

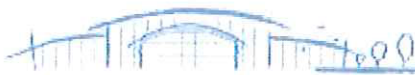
INSPECTION OF 21 EGTON ROAD, AISLABY

FOR

Mr. & MRS. CATLEY

11080

**BY R. O. BIRDSALL M.Sc., M.I.C.E.
CHARTERED ENGINEER**



imaginative architecture + engineering design

bhd
partnership

Address: Airy Hill Manor,
Whitby,
North Yorkshire,
YO21 1QB

www.bhdpartnership.com

INTRODUCTION

- 1.1 We confirm that we made an inspection of 21 Egton Road, Aislaby (see photograph 1) on 10th May 2017.
- 1.2 The inspection and report is to assess the structural capability of the structure with a view to making significant alterations.
- 1.3 The external walls consist of 250 mm cavity walling with brick outer leaf and block inner leaf. The roof is pitched with timber rafters and purlins clad with red clay pantiles.

2.0 OBSERVATIONS

- 2.1 The west facing wall is in good condition, see photograph 1.
- 2.2 The south facing wall is in good condition, see photograph 2 and 3.
- 2.3 The north facing wall is in good condition, see photograph 4 and 5.
- 2.4 The east facing wall is in reasonable condition, see photograph 6 and 7. However there is cracking to the lintel at the north-east corner of the building, see photograph 8.
- 2.5 We have not inspected woodwork or other parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the property is free from defect.

3.0 CONCLUSIONS AND RECOMMENDATIONS

- 3.1 The property is considered to be satisfactory in its present condition although the windows on the north-east corner and south-east corner of the building are possibly giving rise to some slight movement due to the lack of any masonry on the corners. The existing footings on the north, east and west external walls are fairly shallow but seem to be supporting the existing walling in a satisfactory manner.
- 3.2 We are satisfied that the proposed alterations will enhance the structural stability of the property, subject to the following conditions.
 - i/ The new walling on the north and west side of the property should be built on new concrete footings at a minimum depth below ground level of 0.9m.
 - ii/ Where existing external walls are to be raised on the north, south east and west elevations the footings should be underpinned so that new concrete is introduced to at least 0.9m below ground level.
 - iii/ The windows on the north-east and south-east corners of the building should be removed and replaced with cavity walling to match the existing.



NYMNP
19 MAY 2017



PHOTOGRAPH 1
21 EGTON ROAD, AISLABY



PHOTOGRAPH 2

NYMNPA

19 MAY 2017

21 EGTON ROAD, AISLABY



**PHOTOGRAPH 3
21 EGTON ROAD, AISLABY**



PHOTOGRAPH 4

21 EGTON ROAD, AISLABY

NYMNP
19 MAY 2017

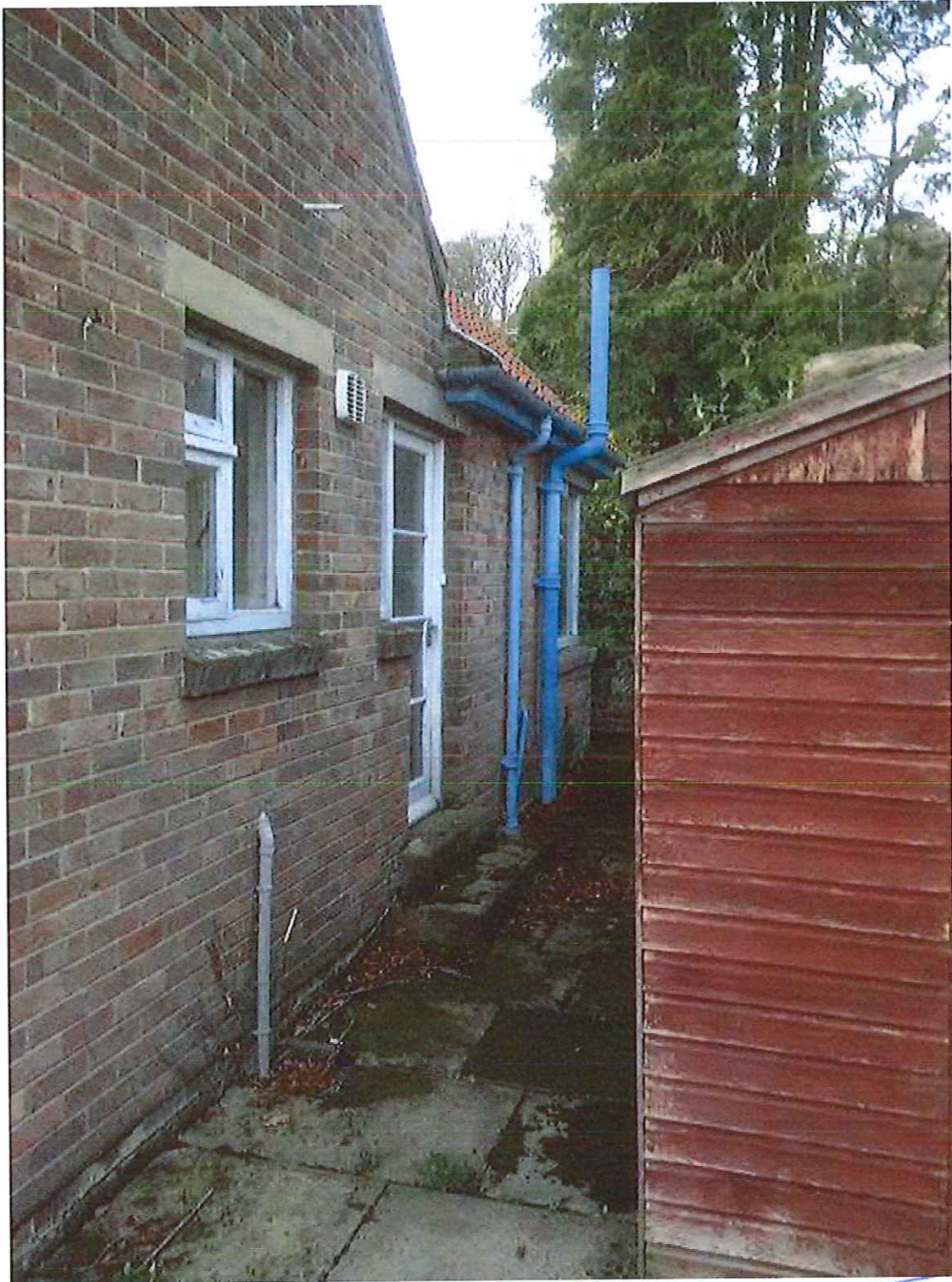


PHOTOGRAPH 5
21, EGTON ROAD, AISLABY



PHOTOGRAPH 6

21 EGTON ROAD, AISLABY



PHOTOGRAPH 7
21 EGTON ROAD, AISLABY

NYMNP
19 MAY 2017



PHOTOGRAPH 8
21 EGTON ROAD, AISLABY

NYMNP
19 MAY 2017