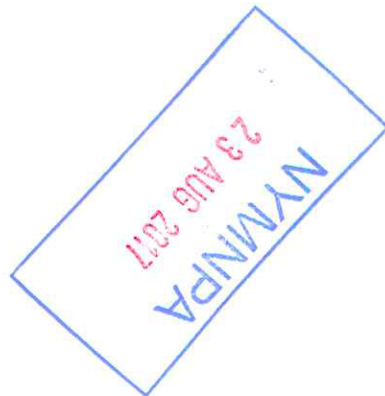


bramhall blenkham The Maltings Malton North Yorkshire YO17 7DP

## Hern Head House

Troutsdale, Snainton  
YO13 9PS

Design & Access Statement  
& Heritage Asset Assessment  
& Flood Risk Assessment



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## 1.0 Introduction

1.1 This document accompanies an application that seeks permission to extend a single private dwelling at Troutsdale, North of Snainton (Fig. 1). The property is in a private and rural location 3,1/2 miles to the North of A170 accessed via a private drive from Snainton Lane. A mixture of farm land and mature woodland boundary the site.

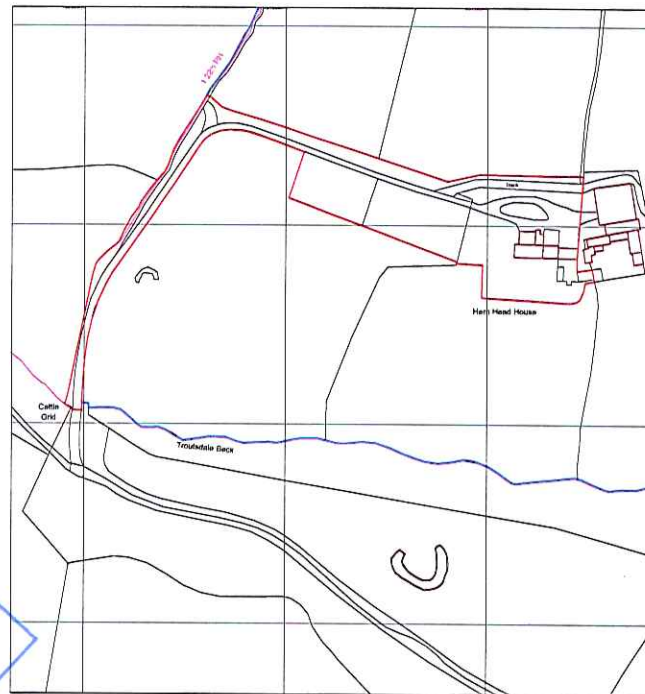
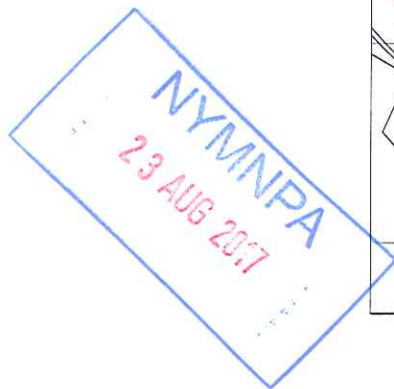


Fig 1: Site Location (not to scale)



Fig 2: Extract from Google Maps (not to scale)



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## 2.0 Site Existing

2.1 The building to be extended appears to be present on the 1854 Ordnance Survey map (Fig. 3), and is clearly visible on the 1892, 1911 & 1973 Ordnance Survey maps in their current form (Fig. 4, 5 & 6). There are no signs that the building has been significantly altered to the front elevation. The rear elevation shows signs of modernisation and alterations.

