

Amendments/Additional Information

Amended layout of buildings/outside areas

Additional background information

Amended design

Revised access arrangements

Change of description of proposed development

Change in site boundaries

Other (as specified below)

.....
.....
.....
.....

AT

Dawn Paton

From: Ailsa Teasdale
Sent: 28 June 2017 18:08
To: Planning; Mark Antcliff
Subject: FW: FW: 11080 - Catley - Existing Site Plan .Planning Application ref. NYM / 2017 / 0374 / FL
Attachments: 21 Egton Road, Aislaby - Arboricultural Method Statement.pdf

From: Tim Harrison (BHD)
Sent: 28 June 2017 17:34
To: Ailsa Teasdale
Cc:
Subject: FW: FW: 11080 - Catley - Existing Site Plan .Planning Application ref. NYM / 2017 / 0374 / FL

Dear Ailsa,

I hope that you are well.

Further to your relatively recent e-mail Charles Prowse of the Elliott Consultancy has prepared a document to refer to your request for information concerning Protection of the Trees during the works and the TPO's along with the removal of trees within the site.

I trust that this will be of assistance in resolving the queries raised and that if you or your colleague the Tree Officer has any specific queries in relation to this then please contact Charles Prowse directly.

Many thanks,

Kind regards,
Tim





Location:
21 Egton Road,
Aislaby

Report Type:
Arboricultural Method Statement

Ref:
ARB/CP/1447

Date:
June 2017



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1 Introduction

- 1.1 This arboricultural method statement has been prepared by Charles Prowse of Elliott Consultancy Ltd at the request of the client, Mr David Catley. It will provide details regarding the retention and protection of trees during the redevelopment 21 Egton Road, Aislaby.
- 1.2 **Scope of the report:**
- This method statement provides arboricultural information and advice in relation to the re-development of 21 Egton Road, Aislaby, as detailed within Appendix 3.
 - It will outline any trees to be removed prior to development and those to be retained along with any pruning required. Also provided are details of all measures recommended for adequate tree protection including any special construction measures to be utilised.
 - It should be used to guide the construction process in order to minimise potential damage to retained trees.
 - It will detail, within the Arboricultural Tasks Sequence Table (Appendix 1), a timescale for implementation of these tree works and protective measures in reference to the development period.
- 1.4 **Prior to site works commencing, and in particular ground preparation, this Arboricultural Method Statement needs to be passed to the site manager and used as reference during the development period, with particular attention paid Sections 3-5, and Appendices 1-8.**



2 Site Information

- 2.1 The extent covered by this method statement is the property 21 Egton Road, which is a detached dwelling with an enclosed garden to the front (north), Figure outlines the extent covered.

Figure 1: Extent covered by method statement



- 2.2 The property is served by a vehicle access from Egton Road. Residential properties are adjacent to the site to the north, beyond Egton Road, and to the east and west. Agricultural land borders the property to the south



3 Pre-Development and Site Preparation Works

- 3.1 Refer to Appendix 1 for stage specific tasks.
- 3.2 Prior to any site works commencing, the following arboricultural specific actions need to be implemented:
- a) An arboricultural contractor should be sought and the tree works recommended within Appendix 2 undertaken.
 - b) A supplier needs to be sought to provide the tree protection fencing as specified within Appendix 4 unless a suitable alternative is agreed within the Local Planning Authority.
- 3.3 Once the aforementioned tasks have been completed and prior to any site work the tree protection barriers need to be erected as per the Tree Protection Plan (Appendix 3). The barrier must encompass the root protection areas and crown extents of the retained trees to ensure that these areas remain free from disturbance.
- 3.3.1 The barriers needs to be installed according to the locations found on the Tree Protection Plan, Appendix 3 and conform to the specification within Appendix 4, unless a similarly immoveable alternative is agreed with the Local Planning Authority. All weather notices should be attached to the fencing marked with the following: '*Construction Exclusion Zone - Keep Out*' (a notice is provided within Appendix 7).
 - 3.3.2 The project arboriculturalist should check the correct installation of the protective features prior to any site works commencing.
- 3.4 Material storage and site offices must be confined to areas outside root protection areas.
- 3.5 A copy of the Tree Protection Plan must be displayed outside the site office.



