

## Design & Access Statement

incorporating Flood Risk Assessment



## Proposed Extension & Alterations

High Mitten Cottage, Low Hawsker, Whitby YO22 4LW

Town Farm House  
9 High Market Place  
Kirkbymoorside  
York YO62 6AT

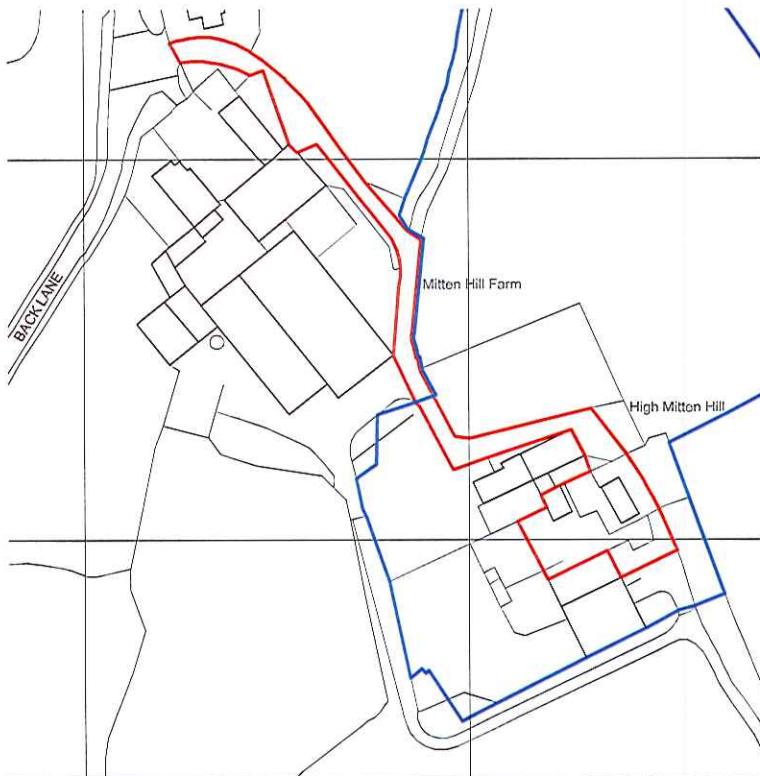
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## 1.0 Introduction

**1.1** This document accompanies a householder planning application on behalf of Mr I Davies that seeks permission to construct extensions and carry out alterations to High Mitten Cottage, Low Hawsker near Whitby (Figs. 1 & 2). The site is located to the south and south east of High Mitten Hill which is in turn 150m off Back Lane to the south east of Mitten Hill Farm.

**1.2** The other buildings forming High Mitten Hill are a dwelling and a holiday cottage to the north and a steel framed barn to the south.



**Fig.1:** Site Location (not to scale). Extract from drawing EX\_001 Location Plan. Crown Copyright and database rights Ordnance Survey licence number 100019980.



**Fig. 2:** Extract from Google Maps satellite images (not to scale).

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## 2.0 Site

**2.1** Low Hawsker lies to the south of Whitby within the North York Moors National Park. In the NYMNP's adopted Core Strategy and Development Policies document Low Hawsker is listed under "other villages" in the Settlement Hierarchy.

**2.2** High Mitten Cottage is part of the High Mitten Hill farmstead which lies outside the area covered by the NYMNP's Inset Map 33 Low Hawsker. The NYMNP's Proposals Map No. 5 shows that the site lies outside any area afforded further special status under Core Policy C.

**2.3** Formerly a detached barn, permission was granted in January 2004 (NYM/2003/0848/FL) for conversion to use as a holiday cottage along with a second adjacent building. Permission was subsequently granted for conversion to a dwelling (or holiday cottage) in July 2009 (NYM/2009/0334/FUL) but the use as such is linked to the main dwelling through Condition 1.

**2.4** The building can be seen on historical maps, most clearly as a detached structure on the Ordnance Survey Six Inch series 1888-1913 edition (Fig. 3), whereby along with a dog-leg range extending to the south from the main farm building, it forms an enclosed yard.

