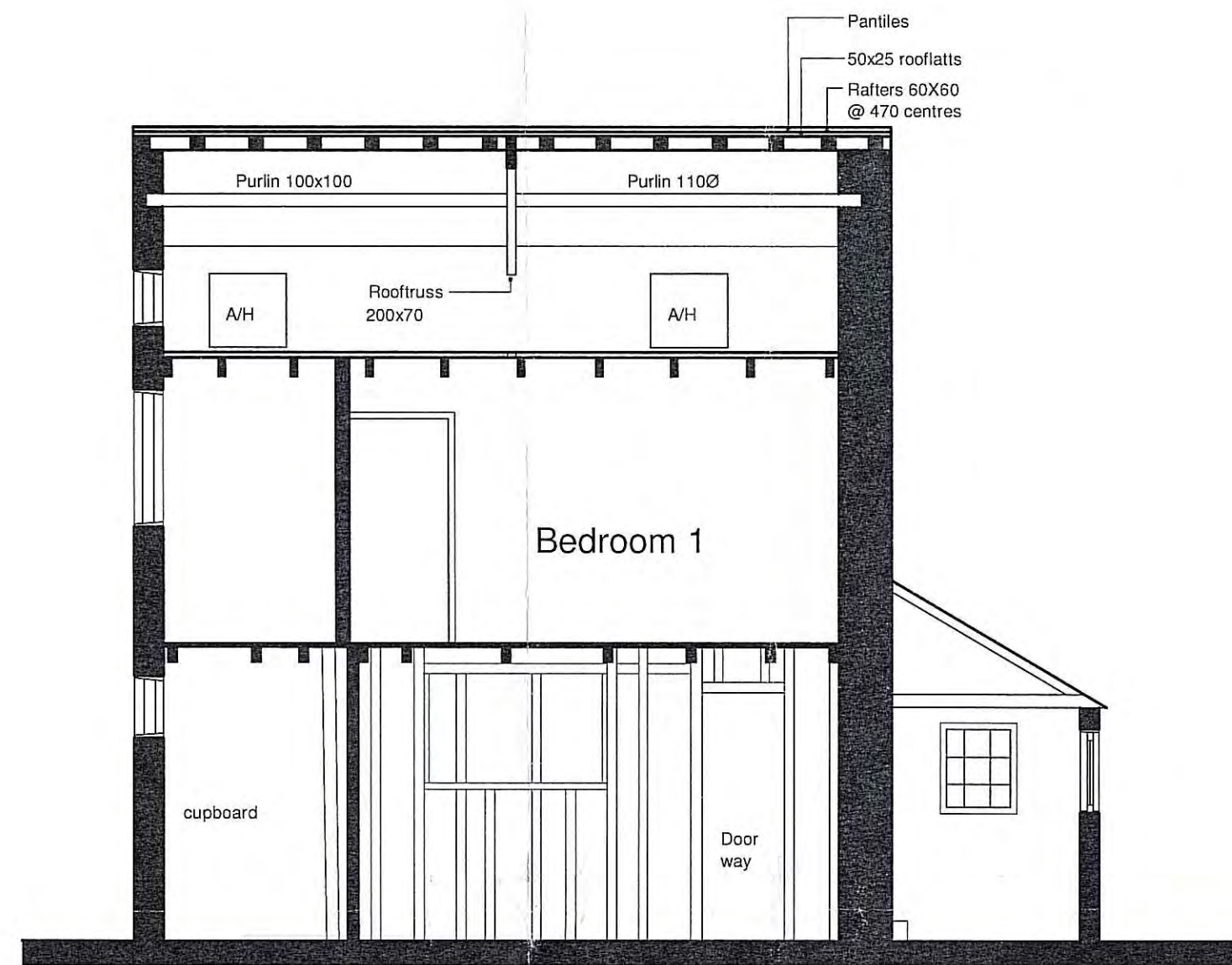


Note: Do not scale. Only use figured dimensions.  
All discrepancies to be notified to this office.

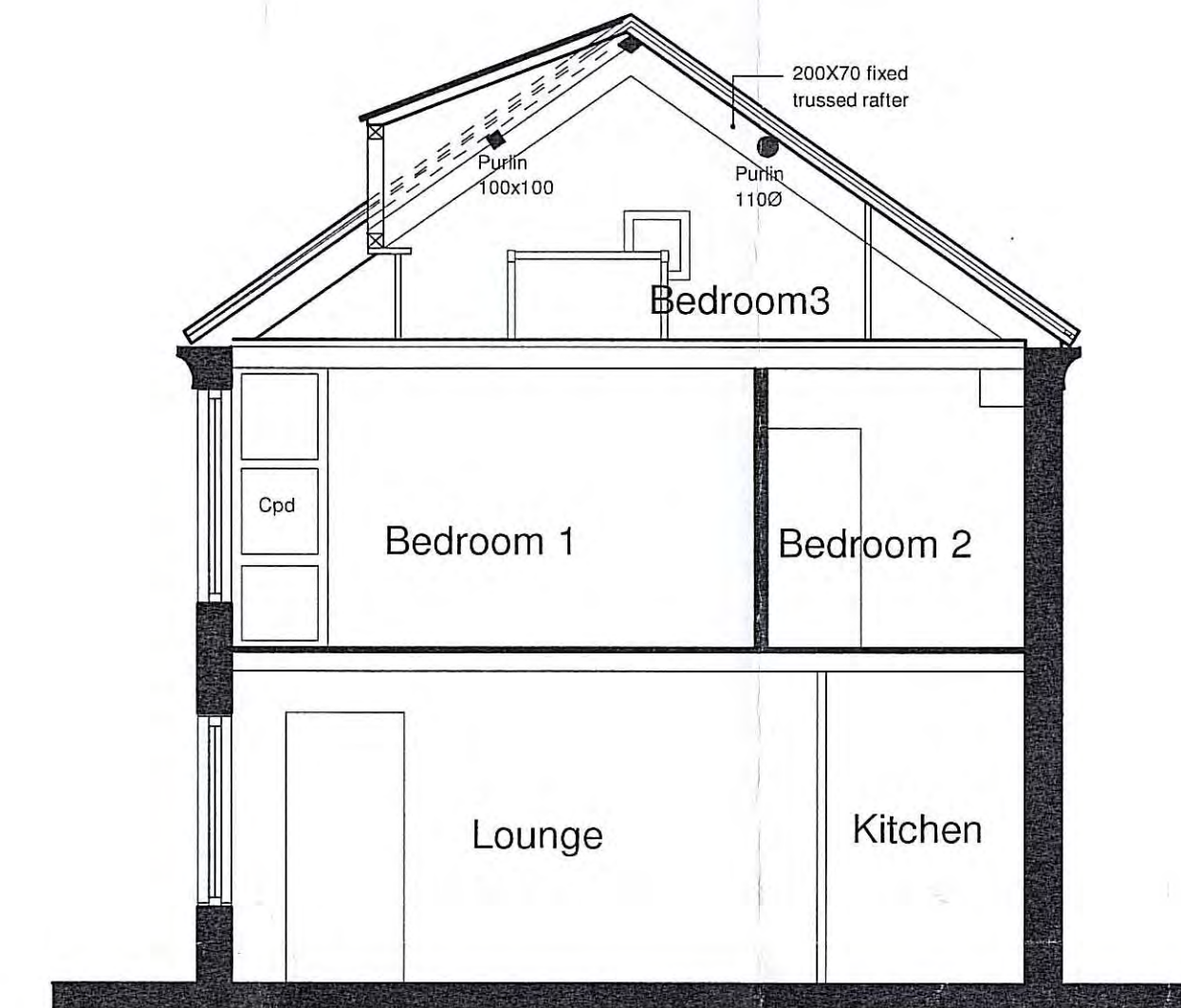
# Proposed Alterations & Renovation, Hollington, The Square, Robin Hoods Bay, North Yorkshire for Ms S. Mallard.