4 Tree protection measures during development

- 4.1 Refer to Appendix 1 for stage specific tasks.
- 4.2 All ground levels where trees are located should be maintained. Changes to soil levels adjacent to trees can severely affect the trees structural integrity and its ability to gain moisture and nutrients from the surrounding soil. Unavoidable level changes that may affect retained trees, and not already accounted for within this method statement, should be assessed by the project arboriculturalist.
- 4.3 Building material storage and operations that can contaminate soil, such as cement mixing, must be confined to areas outside the tree protection zones.
- 4.4 Fires should not be lit within 5m of the foliage or drip line of the tree. Care should be taken and the fire should not be allowed to become large, and the wind direction noted.
- 4.5 The trees should not be used to attach notices, cables or other services.
- 4.6 The installation of any underground services near or adjacent to trees on the site shall conform to the requirements of National Joint Utilities Group publication Volume 4 (November 2007).
- 4.7 At the beginning of the construction phase, the site manager will appoint a delegated site representative who shall be responsible for continued checking of the protective barriers to ensure it is compliant with the exclusion zone. Appendix 8 contains a record sheet that can be copied for such use.
- 4.8 As recommended within BS 5837:2012, and specified within the Arboricultural Tasks Sequence Table, the development site should be visited by the project arboriculturalist on a regular basis. This is to undertake inspections of the tree protection barriers to ensure that no incursions have been made and to advise on any tree related matters that may have arisen. Ordinarily visits are undertaken on an ad-hoc basis with the frequency determined by the efficacy of the tree protection measures installed (as determined by the project arboriculturalist during the initial inspection of such protective features – refer to 3.3.2) and the works phases. Contact between the project manager and project arboriculturalist should be maintained throughout the works period so that supervision can be provided when operations with the potential to damage retained trees are being undertaken.



5 Post-Construction Considerations

- 5.1 Refer to Appendix 1 for stage specific tasks.
- 5.2 Only once all major construction works have been completed can the protective barriers be removed.
- 5.3 Post development landscaping should be kept to a minimum within the root protection areas of retained trees.
- 5.4 Since trees are capable of influencing soil hydrology newly planted trees need to be situated where they will not interfere with built structures. Refer to NHBC Chapter 4.2 'Building near Trees' and Arboriculture Research and Information Note 'Tree Roots and Foundations' for further information.



Appendix 1: Arboricultural Tasks Sequence Table

Tree or Group Number	Pre-Construction Stage	Construction Stage	Post Construction Stage
Trees 1-5	<p>Adhere to specification within Section 3.</p> <p>Set out and erect protective fencing as per Appendices 3 and 4. Attach notice in Appendix 7.</p> <p>Project arboriculturalist should check the correct installation of protective features prior to site works commencing.</p>	<p>Adhere to specification within Section 4.</p> <p>Monitor integrity of tree protection features daily; completing inspection record in Appendix 8.</p> <p>Site to be visited by the project arboriculturalist – visit to be documented in Appendix 8.</p>	<p>Adhere to specification within Section 5.</p> <p>Remove tree protection measures.</p> <p>Complete landscape works adjacent to trees.</p>

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29 JUN 2017

Appendix 2: Tree Data & Works Required

Key for Tree & Group Data tables:

No.	Tree Number
Species	Tree Name (common)
Age	Y = Young; SM = Semi-mature; EM = Early-mature M = Mature; OM = Over-mature; V = Veteran; D = Dead
DBH	Diameter at Breast Height (measured at 1.5m above ground level to the nearest cm)
Stems	The number of stems the tree has
Height	Overall tree height measured in metres
Crown Spread	Measured along the four cardinal points in metres
CH	Canopy Height (height of crown above ground)
1st Branch	The height and aspect of the 1 st significant limb e.g. 2 NE = 1 st limb at 2m growing in a north-easterly direction.
EstD	Indication of whether any of the trees dimensions were estimated: Y=Yes, N=No.
General Observations	Appraisal of trees general condition
EstCont	Estimated remaining contribution (years)
BS Cat	British Standard 5837:2012 retention category
Recommendation	Remedial works that may be required should the tree be retained



