

Amendments/Additional Information

- Amended layout of buildings/outside areas
- Additional background information
- Amended design
- Revised access arrangements
- Change of description of proposed development
- Change in site boundaries
- Other (as specified below)

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Additional rooflight + correction of
error in m regards to proposed materials
on OTH statement
.....

Design and Access Statement

The proposed minor alterations to Low Newbiggin North farm Aislaby are the repositioning of the existing front porch , fitting of a Bi-fold door and the demolition of an existing block built rear porch with a stone and pantile unit covering the same footprint. Along with a wooden storage shed after the removal of an existing steel storage container.

Physical Context

The site of Low New Biggin Low farm is one of isolation and away from passing traffic and most walkers. The original farm building is of standard construction and design for the area.

The modifications to the main dwelling are proposed to give more light into the various rooms.

Replace a rather untidy rear porch of rendered block construction with an identical unit that will match the materials of the rest of the building

The proposed new building is constructed from renewable resources.

Social Context

The original farm has few near neighbours and lies in a very remote location

Consultation

Full consultation has taken place with the Neighbours

Sustainability

The interior of the main house has limited natural light and the repositioning of the front porch

And fitting of the BI-fold doors will provide the rooms with much more light

The building for storage and as such will have no bearing upon energy efficiency.

Design

As the front porch is to be reconstructed using the original stone and pantile roof, the finished item

Look exactly the same and the rear porch will enhance the quality of the building by the use of matching Materials.

The storage shed will be clad Yorkshire boarding under a Fibre Cement Sheeted roof

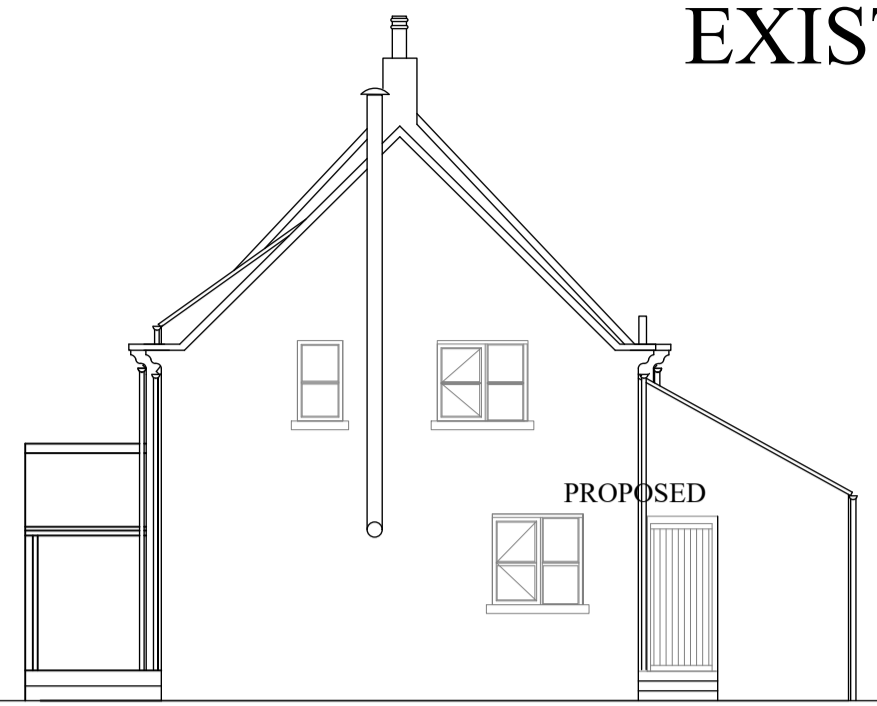
Access

There will be no new access required for the building and it will be constructed on a level concrete base.