**2.5** There is a significant change in level running predominantly north to south.

**2.6** There is a public right of way some 300m to the east of the site running north to south.

**2.7** The Cottage is constructed of random sandstone brought to uneven courses under a clay pantile roof. The gable ends have stone water tabling and moulded kneelers, albeit inconsistent in their design. Some stones in the walls - notably the quoins - have herring-bone pattern tooling. As such the building has a quality above the typical simple farm barn found across the North York Moors. Some openings have simple stone lintels, whereas smaller openings, formerly ventilation slots, have no articulation. The rainwater goods are black plastic with gutters supported on rise & fall brackets.



Fig. 3: Ordnance Survey Six Inch Series 1888-1913 Edition (not to scale).

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Fig. 4: View of High Mitten Cottage looking south west.



Fig. 5: View of High Mitten Cottage looking north west.



Fig. 6: View of High Mitten Cottage looking south east.



Fig. 7: View of High Mitten Cottage looking north east with the outbuilding to the left.

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### 3.0 Proposals

**3.1** The existing Cottage has two bedrooms at first floor level although the second smaller room is utilised primarily as a home office and store for the adjacent holiday cottage. At ground floor there is no separate dining room and at present no relationship to the outside from either the kitchen or living room. Dining facilities are located within the living room. There are no toilet facilities at ground as required under Building Regulations for dwellings and there is only one external door. In essence it is lacking some the essentials of everyday living.

**3.2** The applicant wishes to improve the dwelling by providing a separate dining space taking advantage of southerly and western aspects linking the house to the garden area at the side and rear, provide a ground floor toilet, a utility to aid the servicing of the holiday cottage and provide a separate office and storage. The proposals provide access to the side and rear avoiding the need to use the front door at all times. Permission is also sought for a porch to the front door in order to provide protection from the elements and two roof windows providing additional much needed natural light into the second bedroom and stairwell.

**3.3** The side and rear extension is designed to maintain the existing eaves roof line and stone kneelers. The roof pitch is minimised to enable this and as such the choice of clay pantiles that can achieve such a low pitch is restricted. It is considered that employing a 'cat-slide' roof would be inappropriate. On the east (front) and north elevations the extension has the appearance of a simple 'lean-to' structure.

**3.4** Large openings and roof windows are employed to the south and west elevations to provide as much light as possible into the spaces, something that is lacking in the existing spaces.

**3.5** Local stone to match the existing is to be used although without the tooling found on some of the existing stones. Stones reclaimed from the new openings in the existing fabric will be reused wherever possible. Other new materials will match or be complimentary to the existing.

**3.6** The proposed porch is a simple narrow gabled stone built structure with a roof pitch and clay tiles to match the existing.

**3.7** The existing render garden wall with timber fence over is to be replaced with a dry stone wall and the area of hardstanding behind the Cottage is to be taken up and in lieu of planting beds.

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## 4.0 Planning Policy

### 4.1 National Policy - National Planning Policy Framework (NPPF)

**4.1.1** The NPPF is silent with regards to extensions to existing dwellings except in cases where the dwelling is located within Green Belt land as such deferring to local policies.

### 4.2 National Policy - General Permitted Development Order 2015 (GPD)

**4.2.1** The proposals fall outside the GPD although it follows a number of the principles for rear and side extensions laid out in the Technical Guidance (April 2017) accompanying the GPD as well as other key dimension for eaves and ridge heights.

### 4.3 Local Policy - Adopted Core Strategy & Development Policies

**4.3.1** The proposals comply with key points 1-3 stated under Development Policy 19 in that the scale, height, form position and design of the extensions do not detract from the original building or its setting in the landscape. Nor is there any loss of residential amenity for neighbouring occupiers or the loss of amenity for the existing Cottage. The proposals will not affect neighbouring occupiers amenity by reason of noise and disturbance, smell or other adverse impact.

### 4.4 Local Policy - Supplementary Planning Document: Design Guide - Parts 1-2

**4.4.1** The proposals alter the ground floor plan in order to take advantage of the benefits of the orientation of major spaces to within 30° of south in order to maximise natural light and solar gain.