Tree Works Required - 21 Egton Road, Aislaby

No.	Species	Condition	BS Cat	Recommendation
1	Beech	Single stemmed until 7m where it splits into 3 smaller stems. Pruning wounds on stem, some with superficial decay to cut surface. Unidentifiable (due to degraded state) fruiting bodies on ground - most likely to be harmless mycorrhizal fungi. Co-dominant crown with Tree 3.	B2	No work required
2	Oak spp	Single stemmed. Moderate volume of epicormic growth upon stem. Branch failure stubs and a minor amount of deadwood within the upper crown. Large lateral limb (approx 20cm diameter) recently failed from within mid crown. Co-dominant crown with Tree 2. Unidentifiable (due to degraded state) fruiting bodies on ground - most likely to be harmless mycorrhizal fungi.	A2	No work required
4	Beech	Young beech with form which is slightly suppressed due to the proximity of Tree 3. Co-dominant stems with included bark union at 1.1m. Branch failure stubs. Broken branch	C1	No work required
4	Beech	Young tree of good health & form.	C1	No work required
5	Beech	Young tree of good health & form.	C1	No work required





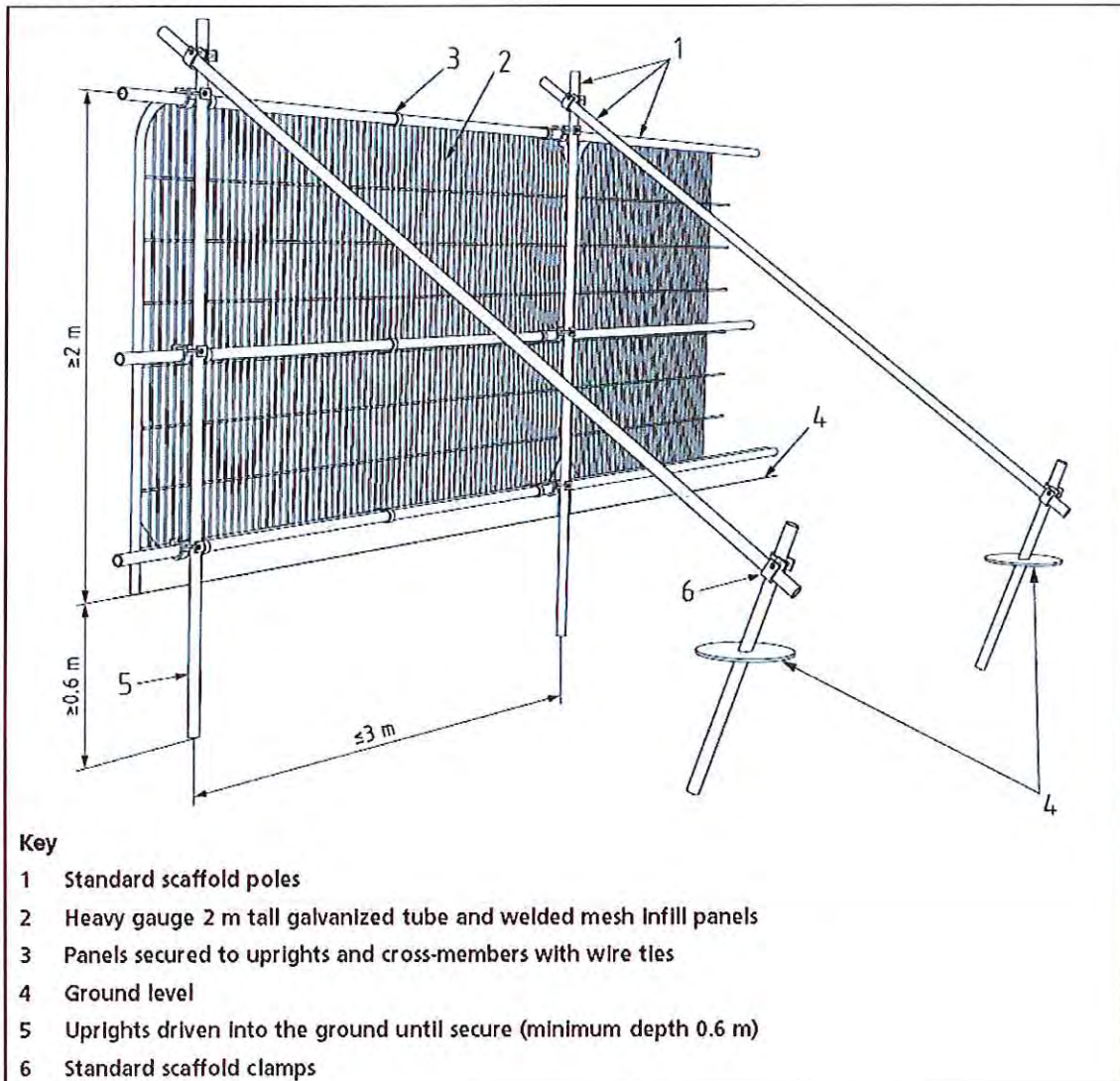
- Tree to be Retained
- Tree to be Removed
- Root Protection Area - to remain free from disturbance
- Group of Trees to be Retained
- Hedgerow to be Retained
- Group of Trees to be Removed
- Hedgerow to be Removed
- Tree Protection Barrier (specification as per Appendix 4)
- No-Dig Construction Area (specification to be provided by system supplier)
- Ground Protection (specification as per Appendix 5)
- 1/C1 Tree/Group
- A1/B1/
C1/U BS5837 Retention Category