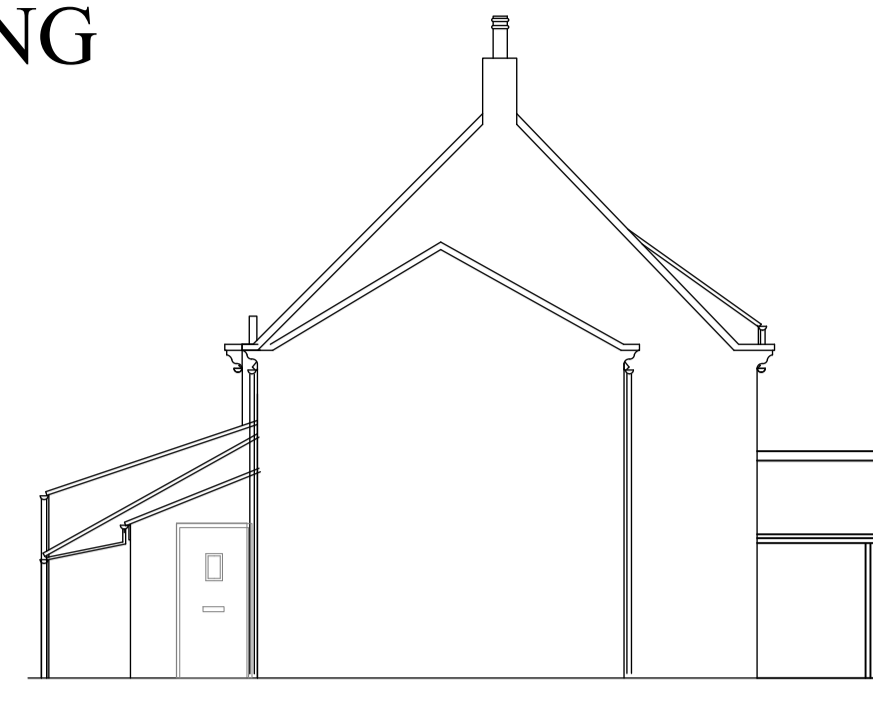
EXISTING



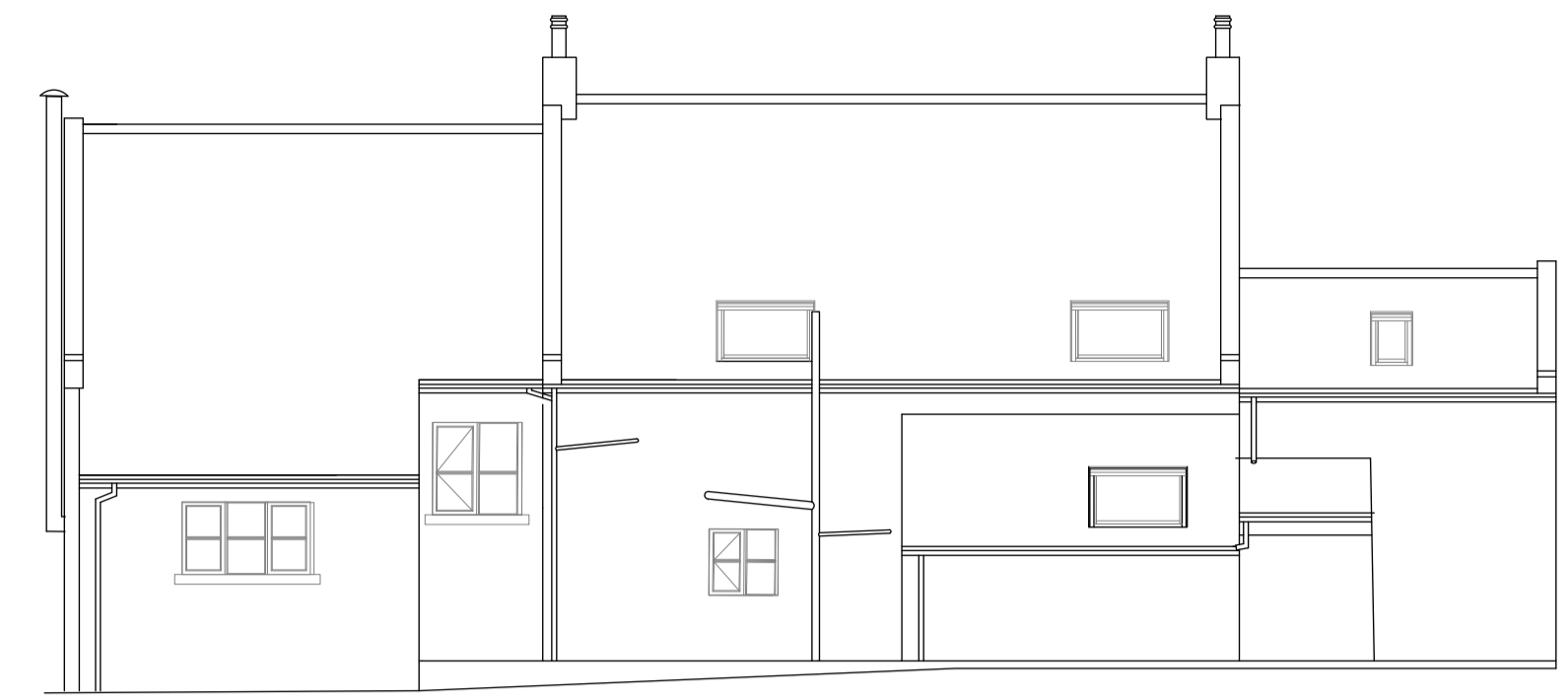