**4.4.2** The proposed side and rear extension is set back from the principle elevations and is based on a 'lean-to' structure subservient to the existing building. The form, character and detailing respects the traditions of the Moors and the existing building whilst answering the applicant's needs.

### 4.5 Emerging Local Policy - Draft Local Plan

**4.5.1** The Draft Local Plan is currently in the early consultation stages following publication of the 'First Steps' document in September 2016.

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**NOTES:**  
 Block Plan based on Ordnance Survey data (licence number 100019980) along with site dimensions and information interpolated from photographs.

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Block Plan 1:500

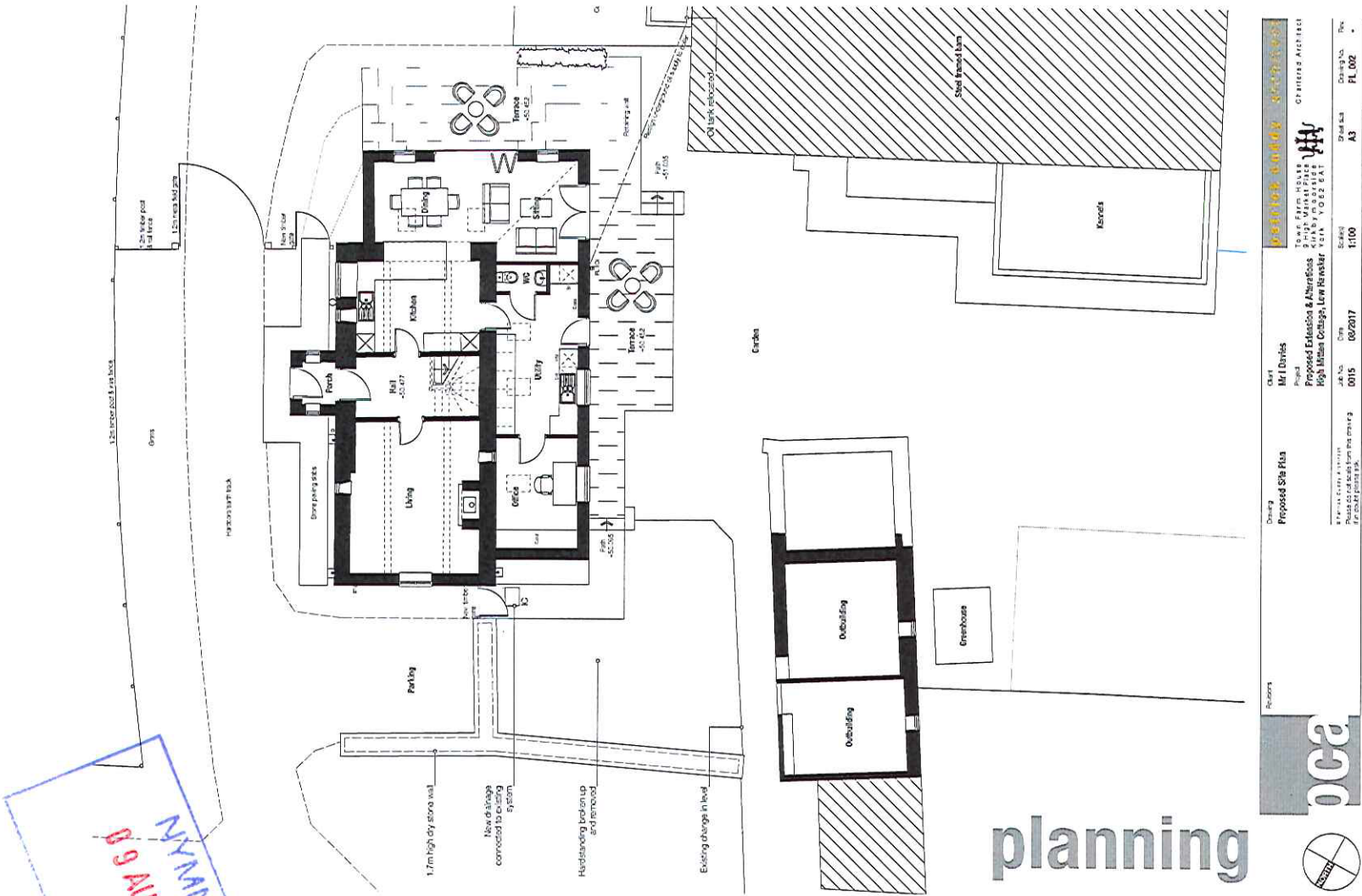
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Revisions	Drawing Proposed Block Plan	Client Mr I Davies			
		Project Proposed Extension & Alterations High Mitten Cottage, Low Hawsker	Town Farm House 9 High Market Place Kirkbymoorside York YO62 6AT Chartered Architect		
© Patrick Cuddy Architects Please do not scale from this drawing. If in doubt please ask.	Job No. 0015	Date 08/2017	Scale(s) 1:500	Sheet size A3	Drawing No. / Rev. PL_001 / -