APPENDIX 3

Drawing Title:	Tree Protection Plan
Project:	21 Egton Road, Aislaiby
Drawing Number:	ARB/CP/1447/TPP
Date:	June 2017
Scale:	1:200 @ A3

Appendix 4: Protective Fencing Specification

Tree Protection Fence



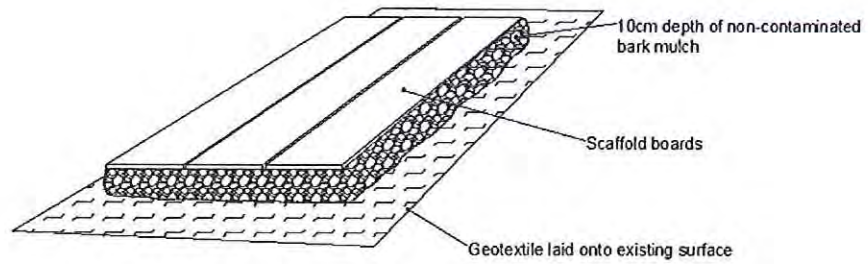
Drawing Source: BS 5837:2012



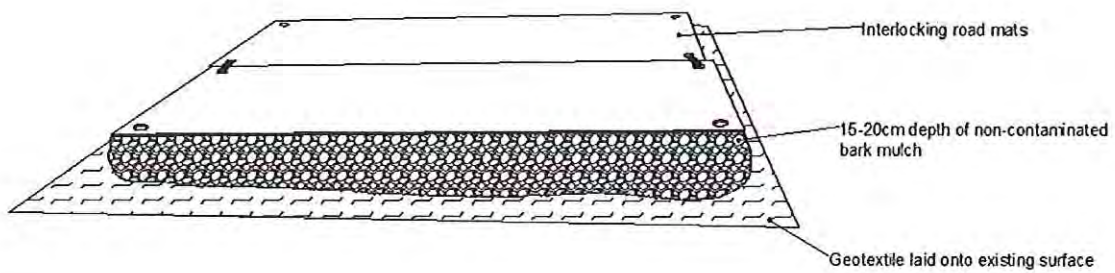
Appendix 5: Access within Root Protection Areas