FRONT ELEVATION



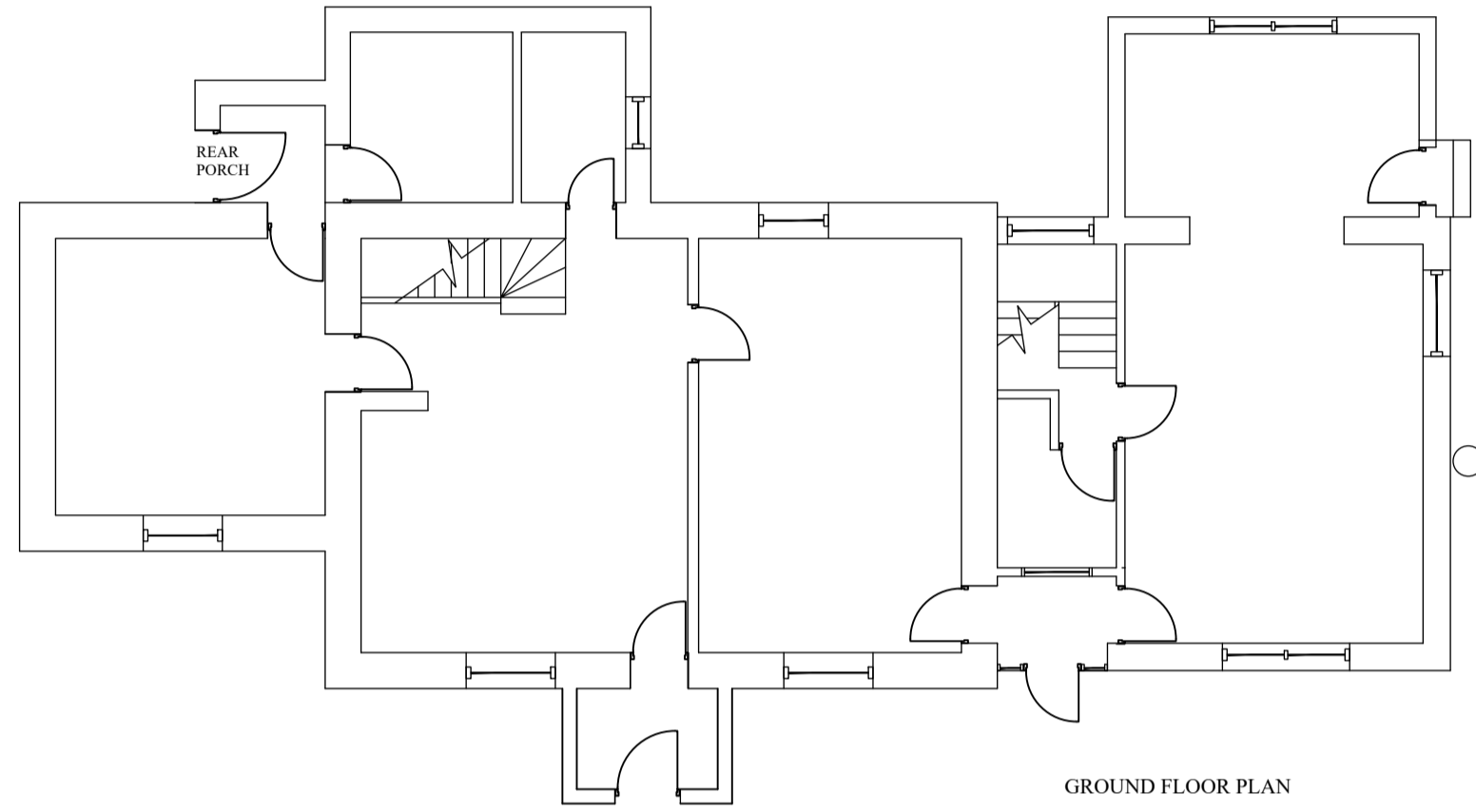
END ELEVATION