front elevation




section a-a



section b-b



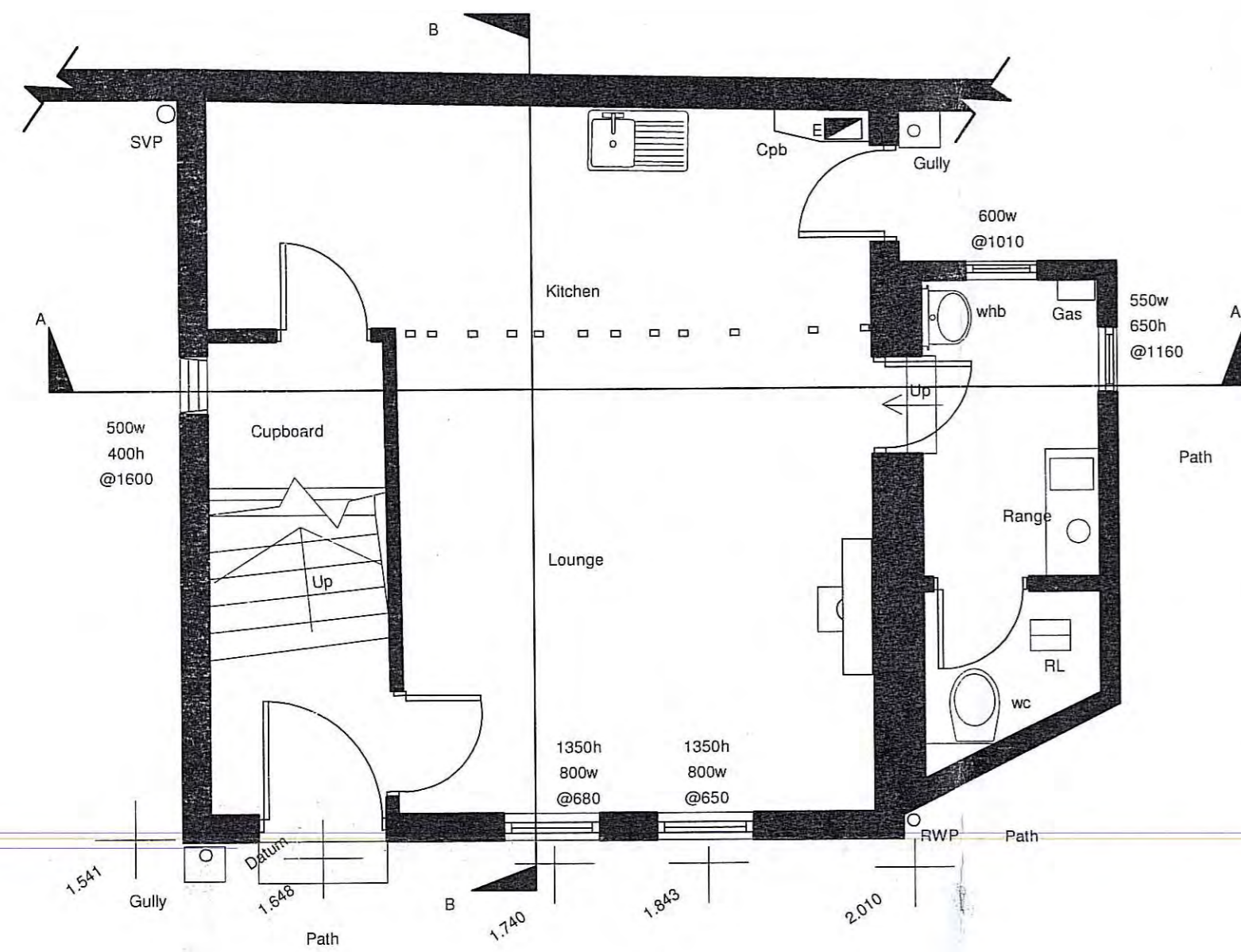
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<small>Rev C: Feb 17 - Notes Amended Rev B: Nov 16 - Notes Amended Rev A: Aug 16 - Notes Amended</small>	
<b>ub architects</b> Ursula Bradwell Architects Church Hall Newton Street Whitby North Yorks. YO21 1QX	
	
MS S. MALLARD <small>CLIENT</small>	
PROPOSED ALTERATIONS & RENOVATION <small>PROJECT</small>	
HOLLINGTON THE SQUARE ROBIN HOODS BAY NORTH YORKSHIRE <small>ADDRESS</small>	
EXISTING ELEVATION & SECTIONS <small>DRAWING</small>	
1:50 <small>SCALE</small>	JULY 2016 <small>DATE</small>
<b>3021M.16.02C</b> <small>DRAWING No.</small>	
<small>Copyright Reserved</small>	

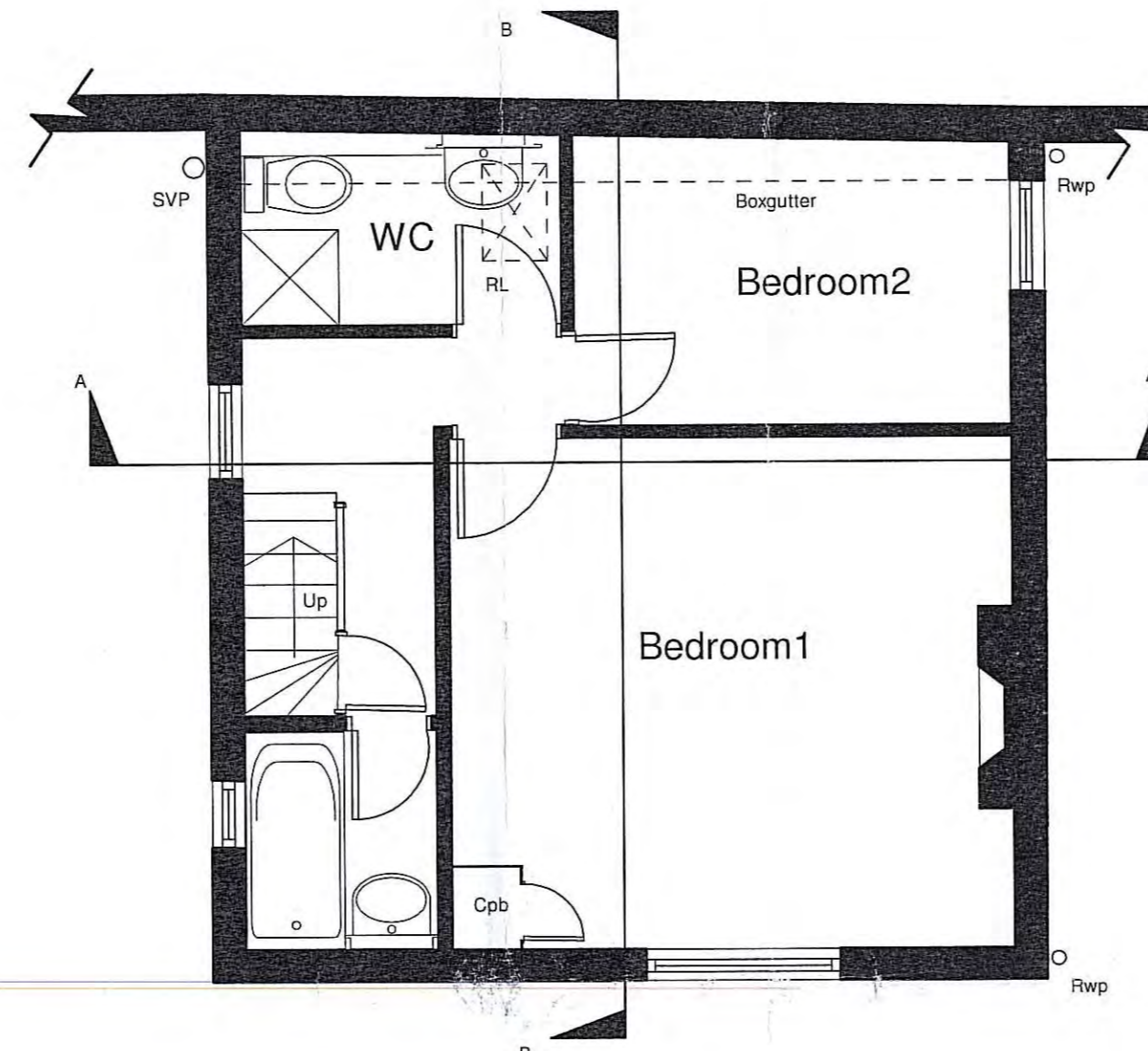
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# Proposed Alterations & Renovation, Hollington, The Square, Robin Hoods Bay, North Yorkshire for Ms S. Mallard.