Ground Protection to Enable Access within Root Protection Areas

Ground Protection for Foot Traffic Only



Ground Protection Suitable for Vehicals

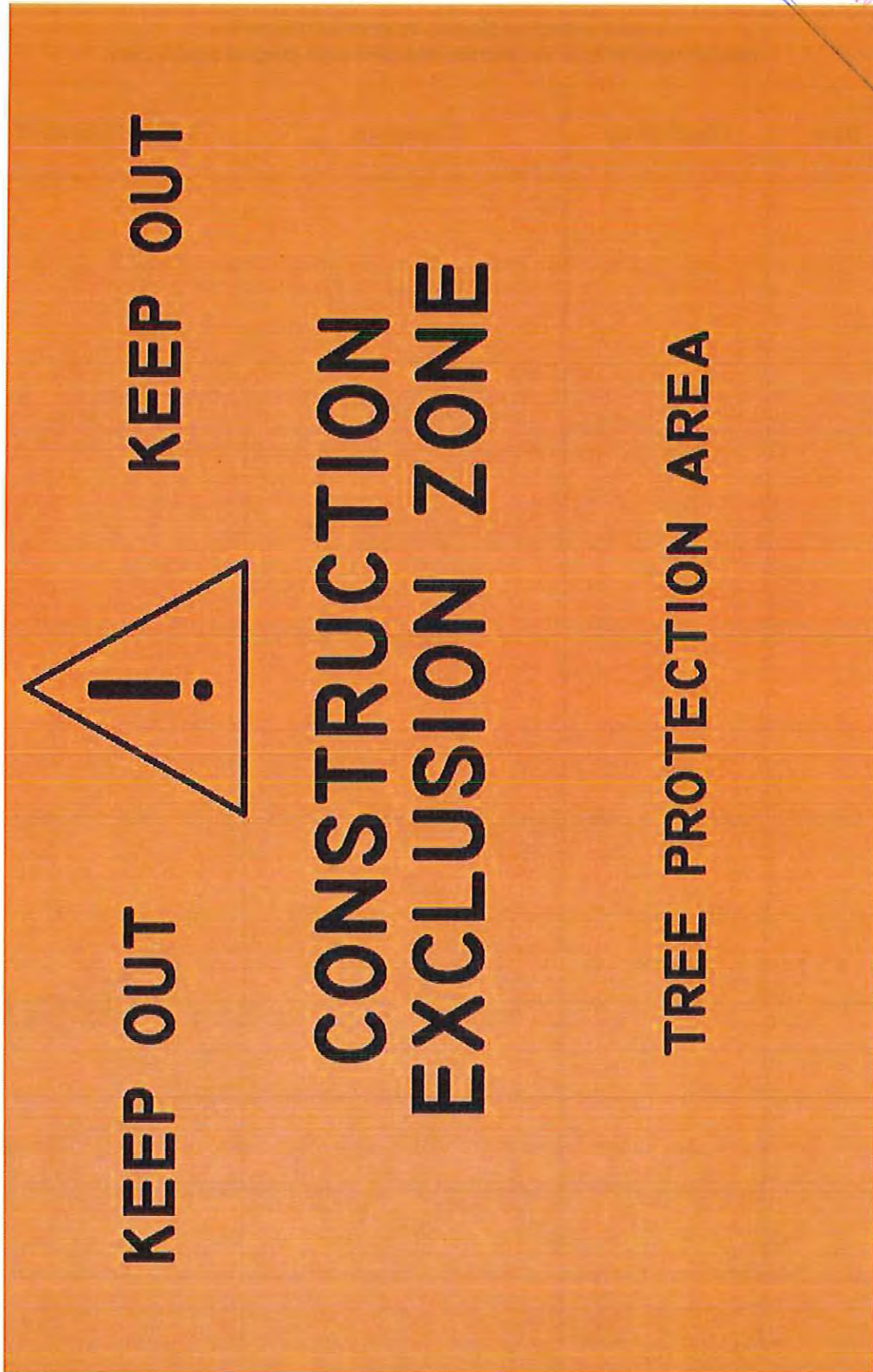
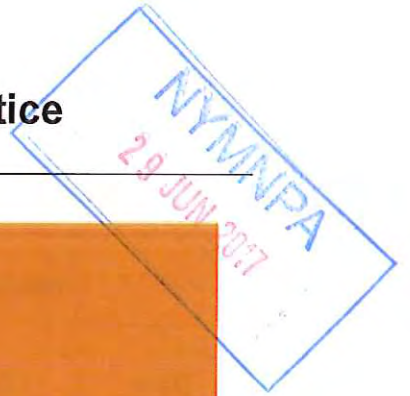


NYMNP
29 JUN 2017

Appendix 6: Removing Hard Surfaces & Other Excavations within Root Protection Areas

- All excavations within root protection areas must only be undertaken using hand tools or pedestrian operated machinery.
- The required excavations must be kept to a minimum to avoid unnecessary root damage and ideally undertaken during the presence of an arboriculturalist.
- Great care must be taken not to damage the bark of roots that can be retained in order to avoid wounds which could be exploited by pathogens.
- Exposed roots that can be retained must be wrapped with dry sacking if to be left exposed for extended periods e.g. overnight. Sacking must be removed prior to backfilling.
- All roots >25mm should be preserved and worked around. Where this is not possible, severance should only take place after consultation with the tree officer / appointed arboriculturalist. Roots must be cut using a sharp knife leaving as small a wound and as clean a cut as possible.
- Great care must be taken not to allow contaminants, such as oils, into the excavation.