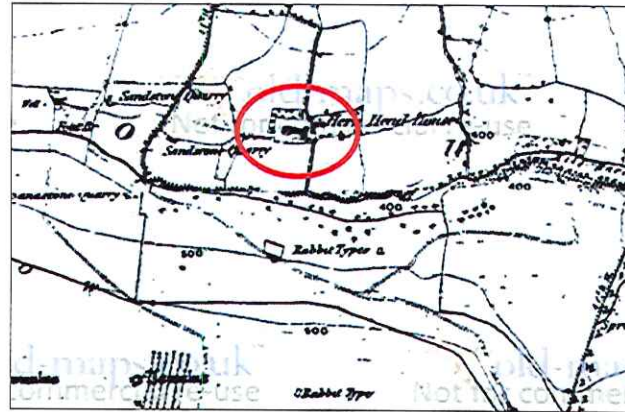


Fig. 3: Extract from 1854 OS

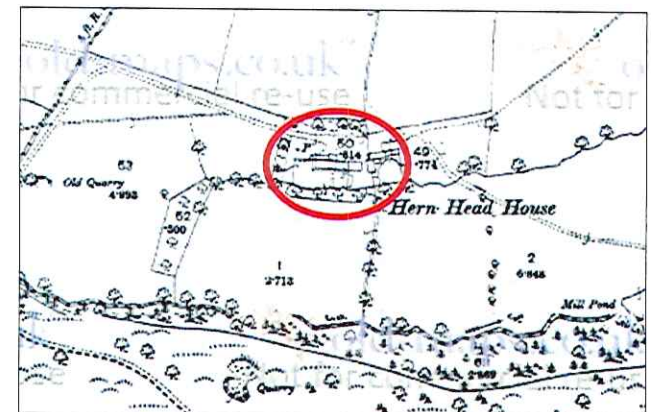


Fig. 4: Extract from 1892 OS

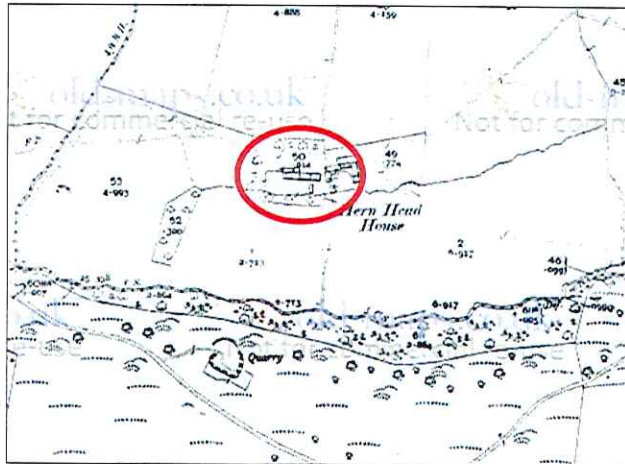


Fig. 5: Extract from 1911 OS

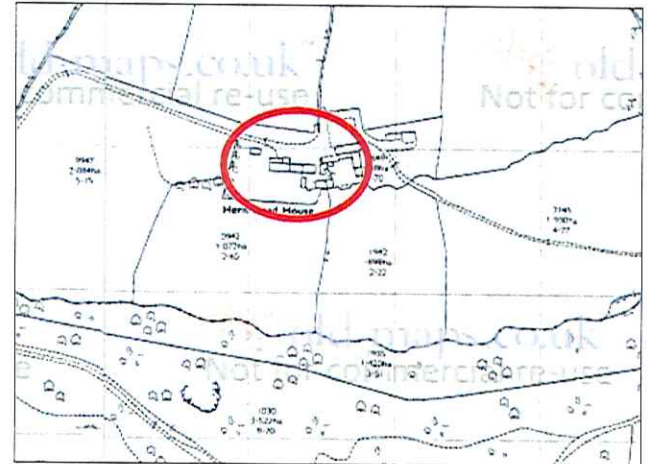


Fig. 6: Extract from 1973 OS

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2.2 Hern Head House is not Listed nor in a Conservation Area. It sits in open countryside within the North Yorkshire Moors.

Notwithstanding the inconsistent dormer windows, this is a traditional isolated farmhouse with adjacent range of agricultural buildings to the East located in Troutdale within the National Park. Traditionally built in stone with a red clay pantile roof covering, low eaves height and water tabling to gables, the house is typical of the local vernacular. Another characteristic of this type of building is the fact that the front / South elevation is proportioned and considered whereas the rear / North has been extended and altered to accommodate the owners and various functions of the building across its lifespan. As a result the North elevation is a collection of modern extensions and alterations. Whereas the original house is constructed in large dressed stonework, later extensions are in lesser quality random stonework highlighting the significance of the main elevation.



Fig. 7: View of South West / front elevation



Fig. 8: View of dwelling from the approach to the building from the North West



Fig. 9: View of the North elevation with lean-to kitchen extension in the centre to be removed



Fig. 10: View from garden of North elevation in a South West direction



Fig. 11: View of rear / North West elevation of dwelling with agricultural buildings beyond

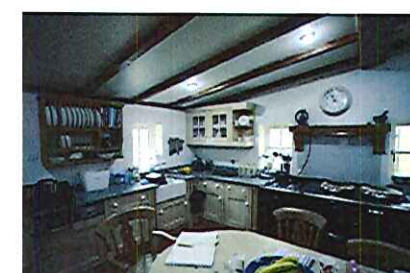


Fig. 12: Internal view of kitchen extension - proposed to be removed / replaced. Image shows low roof pitch and eaves height.