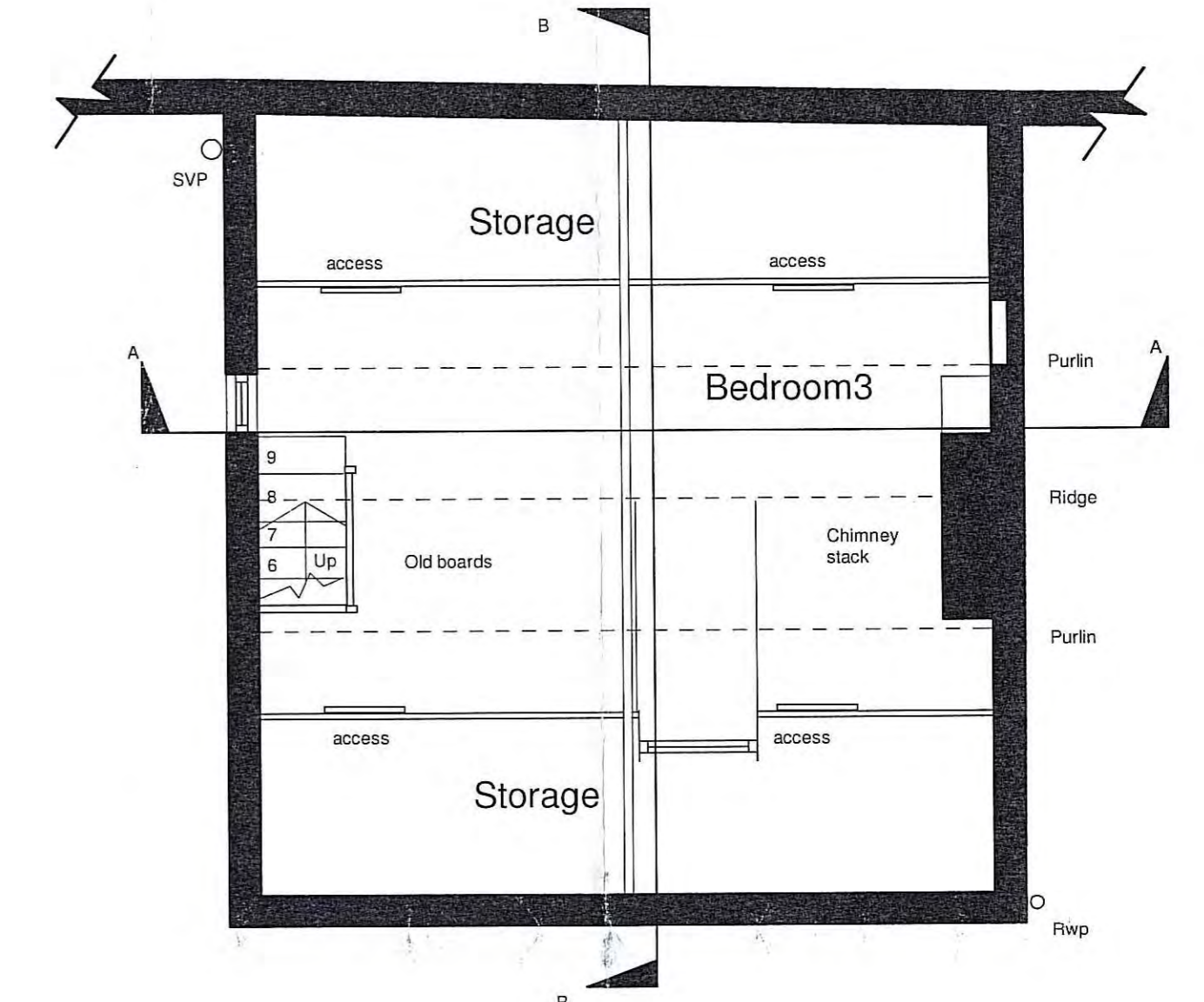
NYMNPA  
27 FEB 2017



ground floor plan



first floor plan



second floor plan

PROVISIONAL

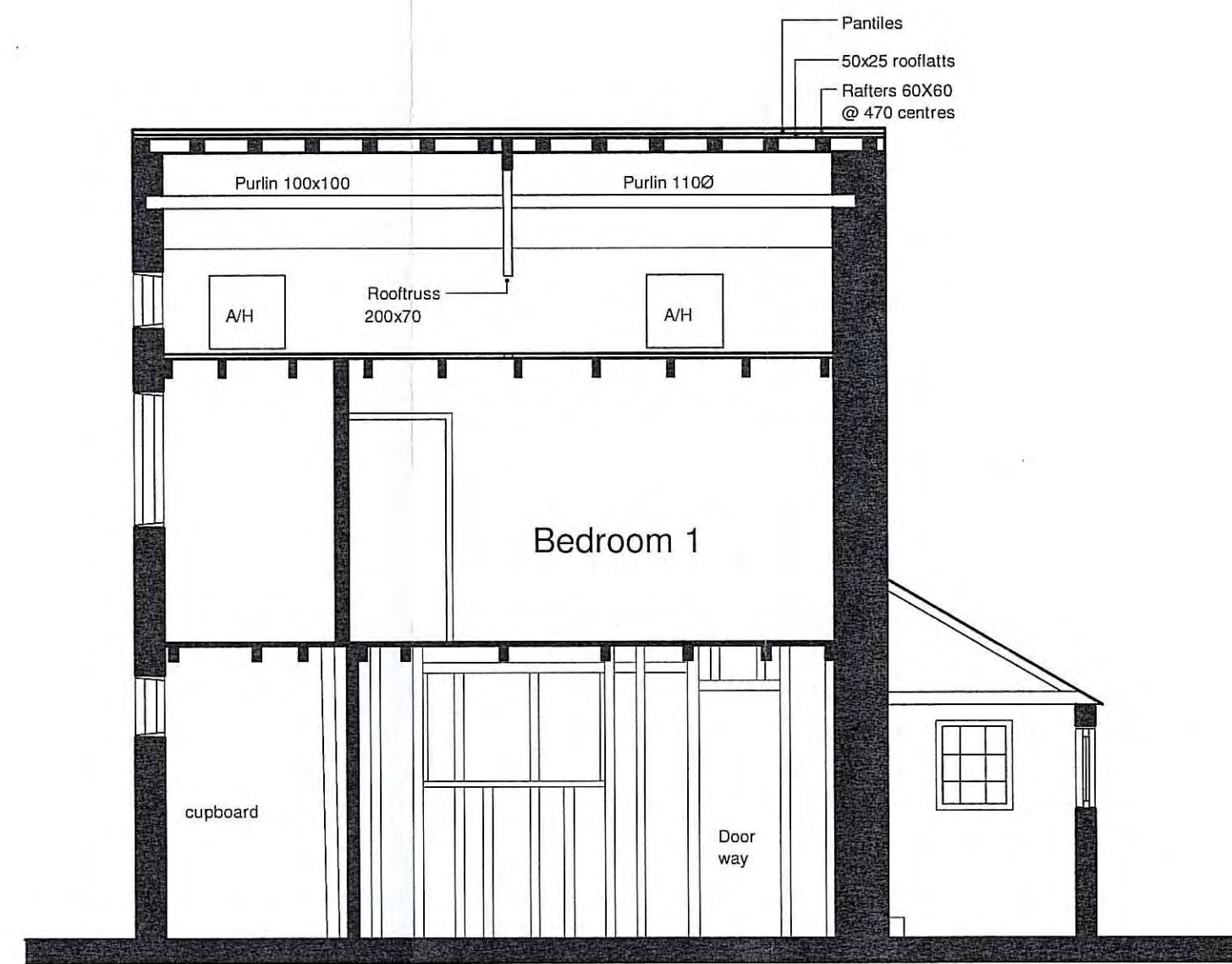
Rev B: Nov 16 - Notes Amended Rev A: Aug 16 - Notes Amended		REVS
<b>ub architects</b> Ursula Bradwell Architects Church Hall Newton Street Whitby North Yorks. YO21 1QX		<b>arb</b> Architects Registration Board
MS S. MALLARD		CLIENT
PROPOSED ALTERATIONS & RENOVATION		PROJECT
HOLLINGTON THE SQUARE ROBIN HOODS BAY NORTH YORKSHIRE		ADDRESS
EXISTING FLOOR PLANS		DRAWING
1:50	JULY 2016	DATE
3021M.16.01B		DRAWING No. Copyright Reserved