Appendix 9: Contact Details of Relevant Parties

Arboricultural Consultant

Charles Prowse
Elliott Consultancy Ltd
Wren's Nest
Underhill
Glaisdale
YO212PF

Architect

BHD Partnership
Airy Hill Manor
Whitby
North Yorkshire
YO21 1QB

Local Planning Authority

North York Moors National Park Authority,
The Old Vicarage,
Bondgate,
Helmsley,
YO62 5BP



Dawn Paton

From: Ailsa Teasdale
Sent: 27 June 2017 13:46
To: Planning
Subject: FW: NYM2017/0374/FL , 21 Egton Road, Aislaby
Attachments: D11080-08A.pdf; D11080-09A.pdf

From: Tim Harrison (BHD)
Sent: 20 June 2017 13:03
To: Ailsa Teasdale
Subject: FW: NYM2017/0374/FL , 21 Egton Road, Aislaby

Dear Ailsa,

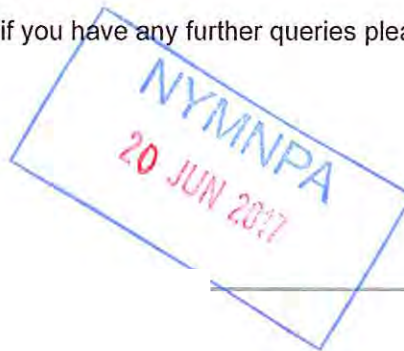
With regard to the matters raised by the neighbour at No 23 in relation to drainage and the alterations to the parking area we would like to respond as follows :

- It is not proposed to alter the entrance to the drive and this will remain as existing. We apologise if any wording or appearance on the drawings gives that impression.
- Therefore the surface water run-off will not alter in relation to this area in the vicinity of the garage to No 21.
- The extent of parking within the site is to be extended by some excavation of the sloping garden and a retaining wall of approximately 1m to 1.2m high. this will then enable cars to park directly adjacent to the dwelling and to turn around at this point so that they can leave moving forwards.
- However the applicants will certainly wish to incorporate some form of drainage to this area by means of a land drain falling to the east through the garden behind the retaining wall. Therefore this should over-come the neighbours concerns as the drainage will be located to the north and east of No 21 rather than adjacent to the garden area which is at the rear of his garage.
- Copies of the proposed Block Plan and Location Plan are attached to show the parking area and proposals.

I trust that this information will be of assistance but if you have any further queries please do not hesitate to contact myself.

