)) with a slightly recessed bagged finish.
  5. Prior to the installation of the fireplace hereby approved, details of the design and construction of the new fire surround shall be submitted to and agreed in writing with the Local Planning Authority. The fireplace shall then be installed in accordance with the approved details and thereafter be so maintained.

Continued/Informative



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Mr C M France  
Director of Planning

Date 10 6 OCT 2017

**Informative**

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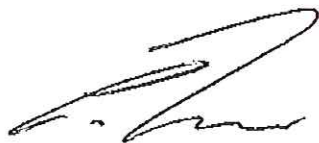
1. All bats and their roosts are fully protected under the Wildlife and Countryside Act 1981 (as amended by the Countryside and Rights of Way Act 2000) and are further protected under Regulation 39(1) of the Conservation (Natural Habitats etc.) Regulations 1994. Should any bats or evidence of bats be found prior to or during development, work must stop immediately and Natural England contacted on 0300 060 3900 for further advice. This is a legal requirement under the Wildlife and Countryside Act 1981 (as amended) and applies to whoever carries out the work. All contractors on site should be made aware of this requirement and given information to contact Natural England or the Bat Conservation Trust national helpline on 0845 1300 228.

**Reasons for Conditions**

1. To ensure compliance with Sections 18(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended.
2. For the avoidance of doubt and to ensure that the details of the development comply with the provisions of NYM Core Policy A and NYM Development Policy 3, which seek to conserve and enhance the special qualities of the NYM National Park.
- 3 – 5. For the avoidance of doubt and in order to comply with the provisions of NYM Development Policy 5 which seek to ensure that alterations to Listed Buildings do not have any unacceptable impact on the special architectural or historic interest of the building.

**Explanation of how the Authority has Worked Positively with the Applicant/Agent**

The Local Planning Authority has acted positively and proactively in determining this application by identifying matters of concern within the application (as originally submitted) and negotiating, with the Applicant, acceptable amendments to the proposal to address those concerns. As a result, the Local Planning Authority has been able to grant planning permission for an acceptable proposal, in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework.



Mr C M France  
Director of Planning

Date **06 OCT 2017**

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