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2.3 The kitchen extension is the most recent to the North of the existing dwelling. Although constructed in stone with a red clay pantile roof covering, the roof is constructed with low eaves and a very low pitch to the horizontal. Although it is typical that roof pitches do not always match across a building of this age, such a shallow pitch compared to the remaining dwelling is a clear statement of its age.

2.4 Due to the topography of the site and surrounding Troutsdale it is difficult to see this site or buildings from any public highway. An area of existing woodland between the site and Troutsdale Beck to the South means that it is only possible to remotely view the buildings from afar.



Fig. 13: Extract from Google street view from public highway ( Snainton lane South East of the site with the only view of the site in the distance

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# Heritage Asset Assessment

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## 3.0 Heritage Asset Statement

3.1 Although the building is not Listed it is recorded on the 1854 first edition Ordnance Survey. It contains some traditional features and we have therefore assessed the building as a nondesignated heritage asset.

The form and footprint of the existing property has seen little change in its lifetime but it has been subjected to several ongoing alterations and modernisations.

Existing windows and doors are a mix of UPVC and timber casements and the rear elevation shows signs of altered and new openings being made. At some point in recent history the roof covering has been replaced and although the red clay pantiles probably match the original style, they are clearly newer. Black UPVC rainwater goods are fitted via brackets fixed to painted timber fascia boards.

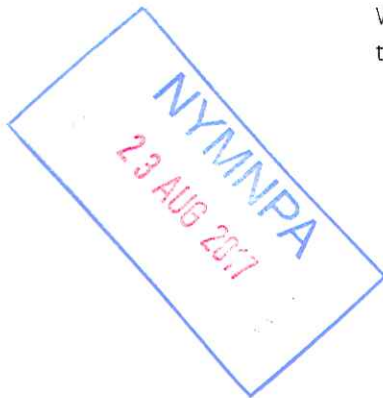
Although the South elevation is the most significant, it too has been altered with additional rooflights and a steel flue pipe.

Stonework on rear elevations is more coursed rubble than hammer-dressed, although slightly dressed quoins and shaped kneelers are evident on the two-storey gable.

The proposals remove the small kitchen lean-to extension from the rear / North and replace it with a new extension which will extend further East. Rather than extending the low pitch roof which is an unsympathetic combination of modern and traditional styles, our proposals are for a modern green flat roof extension over stone walling to match the existing house.

The main front ( South ) and approach ( West ) elevations will not be affected by these works.

We consider that there would be only minor impact on the existing building as a result of these works. The modern extension to the rear of a traditional farmhouse is in keeping with the vernacular and historic nature of buildings within this environment.



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## 4.0 Proposed

4.1 The kitchen to the ground floor of the existing building is located within an existing lean-to structure adjacent to the modern gabled extension on the North West corner of the house. The existing structure has a red clay pantile roof which is considerably below the minimum recommended pitch for their effectiveness. The stone walling shows signs of significant alteration.

It is our proposal to extend the rear of the dwelling with minimal impact to the existing building and character of the dwelling. A single-storey ground floor extension to the rear of the property will allow the required additional floor space for modern standards of living to be sympathetically added. This will have a minimal impact on the dwelling. The rear of the building is historically the least architecturally important and this is reflected in this design. The service parts of the accommodation are located to the rear and the front carries the uniform facade with main building entrance. By extending the rear of the building the character of the building is not lost. The modern extension will reflect the modern vernacular. The single-storey proportions with parapet wall and sedum green flat roof follow the subservient character of building extensions. There will be very little external alteration to the remaining building to accommodate this extension.

4.2 The extension is located to the North and East elevations which are physically the darkest part of any building. In order to improve the natural light a glazed roof lantern and painted timber windows are proposed. The external materials for this extension are to match the local vernacular and existing building. Walls are to be constructed in natural sandstone rubble stonework of matching materials, with painted timber windows under oak facing lintels. Existing UPVC rainwater goods will be replaced with black painted cast aluminium.

4.3 Where possible any removed materials such as stonework will be reused in the creation of the proposals. All new materials, including windows and doors etc. will match the existing as closely as possible or reflect the character and location of the existing building within this rural setting.