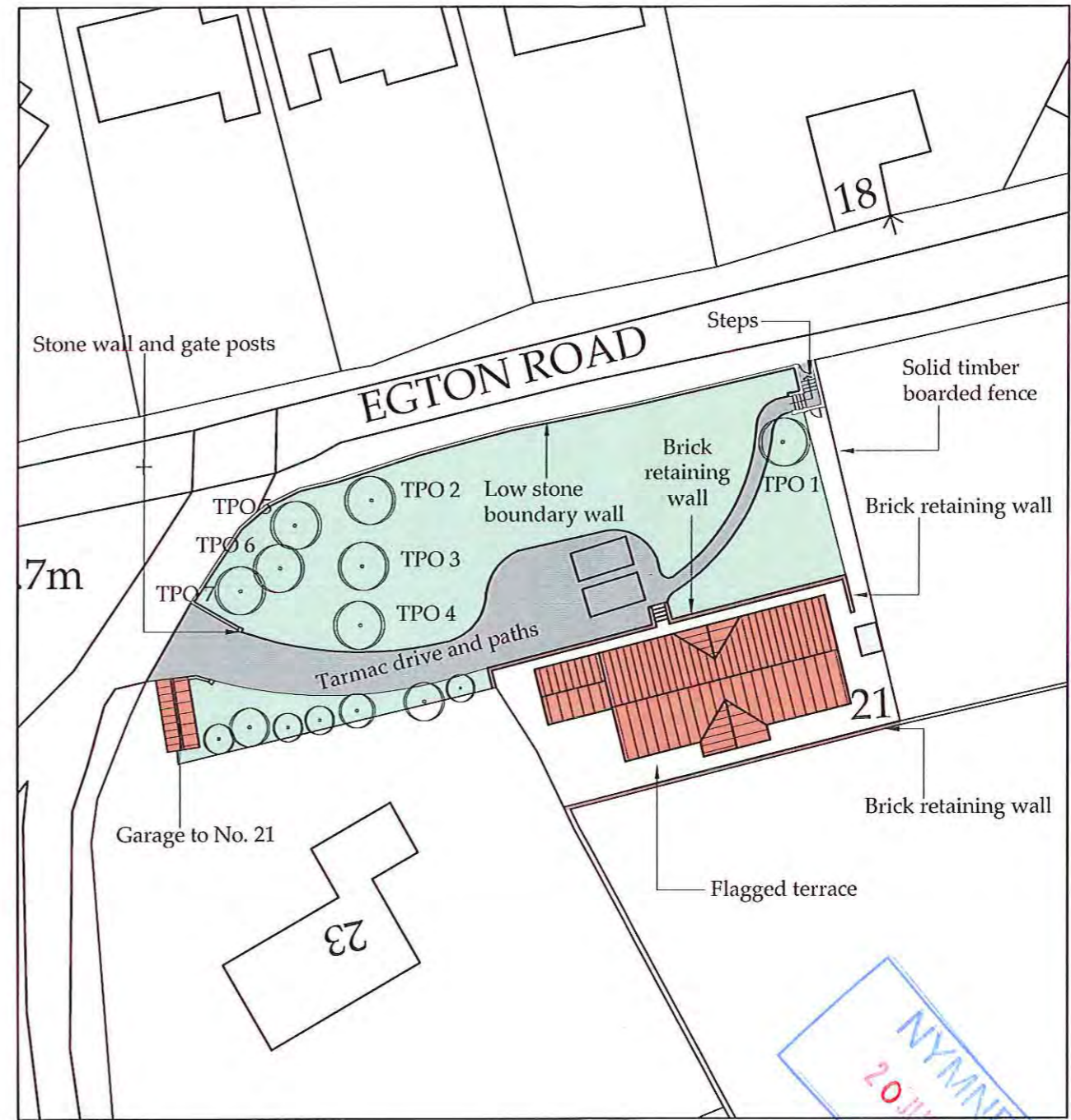
Many thanks,

Kind regards,
Tim





○ Site Plan
Scale 1:1250



○ Block Plan
Scale 1:500

Ordnance Survey Licence No. 100002562

b h d partnership

Airy Hill Manor, Whitby, North Yorkshire, UK, YO21 1QB.

www.onapartnership.com

●DO NOT SCALE from this drawing. Only figured dimensions are to be taken from this drawing.
●The Contractor must verify all dimensions on site before commencing any work or shop drawings.

The Contractor must report any discrepancies before commencing work. If this drawing exceeds the quantities taken in any way, the Technician is to be informed before work is initiated.

Work within The Construction (Design and Management) Regulations 2015 is not to start until a Health & Safety Plan has been produced. This drawing is Copyright and must not be reproduced without consent of BHD Partnership Ltd