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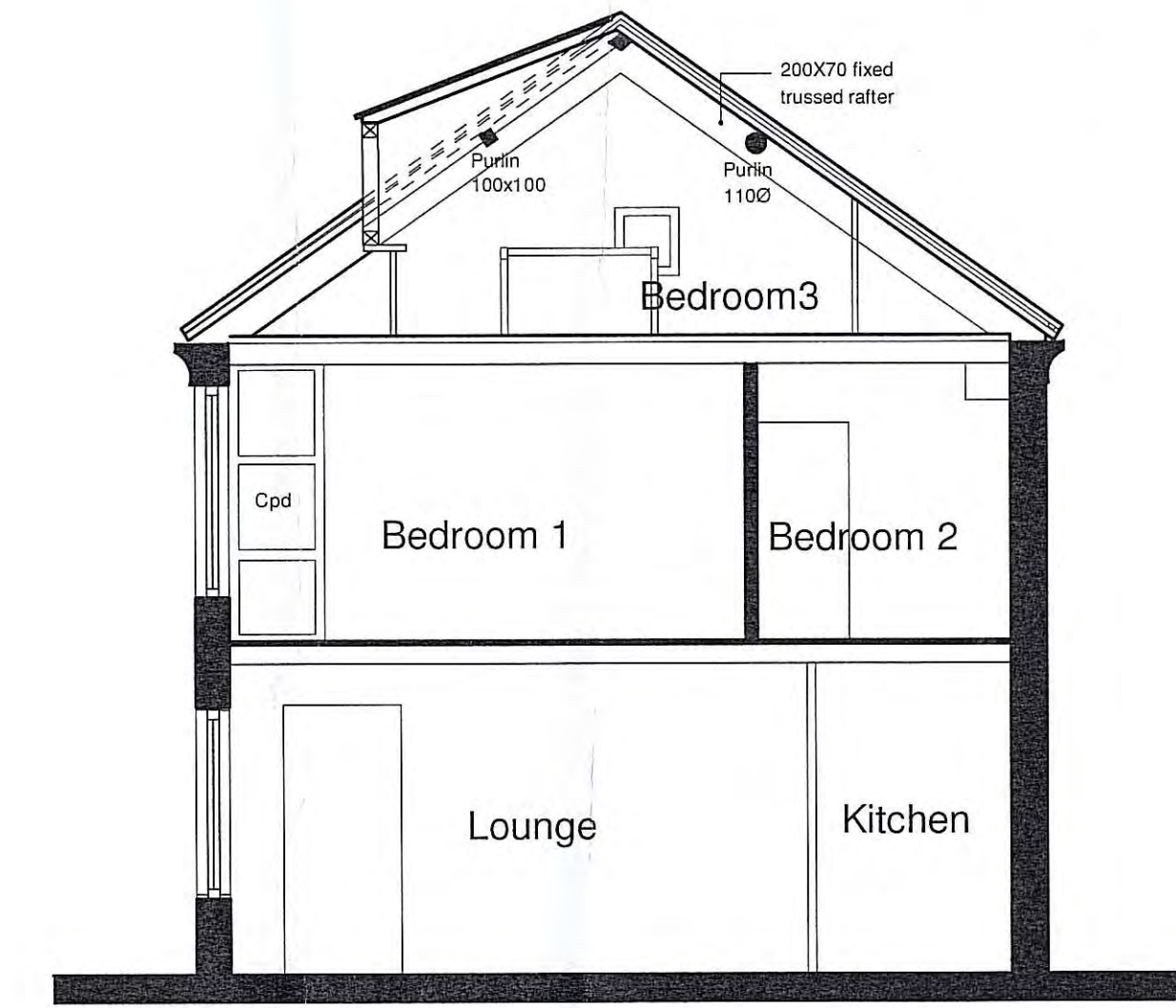
# Proposed Alterations & Renovation, Hollington, The Square, Robin Hoods Bay, North Yorkshire for Ms S. Mallard.