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## 5.0 Planning Policy

Hern Head House has had no recent planning applications submitted.

In formulating our proposals we have considered the planning history, made reference to National Planning Policy by means of the NPPF and also the North York Moors National Park Authority Local Development Framework document 'Core Strategy and Development Policies'.

At the heart of the NPPF is a 'presumption in favour of sustainable development' (para 14) where sustainable means that making decisions for today does not compromise the situation for future generations, paragraph 58 identifies that innovation and good design should not be prevented in situations where local character and history defines the area.

The NPPF makes several references to historic assets in section 12. We believe that in particular para 132 supports conservation of the asset if harm is minimal and there are benefits in enabling other work.

Core Policy G of the Local Development Framework is most pertinent to our proposals. DP3 sets out the principal design considerations:-

We believe the location of the single-storey rear extension does not impact on the principal elevation of the Building (south) and cannot be seen from the public highway. As the ground rises to the north the extension sits low down and further minimises the visibility in the wider landscape. We have considered the design in detail and intend to follow this through the construction of the extension. As the building stands alone in the landscape there will be no affect on neighbouring amenity. We have set out in the Heritage Assessment why we believe our proposals will not make an unacceptable impact on the building.





# Access / Flood Risk Assessment

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## 6.0 Access & Accessibility

The property has been designed to meet the requirements of Part M of the Building Regulations (*Access to and Use of Buildings*) as a minimum standard. Level access from car parking to primary entrances and external areas has been prioritised.

## 7.0 Flood Risk Assessment

From information available on the Environment Agency website, it has been determined that the property falls outside the area prone to significant flooding risk as demonstrated below on the Environment Agency flood risk map (Fig. 15).

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Fig. 14: Flood risk map extract from Environment Agency website

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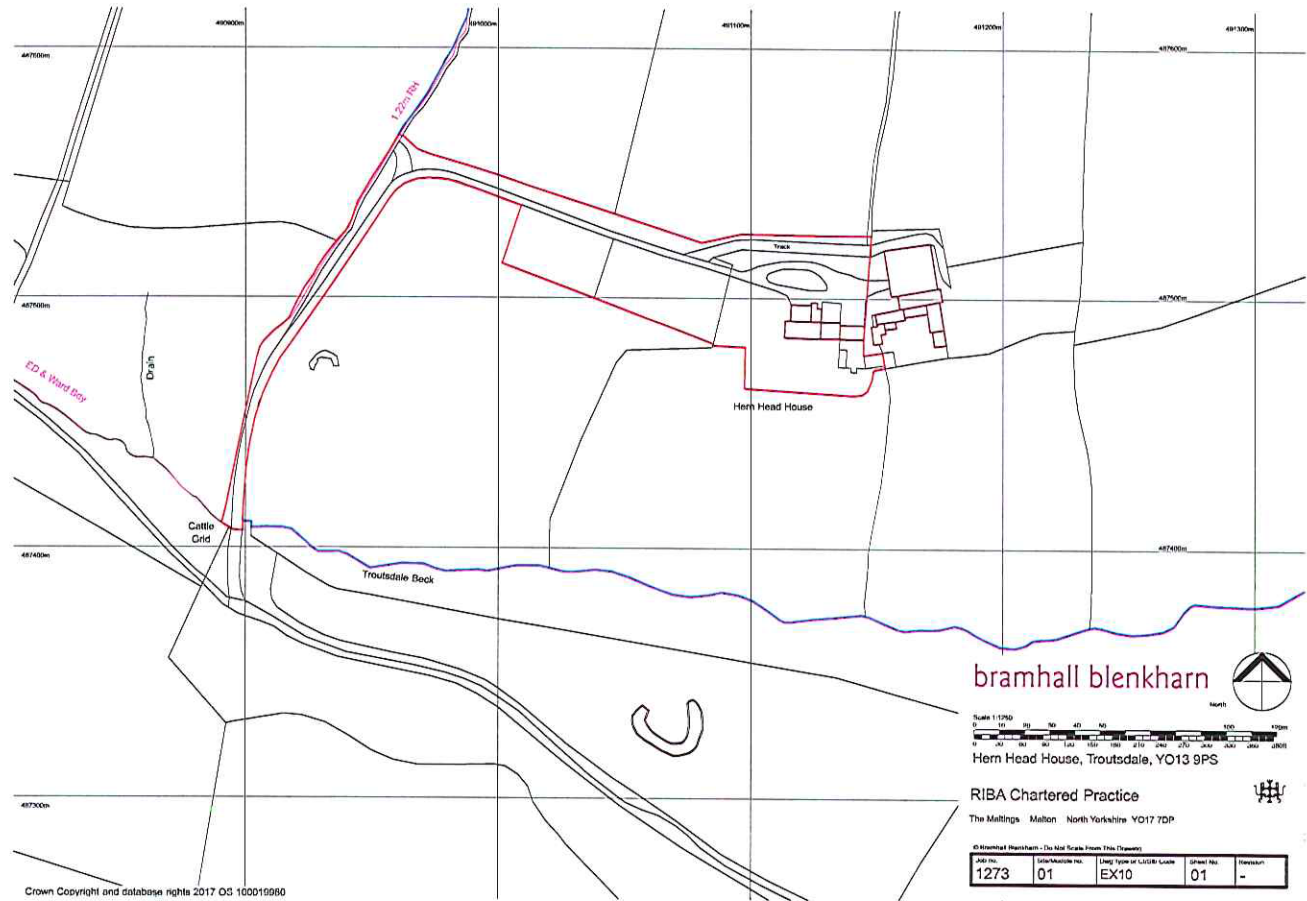