REV	DATE	BY	AMENDMENT	CHKD	APVD
A	20.06.17	CW	Issued for approval	TRH	

CLIENT:
Mr D & Mrs K Catley

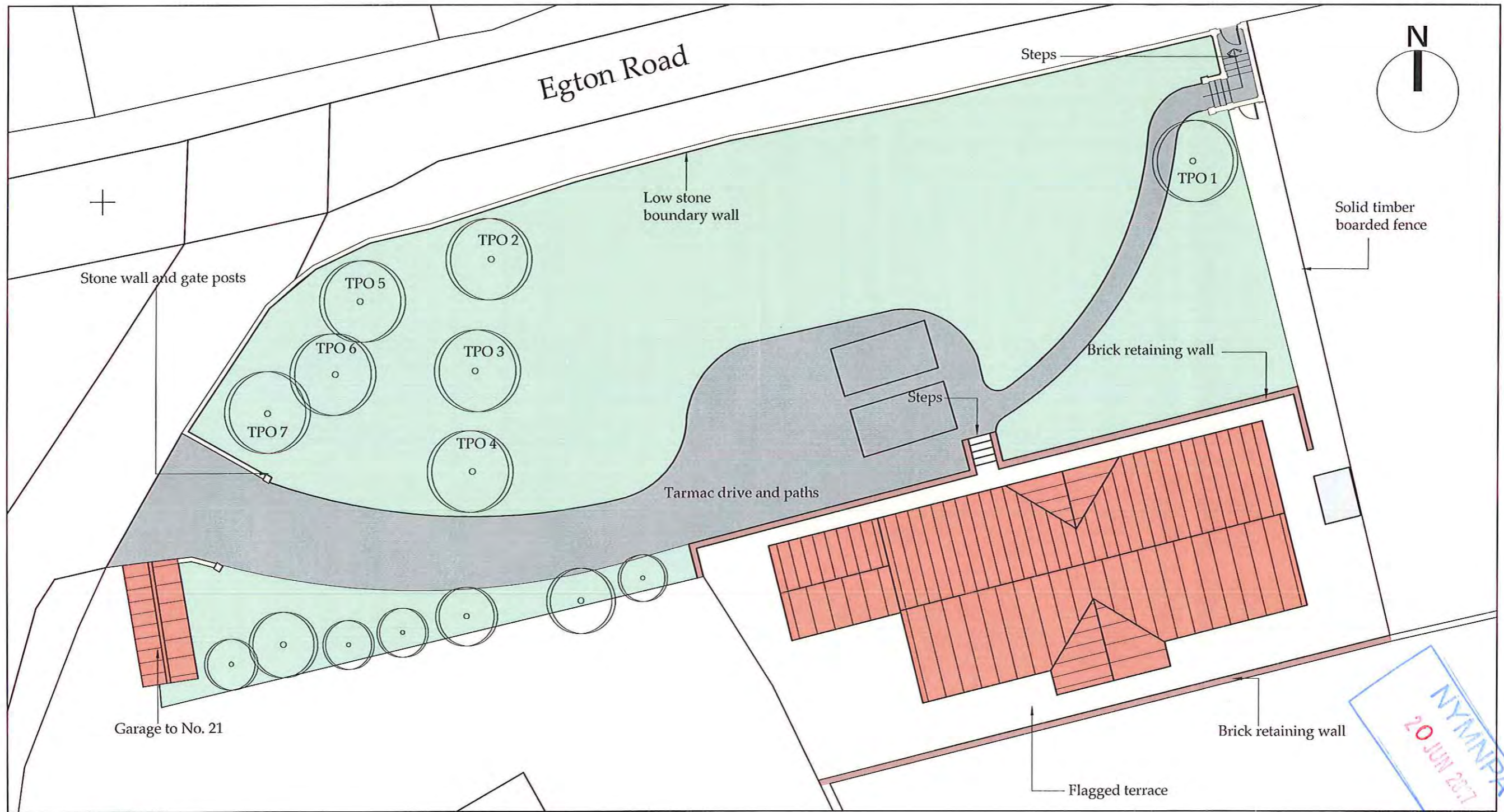
PROJECT:
21 Egton Road
Aislaby, Whitby

A3 DRN: C Walker DATE: 20.06.17
SCALE: As shown ISSUE: Preliminary

DRAWING TITLE:
Proposed Block Plan
and Location Plan

DRAWING NR:
D11080-08

REV:
A



Block Plan
Scale 1:200

Ordnance Survey Licence No. 100002562

b h d partnership
Airy Hill Manor, Whitby, North Yorkshire, UK. YO21 1OB.
www.onupartnership.com

DO NOT SCALE from this drawing. Only figured dimensions are to be taken from this drawing.
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Work within The Construction (Design and Management) Regulations 2015 is not to start until a Health & Safety Plan has been produced. This drawing is Copyright and must not be reproduced without consent of BHD Partnership Ltd

REV	DATE	BY	AMENDMENT	CHKD	APVD
A	20.06.17	CW	Issued for approval	TRH	

CLIENT:
Mr D & Mrs K Catley

PROJECT:
21 Egton Road
Aislabby, Whitby

A3 DRN: C Walker DATE: 20.06.17
SCALE: As shown ISSUE: Preliminary

DRAWING TITLE:
Proposed Block Plan

DRAWING NR:
D11080-09

REV:
A