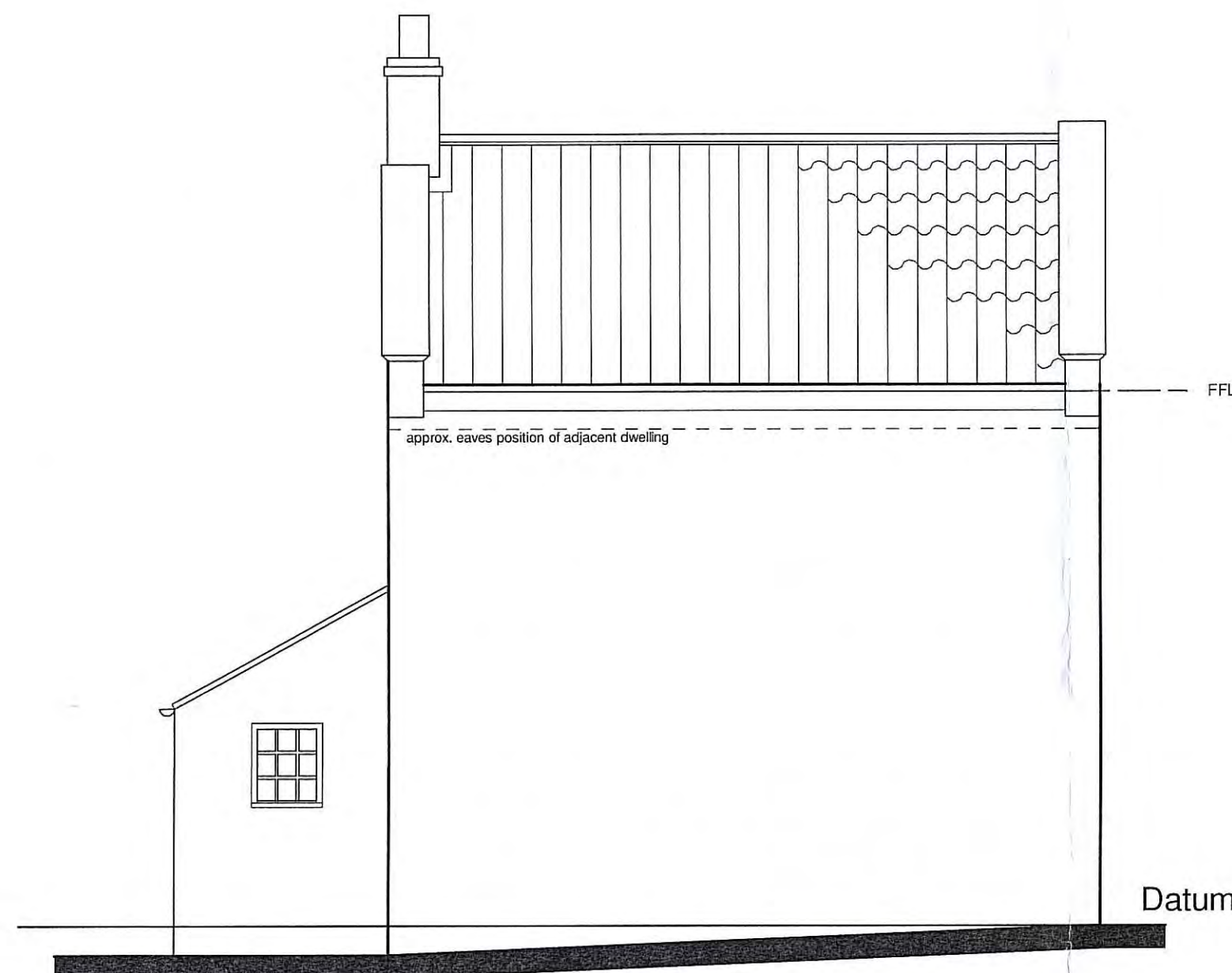
front elevation



section a-a




section b-b



rear elevation

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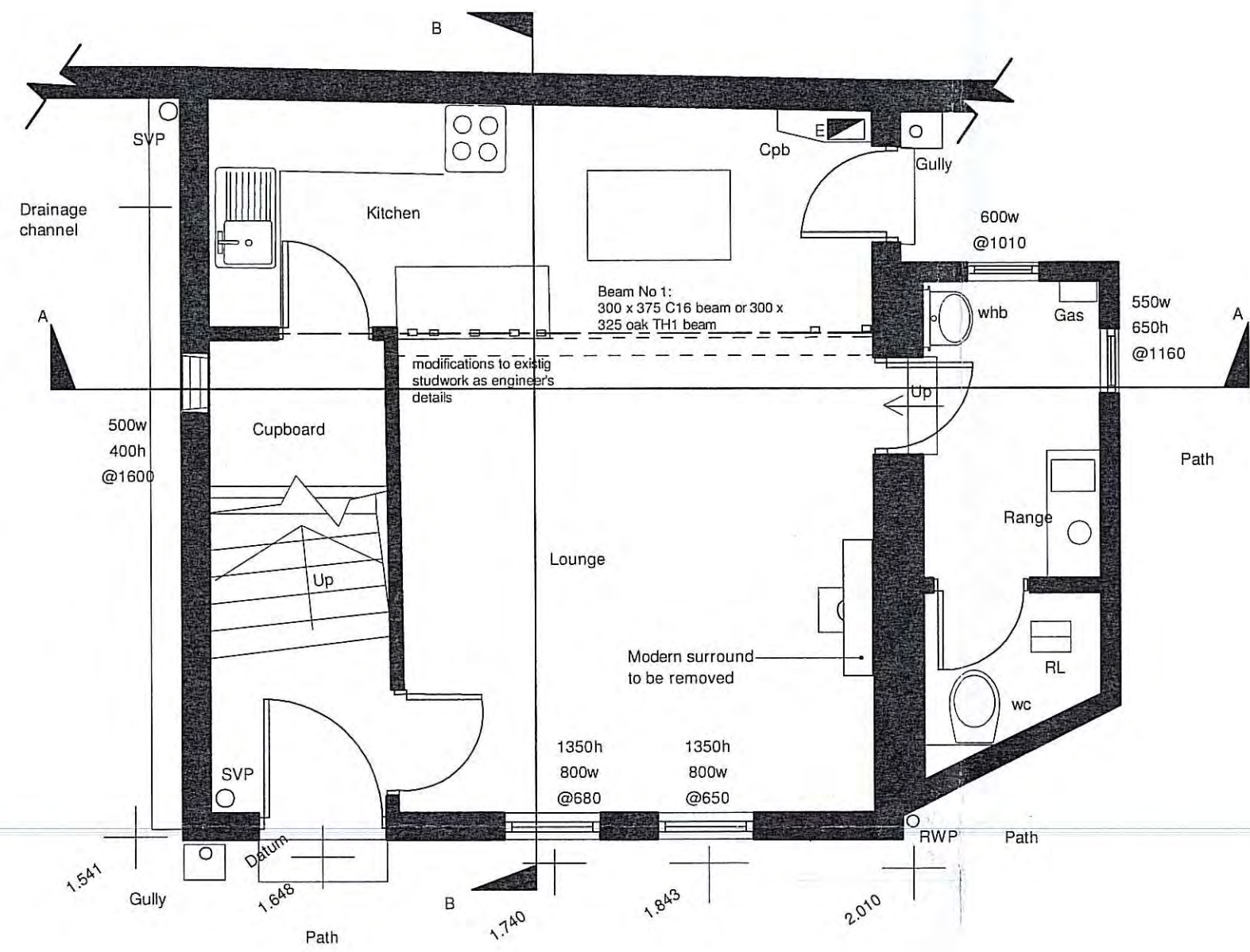
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<small>Rev D: Mar 17 - Rear Elevation Added Rev C: Feb 17 - Notes Amended Rev B: Nov 16 - Notes Amended Rev A: Aug 16 - Notes Amended</small>		REVS
<b>ub architects</b> Ursula Bradwell Architects Church Hall Newton Street Whitby North Yorks. YO21 1OX		
MS S. MALLARD	CLIENT	
PROPOSED ALTERATIONS & RENOVATION	PROJECT	
HOLLINGTON THE SQUARE ROBIN HOODS BAY NORTH YORKSHIRE	ADDRESS	
EXISTING ELEVATION & SECTIONS	DRAWING	
1:50	SCALE	JULY 2016
	DATE	
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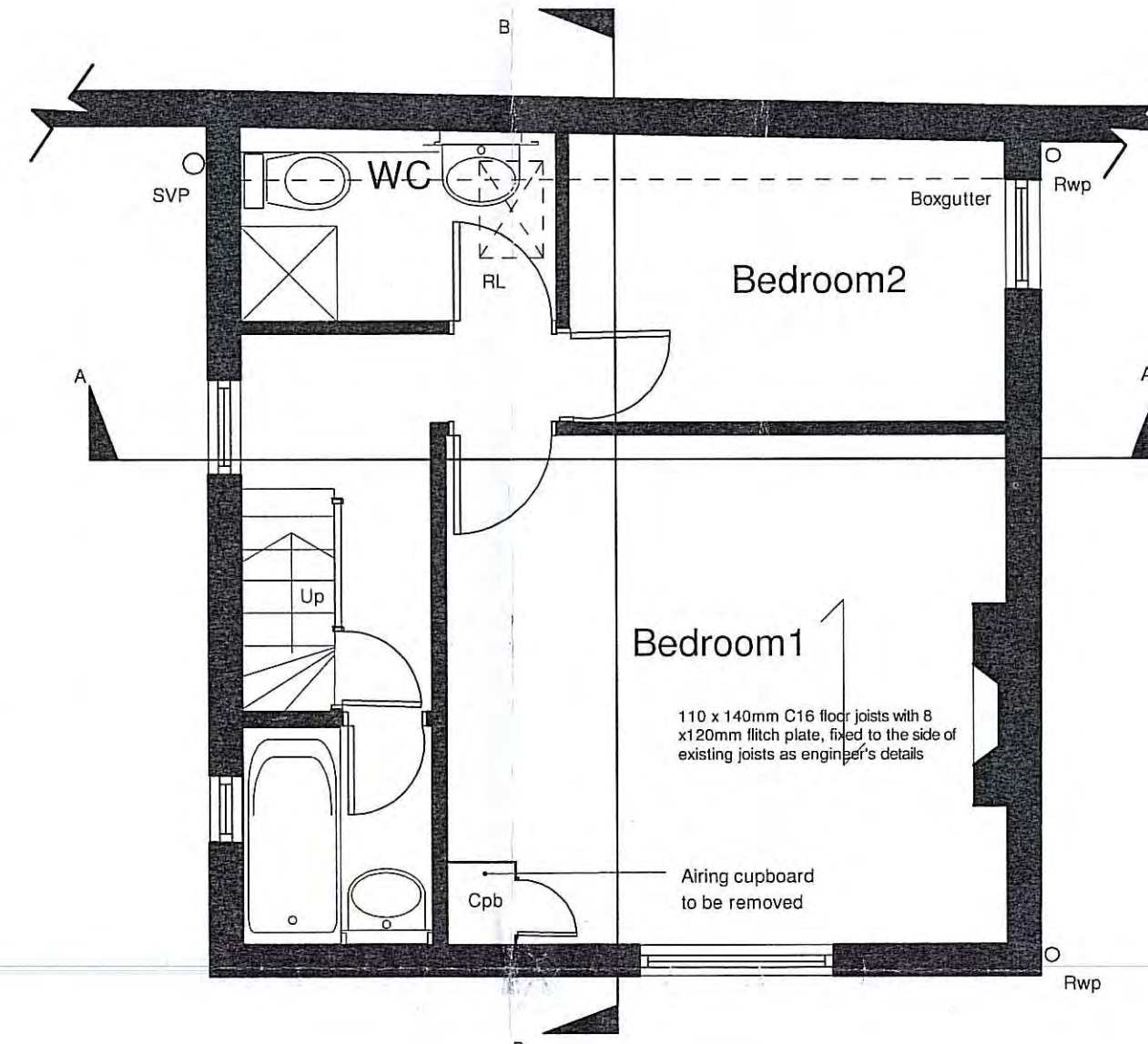
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# Proposed Alterations & Renovation, Hollington, The Square, Robin Hoods Bay, North Yorkshire for Ms S. Mallard.