Fig.9: PL\_001 Proposed Block Plan (not to scale)





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**DCR**

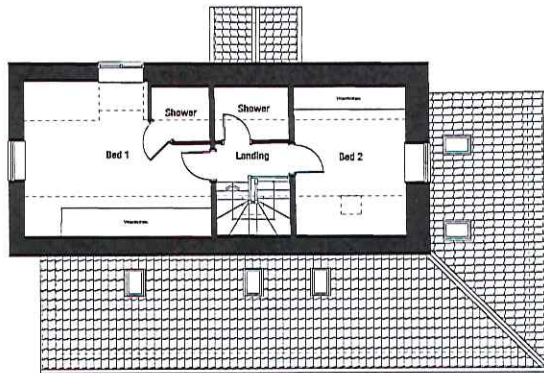
**DCR**

Project: Proposed Site Plan  
 Client: Mr. Daniels  
 Project: Proposed Extension & Alterations  
 High Millan Cottage, Low Rowaker, York  
 Date: 08/2017  
 Scale: 1:100  
 Drawing No: PL 002

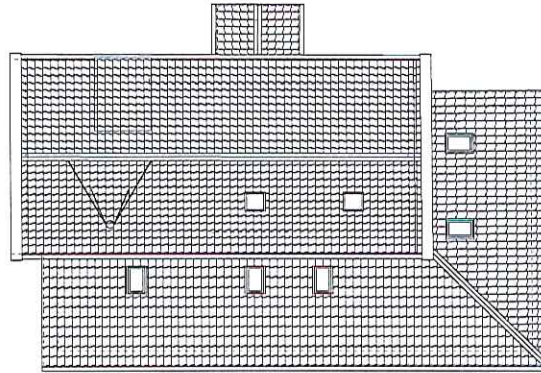
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Fig.10: PL\_002 Proposed Site Plan (not to scale)

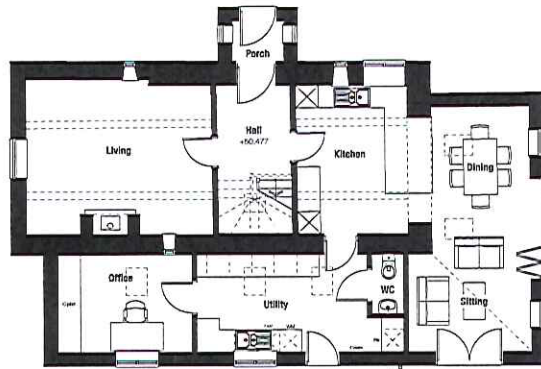
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First Floor 1:100



Roof 1:100



Ground Floor 1:100

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Drawn: <b>Proposed Floor Plans</b>	Client: <b>Mr I Davies</b>	<b>JOHNICK CUNY &amp; PARTNERS</b> Town Farm House 9 High Market Place Kirkby in Ashfield York YO22 6AT Chartered Architect
Project: <b>Proposed Extension &amp; Alterations High Milton Cottage, Low Hawsker</b>	Job No: <b>0015</b>	Date: <b>08/2017</b>
Scale(s): <b>1:100</b>	Sheet size: <b>A3</b>	Drawing No.: <b>PL_003</b>
Rev:		

Fig.11: PL\_003 Proposed Floor Plans (not to scale)