Fig. 15: OS Extract Site location plan

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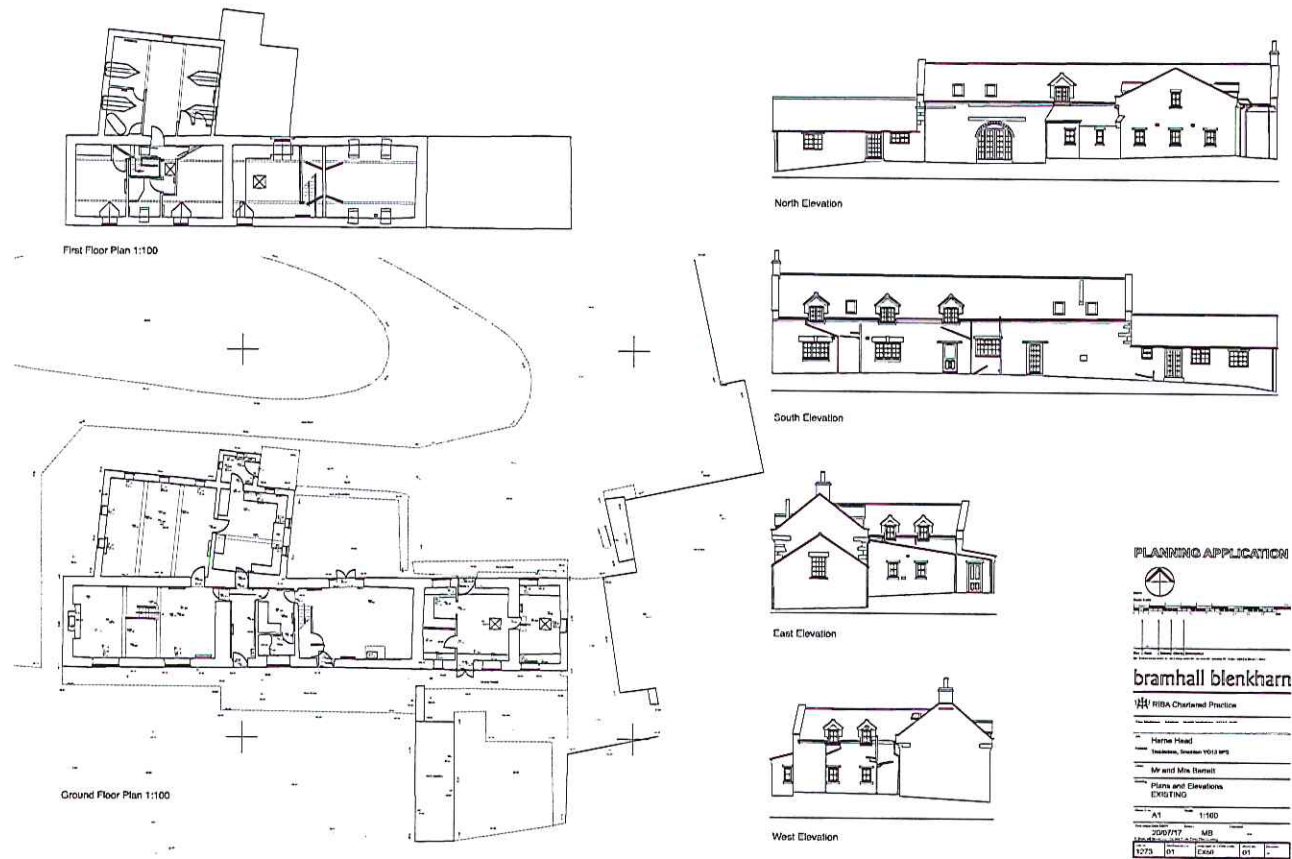