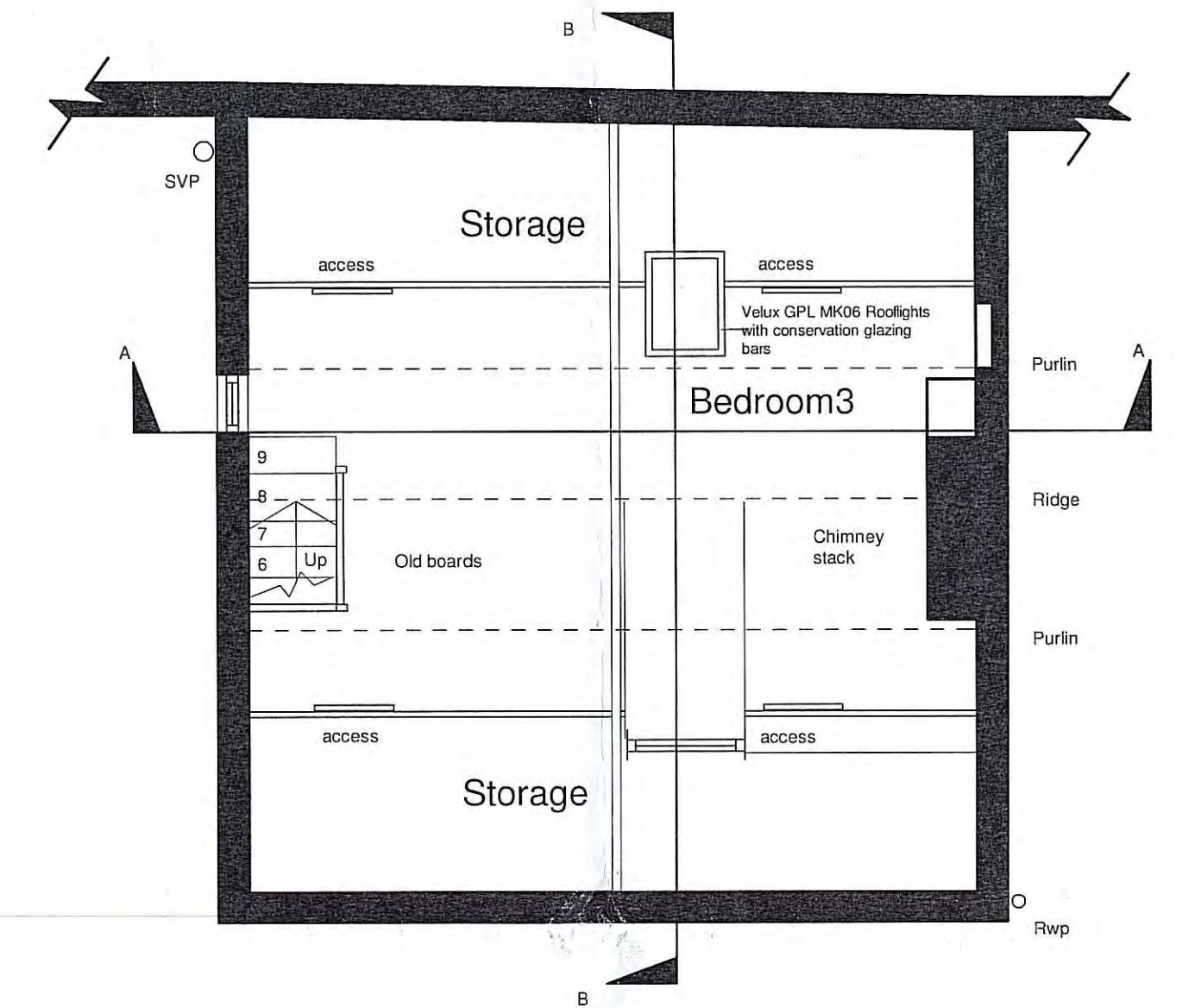
NYMNP  
 21 FEB 2017



ground floor plan




first floor plan



second floor plan

PROVISIONAL

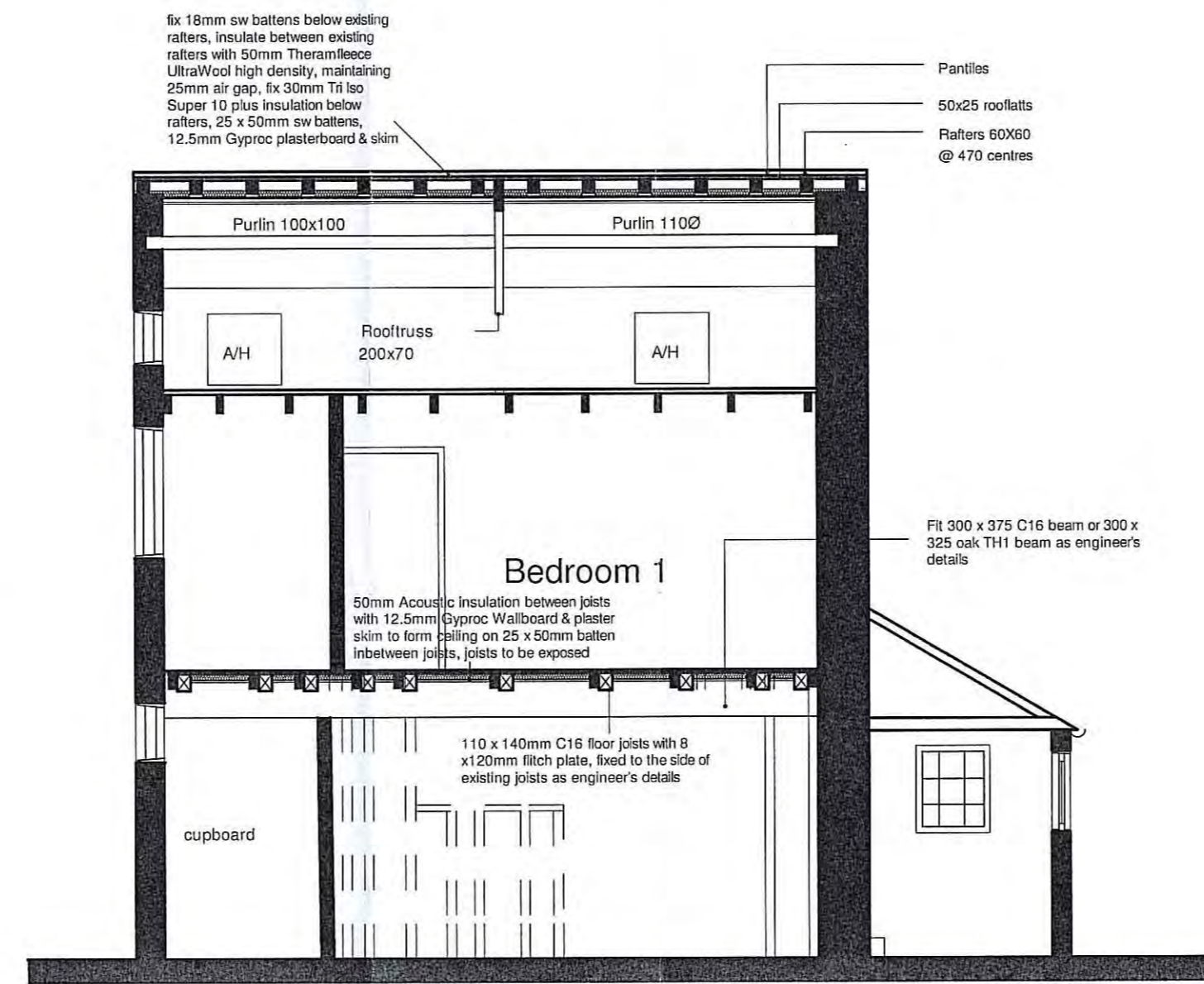
## PLANNING DRAWING

Rev D: Feb 17 - Notes Amended Rev C: Feb 17 - Notes Amended Rev B: Nov 16 - Notes Amended Rev A: Nov 16 - Engineer's Details Added		REVS
<b>ub architects</b> Ursula Bradwell Architects Church Hall Newton Street Whitby North Yorks. YO21 1QX		 <small>Architects Registration Board</small>
MS S. MALLARD		CLIENT
PROPOSED ALTERATIONS & RENOVATION		PROJECT
HOLLINGTON THE SQUARE ROBIN HOODS BAY NORTH YORKSHIRE		ADDRESS
PROPOSED FLOOR PLANS		DRAWING
1:50	SCALE	JULY 2016
3021M.16.03D		DRAWING No. <small>Copyright Reserved</small>