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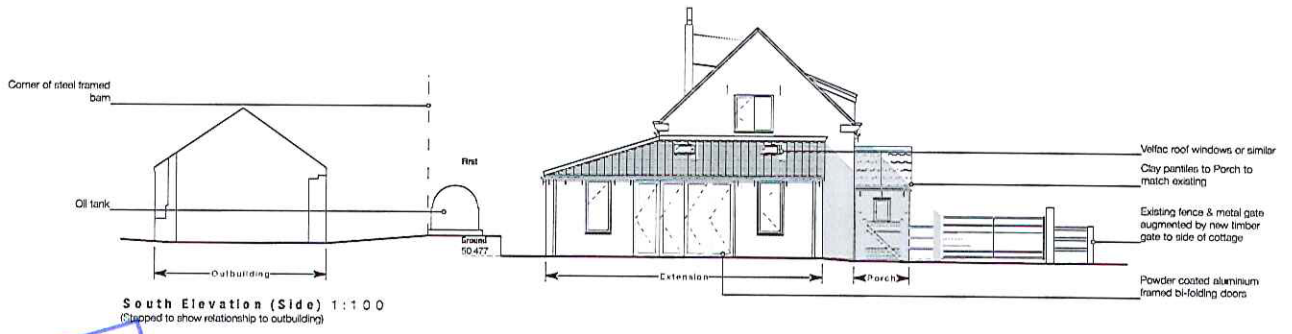
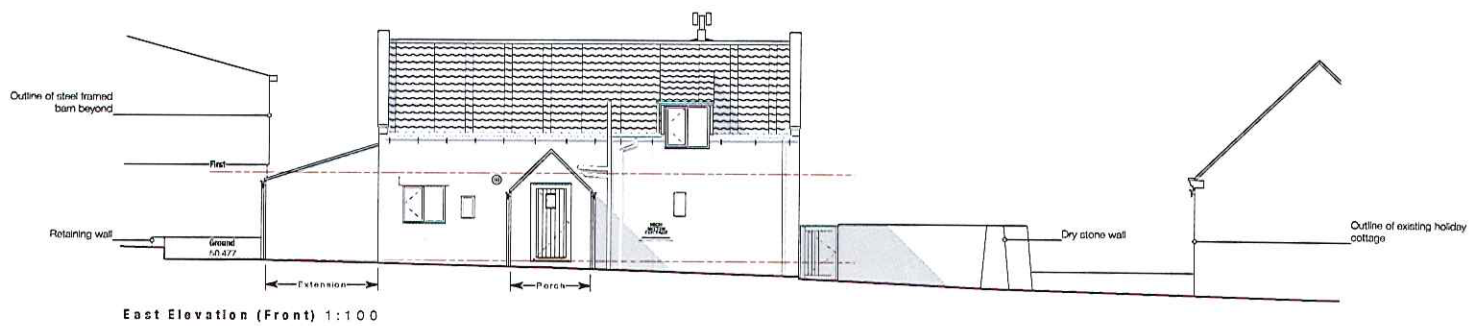


