

North York Moors National Park Authority

District/Borough: Scarborough Borough Council
(South)
Parish: Staintondale

Application No. NYM/2017/0678/FL

Proposal: use of land for the siting of 1 no. railway carriage for holiday purposes
(retrospective)

Location: Bent Rigg Farm
Ravenscar

Decision Date: 05 December 2017

Consultations

Parish -

Highways – No objections

Yorkshire Water – No observations or comments are required.

Environmental Health Officer (Commercial regulation) – Depending on the use of the adjacent agricultural buildings, there is potential for smell nuisance, should livestock be housed intensively.

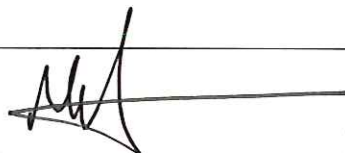
Site Notice Expiry Date – 9 November 2017

Director of Planning's Recommendation

Approval subject to the following condition(s):

1.	TIME01	The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.
2.	PLAN02	The development hereby approved shall be only carried out in strict accordance with the detailed specifications and plans comprised in the application hereby approved or in accordance with any minor variation thereof that may be approved by the Local Planning Authority.
3.	RSU000	The timber carriage hereby approved shall not be used for residential purposes other than holiday letting purposes. For the purpose of this condition 'holiday letting' means letting to the same person, group of persons or family for period(s) not exceeding a total of 28 days in any one calendar year.
4.	RSU000	The timber carriage shall form and remain part of the curtilage of the existing dwelling known as Bent Rigg Farm and shall not be sold or leased off from the main dwelling or let off except as holiday accommodation in accordance with the terms of condition 3 above without a further grant of planning permission from the Local Planning Authority.

Signature:



Date:


5/12/17

Application Number: NYM/2017/0678/FL

5.	GACS07	No external lighting shall be installed in the development hereby permitted until details of lighting have been submitted to and approved in writing by the Local Planning Authority. The lighting shall be installed in accordance with the details so approved and shall be maintained in that condition in perpetuity.
6.	WPDR12	Notwithstanding the provisions of Class B, Part 5 of Schedule 2 of the Town and Country Planning (General Permitted Development) Order 2015, or any Order revoking and re-enacting that order, no development required by the conditions of a site license shall be permitted without the granting of planning permission by the Local Planning Authority.
7.	LNDS00	The planting of indigenous tree species, comprised in the approved details shown on plan no. A1-1195-WO829A dated 24 th August 2017 shall be carried out no later than the first planting season following the date of this permission, or in accordance with a programme agreed by the Local Planning Authority. The approved landscaping scheme shall be maintained in perpetuity unless otherwise agreed in writing by the Local Planning Authority.

Reason for Condition(s)

1.	TIME01	To ensure compliance with Sections 91 to 94 of the Town and Country Planning Act 1990 as amended.
2.	PLAN01	For the avoidance of doubt and to ensure that the details of the development comply with the provisions of NYM Core Policy A and NYM Development Policy 3, which seek to conserve and enhance the special qualities of the NYM National Park.
3.	RSU015	The site is in a location where new residential development would be contrary to NYM Core Policy J but permission for holiday accommodation has been permitted to provide facilities for visitors in line with NYM Development Policy 16.
4.	RSU005	In order to enable the Local Planning Authority to retain control over the scale of activity at the site and ensure compliance with NYM Core Policy A which seek to conserve and enhance the special qualities of the NYM National Park.
5.	GACS01	In order to comply with the provisions of NYM Core Policy A which seeks to ensure that new development does not detract from the quality of life of local residents.
6.	WPDR03	In order to enable the Local Planning Authority to retain control over future buildings at the site in the interests of safeguarding the landscape character of the locality and in line with NYM Core Policy A and NYM Development Policy 16, which seek to enhance and conserve the special qualities of the NYM National Park and secure high quality design for new development.
7.	LNDS01	In order to comply with the provisions of NYM Development Policy 3 which seeks to ensure that new development incorporates a landscaping scheme which is appropriate to the character of the locality and retains important existing features.

Signature:		Date:	5/12/17
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Application Number: NYM/2017/0678/FL

Background

Bent Rigg Farm is located on the south eastern side of Ravenscar along a single track lane.

The farmhouse itself is Grade II listed and there is a long standing small scale caravan site to the rear of the farmhouse and yard.

This planning application seeks full planning permission to site a timber structure in the shape of a train carriage, for holiday use in the grass field to the rear of the house. This is where caravans have previously been sited. The carriage has timber walls and is unpainted, with a felt roof. The carriage is bounded to the north east with a dry stone wall and it is proposed to undertake some planting with indigenous species alongside this wall.

Car parking for the shepherds hut will be located adjacent the farm house in the existing parking area.

Main Issues

The relevant planning policies to this proposal are discussed below.

Development Policy 5 of the Core Strategy and Development Policies document only permits extensions or change of use of a Listed Building, or the construction of any structure within its curtilage where such development will not have an unacceptable impact on the special historic or architectural interest, or the setting of the listed building.

Development Policy 13 of the Core Strategy and Development Policies document seeks to support proposals for the diversification of existing agricultural businesses where the scheme will make use of existing buildings and the proposed scheme is compatible with the existing farm activity and is of a scale and nature that will not harm the character and appearance of the locality, and where the existing access arrangements are appropriate for the proposed use.

Development Policy 14 seeks to ensure that new tourism development and the expansion or diversification of existing tourism businesses will be supported where the proposal will provide opportunities for visitors to increase their understanding, awareness and enjoyment of the special qualities of the National Park; where the development can be satisfactorily accessed from the road network (by classified roads) or by other sustainable modes of transport including public transport, walking, cycling or horse riding; where the development will not generate an increased level of activity; where it will make use of existing buildings and where proposals for new accommodation do not have an adverse impact on the character of the local area.

Signature:



Date:

5/12/17

Application Number: NYM/2017/0678/FL

Development Policy 16 seeks to permit proposals for the expansion of existing camping and caravanning sites where the site is located within an established area of woodland or forest; where the site is physically and functionally -linked to an existing business and can be managed without the need for additional permanent residential accommodation; where the site is in close proximity to the road network and would not result in an increase in traffic that would be harmful to the area; the scale of development would not be out of character with the area and the proposals should be designed in such a way as to minimise the level of permanency so that buildings can be removed when they are no longer required.


The proposal will be located over 50 metres away from the listed buildings, out with the curtilage, therefore it is considered that the proposed development will not have an unacceptable impact on the listed buildings.

The scheme involves the diversification of an existing agricultural business and the timber carriage is considered to be of an appropriate scale and nature that will not harm the character and appearance of the rural locality. Furthermore, it is believed that the proposal for holiday accommodation in the form of a small timber carriage will help to attract visitors to the area.

In view of the above, the proposal is considered to be in accordance with adopted Policies and approval is recommended.

Explanation of how the Authority has Worked Positively with the Applicant/Agent

The Local Planning Authority has acted positively in determining this application by assessing the scheme against the Development Plan and other material considerations and subsequently granting planning permission in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework.

Signature: 	Date: 5/12/17
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