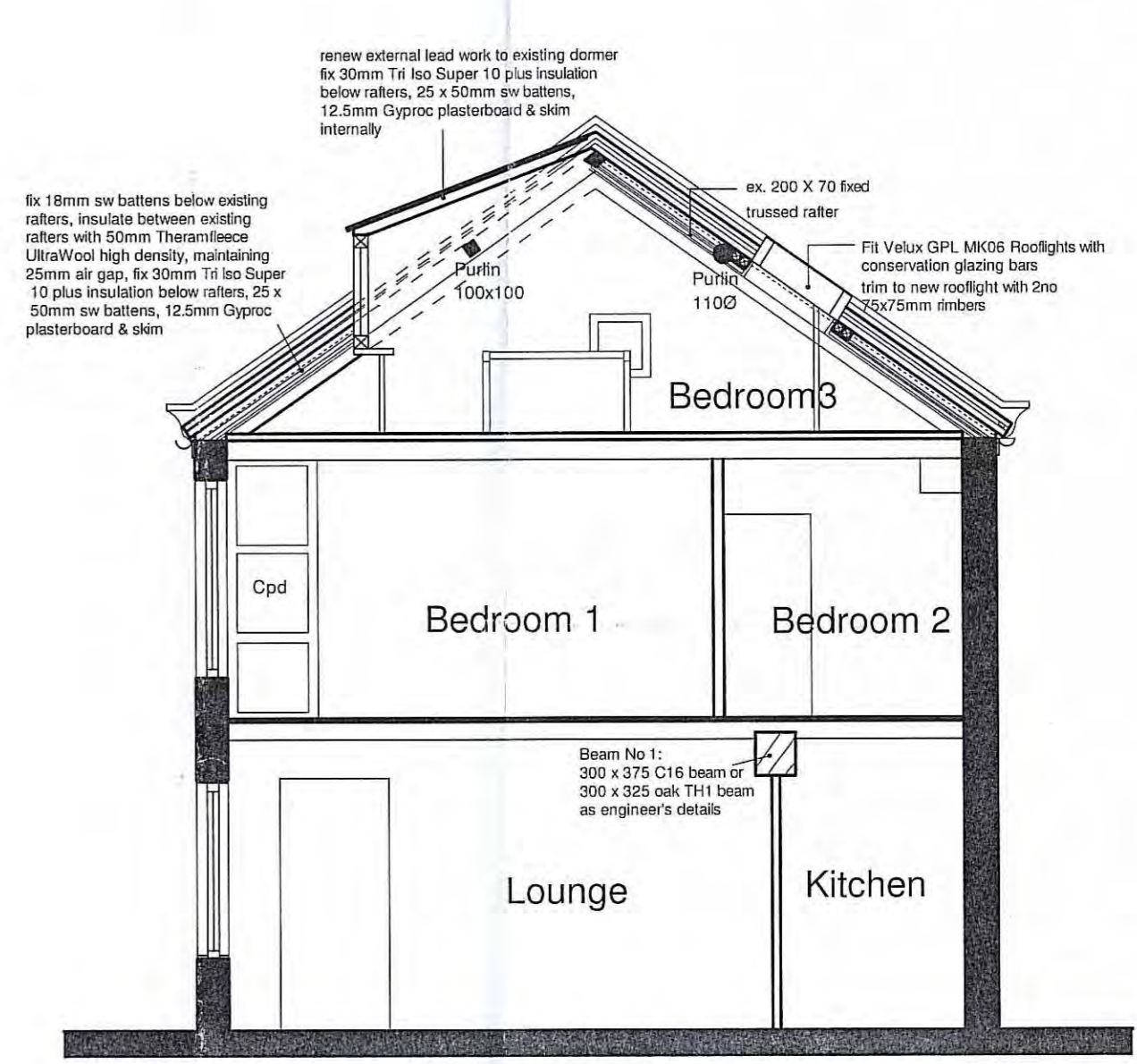
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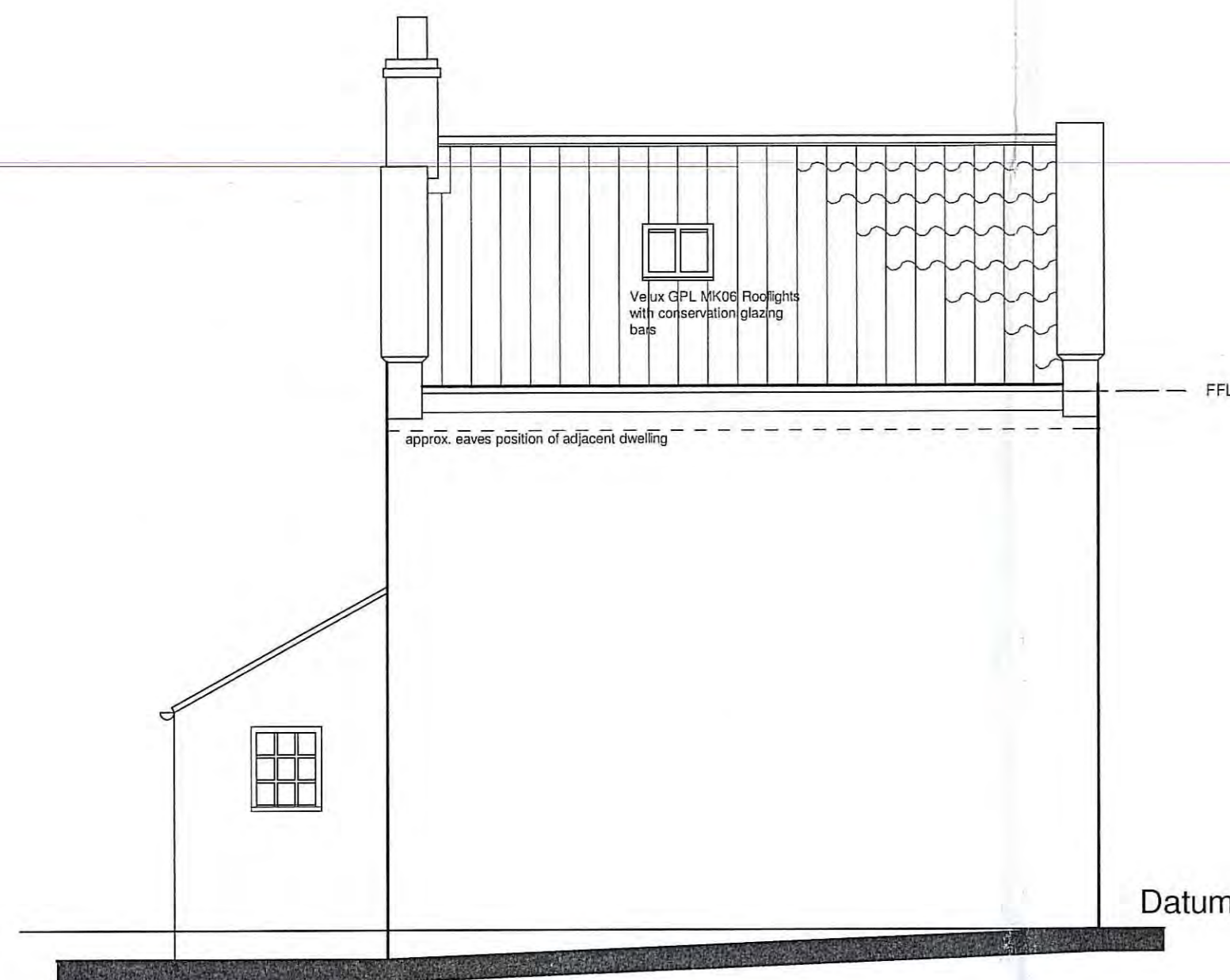
front elevation



section a-a



section b-b



rear elevation

## BUILDING REGULATIONS NOTES : 3021M.16 Ms. S. Mallard.

### LINTELS & BEAMS:

All lintels to be of depth appropriate to span and loadings in accordance with the manufacturer's recommendations. Britley insulated, galvanised mild steel lintels or similar approved as specified on drawings. All lintels to have minimum end bearing of 150mm. Steel beams are to be as Engineer's details, as noted on drawings. New 300 x 375 C16 beam or 300 x 325 oak TH1 beam as engineer's details to strength first floor where existing partition to be removed.