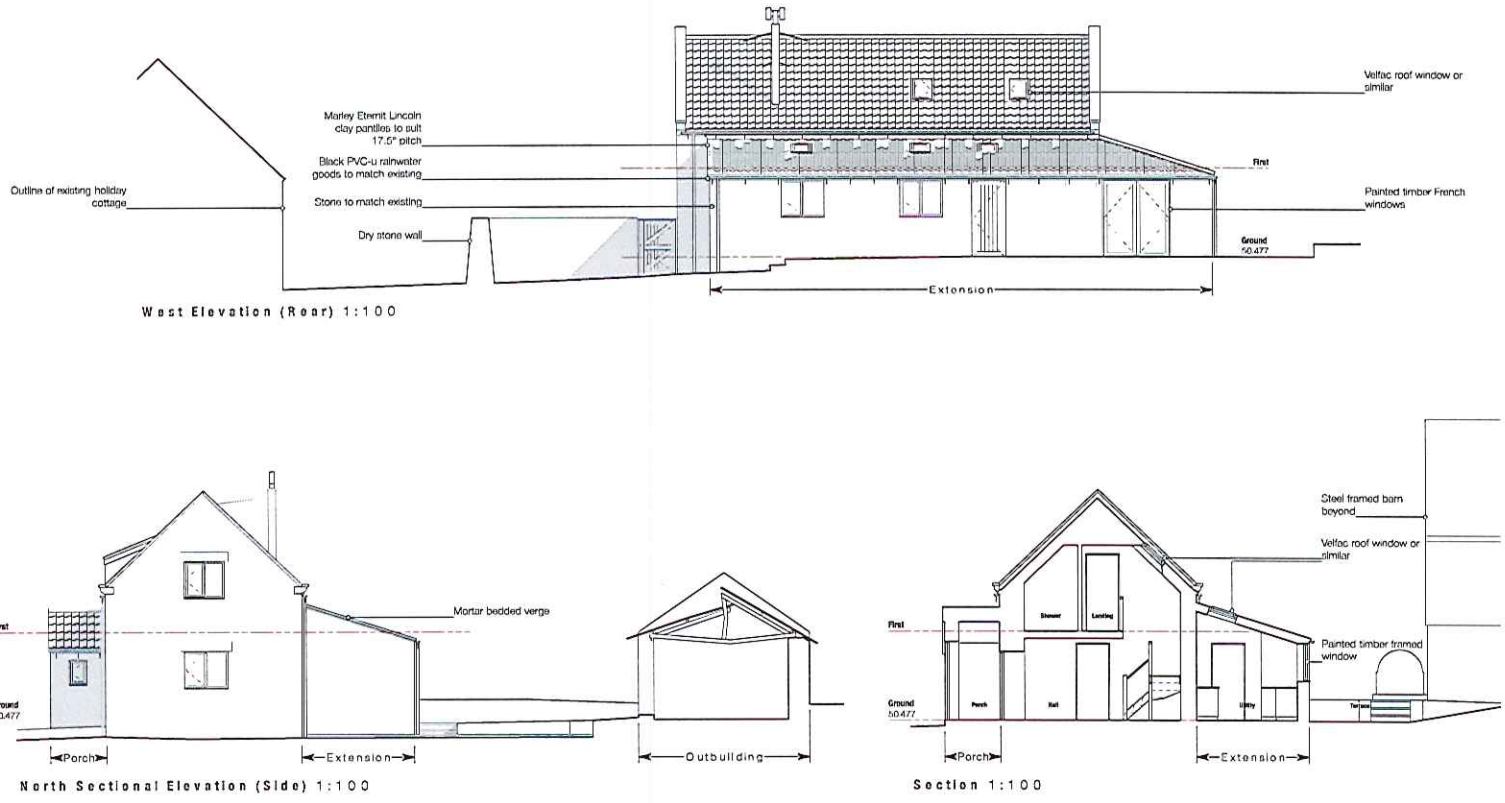


Fig.12: PL\_004 Proposed Elevations (not to scale)

	Drawing <b>Proposed Elevations</b>		Client <b>Mr I Davies</b>	
	Project <b>Proposed Extension &amp; Alterations                  High Millen Cottage, Low Hawker</b>		Town Farm House 9 High Market Place Kirkby Maltrise York YO62 6AT	
Job No. <b>0015</b>		Date <b>08/2017</b>	Scale <b>1:100</b>	Sheet size <b>A3</b>
Drawing No. <b>PL_004</b>		Rev <b>-</b>	Chartered Architect	



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Revisions	Drawing <b>Proposed Elevations &amp; Section</b>	Client <b>Mr I Davies</b>	<b>ANTHONY CURRY ARCHITECTS</b>		
		Project <b>Proposed Extension &amp; Alterations High Mitten Cottage, Low Hawsker</b>	Town Farm House 9 High Market Place Kirkbymoorside York YO62 6AT Chartered Architect		
	Architect <b>Anthony Curry Architects</b> Please do not scale from this drawing. If in doubt please ask.	Job No. <b>0015</b>	Date <b>06/2017</b>	Scale <b>1:100</b>	Sheet size <b>A3</b>
				Drawing No. <b>PL_005</b>	Rev. <b>-</b>

Fig.13: PL\_005 Proposed Elevations & Section (not to scale)