Fig. 16: Survey drawing

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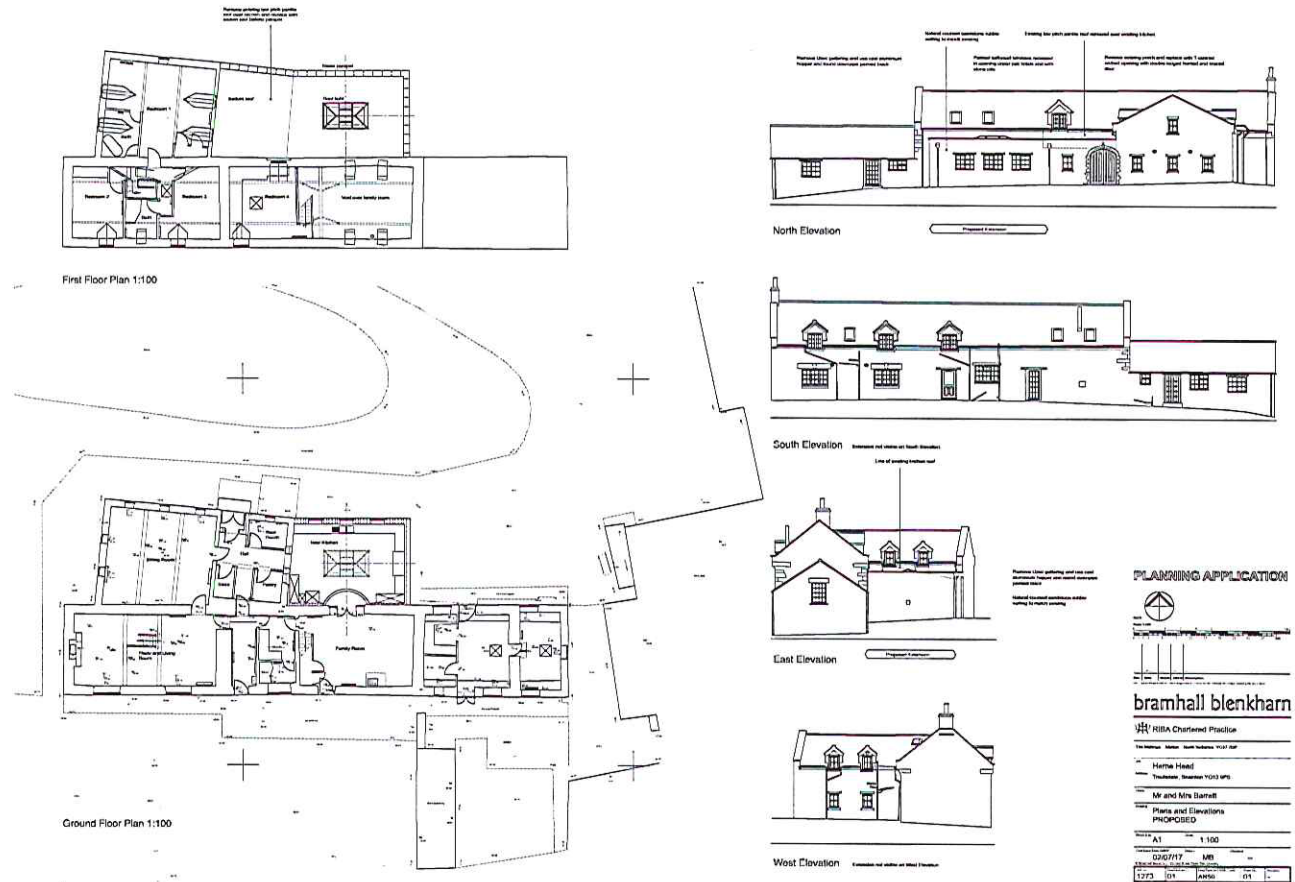


Fig. 17: Proposals drawing

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