### FIRST FLOOR:

New 110 x 140mm C16 floor joists with 8 x 120mm fitch plate, fixed to the side of existing joists as engineer's details. 50mm acoustic installation between joists, with 12.5mm Gyproc plasterboard in between exposed joists, fixed on 25x50mm sw battens. Second floor ceilings to remain intact.

### ROOF FINISH:

Existing roof covering to remain intact, ensure 25mm continuous air gap is maintained between roof felt and insulation board, with 5mm continuous ventilation at the ridge.

Provide Glidvale soffit vents to be provided equivalent to a continuous slot of 10mm must be provided on both sides of the roof. All to be installed in accordance with manufacturer's instructions.

Double up rafters each side of rooflights. Trim openings with 2no 75 x 75mm SW timbers.

### CEILINGS:

New sloping ceilings to comprise 12.5mm plasterboard and plaster skim finish to underside of rafters with vapour control layer to sloping ceilings. Existing ceilings to be made good where necessary.

### FIRE:

All steelwork structure in the floor construction to be protected to half hour fire resistance with 1no layer of 15mm Gyproc GlasRoc firecase S board and skim on 44mm x 44mm softwood battens, all in accordance with manufacturer's recommendations for the size of steelwork to be encased.

### FIRE DETECTION:

Self contained smoke detectors to be installed as indicated. All detectors to be wired back to mains fuse box with back up batteries in the event of a power failure. Alarm to be emitted from all units in the event of detection from any of the units. Alarms positioned within 7000mm of kitchen or living room doors and within 3000mm of bedroom doors. A heat detector is required interlinked to the smoke alarm and located within the kitchen. All to be installed in accordance with BS:5839, Part 1.

### WINDOWS AND DOORS:

Velux rooflight ref nos: Velux GPL MK06 Rooflights with insect mesh and conservation glazing bars.

Existing doors to hall and landing to be upgraded with Envirograph Product 38 to room side only to provide protected shaft and to give 30 min. fire resistance, Tel: 0121 550 1569. Any glazed doors to have Pyrostop or similar 30min fire resistant glazing. Fire rated double doors by Directdoors.com tel: 01968 671681 or similar approved. Existing oak doors to be checked on site for adequacy to upgrade to 30 minute fire doors.

### GLAZING:

Laminated glass to be used below 1500mm in glass doors and side panels of windows within 300mm of external doors and to be used below 800mm in windows from floor level. All glazing located in critical zones (Approved Document N, 1992) to conform to BS:6206, 1981. Performance requirements for flat, safety glass for the use in buildings. Glazing units fixed in silicon and pointed up in silicon in accordance with Glass and Glazing Federation's recommendations.

### VENTILATION:

Windows to habitable rooms to have an opening of not less than 1/20th of the floor area of the room with 5000mm sq trickle vents for background ventilation and 2500mm sq vent area to kitchen and bathroom. Where natural ventilation is not provided, mechanical ventilation equivalent to 3no air changes per hour should be operated when room is in use and run on for a period of 15 minutes after use of the room ceases. Vent ducts to incorporate condensation traps. Kitchens and utility rooms to have mechanical extract as indicated, capable of extracting at a rate of not less than 30 litres/sec adjacent hob or 60 l/s intermittent elsewhere and bathrooms minimum capacity of 15 l/s intermittent, should be operated when room is in use and run on for a period of 15mins after use of room ceases. Vent ducts to incorporate condensation traps.

### CONSERVATION OF FUEL AND POWER:

Fix 18mm sw battens below existing rafters, insulate between existing rafters with 50mm Thermaflex UltraWool high density, maintaining 25mm air gap, fix 30mm T1 Iso Super 10 plus insulation below rafters, 25 x 50mm sw battens, 12.5mm Gyproc plasterboard & skim. Windows and doors to have a 'U' value of 1.8W/m<sup>2</sup>K or better. Rooflights to have a 'U' value of 1.6W/m<sup>2</sup>K or better.

### JOINERY:

Timber cills and skirtings to match existing.

### DECORATION:

The internal walls and ceilings are to receive 1no mist coat and 2no emulsion coats, colours to be agreed with the Client. Skirtings, cills and internal doors to be agreed with Client.

### ELECTRICAL:

All new electrical installations are to comply with current I. E. E. Regulations. Client to employ a qualified electrician who is a competent person registered with an electrical self certification scheme authorised by the secretary of state who can ensure compliance with BS 7671: 2001 and all relevant Building Regulations. Min 3no Energy efficient light fittings to be provided. External light fittings to be fitted that automatically extinguish when there is enough daylight (or when they are not needed at night) and have sockets that can only be used with lamps having a luminous efficiency greater than 40 lumens per circuit-watt. A minimum of 3 locations within the dwellings e.g. the hallways and the kitchens should be provided with lighting outlets that only take lamps having a luminous efficiency greater than 30 lumens per circuit watt. All electrical sockets to be positioned 1.0 metre off floor level.

### MATERIALS & WORKMANSHIP:

All materials and workmanship are to comply with the relevant and current British Standards and Codes of Practice, current edition of the Building Regulations and to the approval of the Building Inspector.

Plumbing to comply with BS: 5572. Notice confirming the hot water system has been properly commission to be provided to Building Control on completion by competent heating engineer.

Electrical work to comply with the current edition of IEE Regulations. Existing electrical service to be checked.

All softwood to be vacuum pressure impregnated, tanalised Vac-Vac, Celcure or as otherwise specified. Softwood for joinery to be to BS: 1185, Part 1. Screws to BS: 1201. Nails to BS: 1202. Carpentry to comply to 112. FSC or PEFC certified joiners and timber supplied with supplier's chain of custody registration number to ensure timber from sustainable source.

All glazing to be in accordance with BS:6206, 1981.

All pipes crossing through roof spaces to be insulated as pipe thickness, or maximum of 50mm.

### GENERAL:

Do not scale off drawings.

All heights, levels, sizes and dimensions to be checked on site before any work is put in hand.

The manufacturer's recommendations are to be followed in respect of the installation and fixing of all products and any discrepancies between those recommendations and any other requirement of the specification and/or drawings are to be notified to the Architect.

### PIPES PENETRATING WALLS

1. Where pipes pass through walls a short length of pipe should be bedded into the wall, joints should be formed within 150mm of either wall face. Adjacent rocker pipes should have a max. length of 600mm.

OR

2. When pipes pass through a duct, under an arch or lintel in a wall, the resulting void should be filled to prevent the entry of gravel, rodents or gas.

3. Where pipes have a cover less than 300mm the pipes should be surrounded with concrete with a thickness of at least the diameter of the pipe, flexibility may be retained by including 13mm fibre board at max. 5m centres.

PROVISIONAL

NYMANPA  
20 MAR 2017

Rev D: Mar 17 - Rear Elevation Added Rev C: Feb 17 - Notes Amended Rev B: Nov 16 - Notes Amended Rev A: Nov 16 - Engineer's Details Added	REV
<b>ub architects</b> Ursula Bradwell Architects Church Hall Newton Street Whitby North Yorks. YO21 1QX	<b>arb</b> Architects Registration Board
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PROPOSED ELEVATION & SECTIONS	DRAWING
1:50	SCALE
JULY 2016	DATE
3021M.16.04D	DRAWING No. Copyright Reserved

PLANNING DRAWING