LOOKING WEST



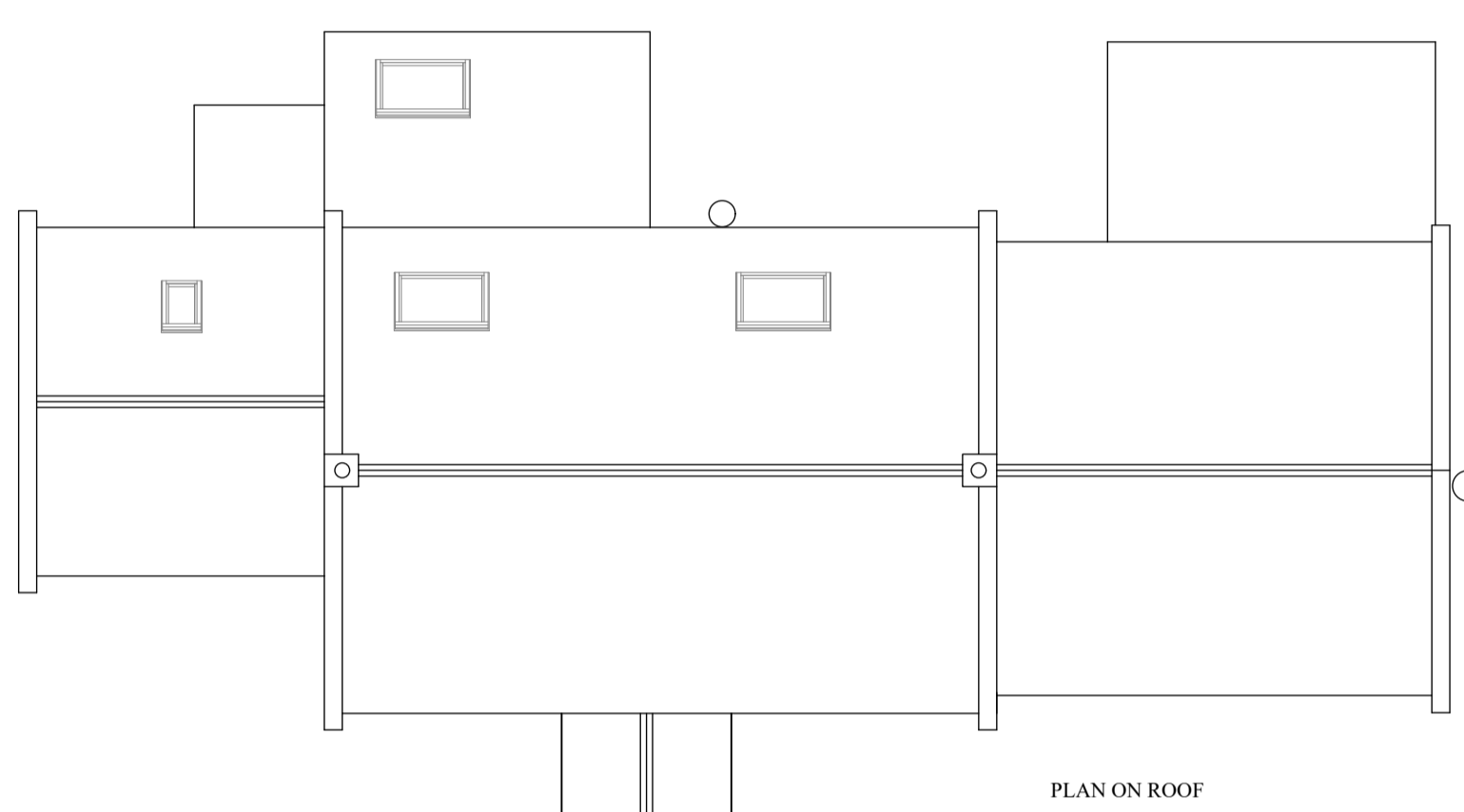
END ELEVATION LOOKING EAST



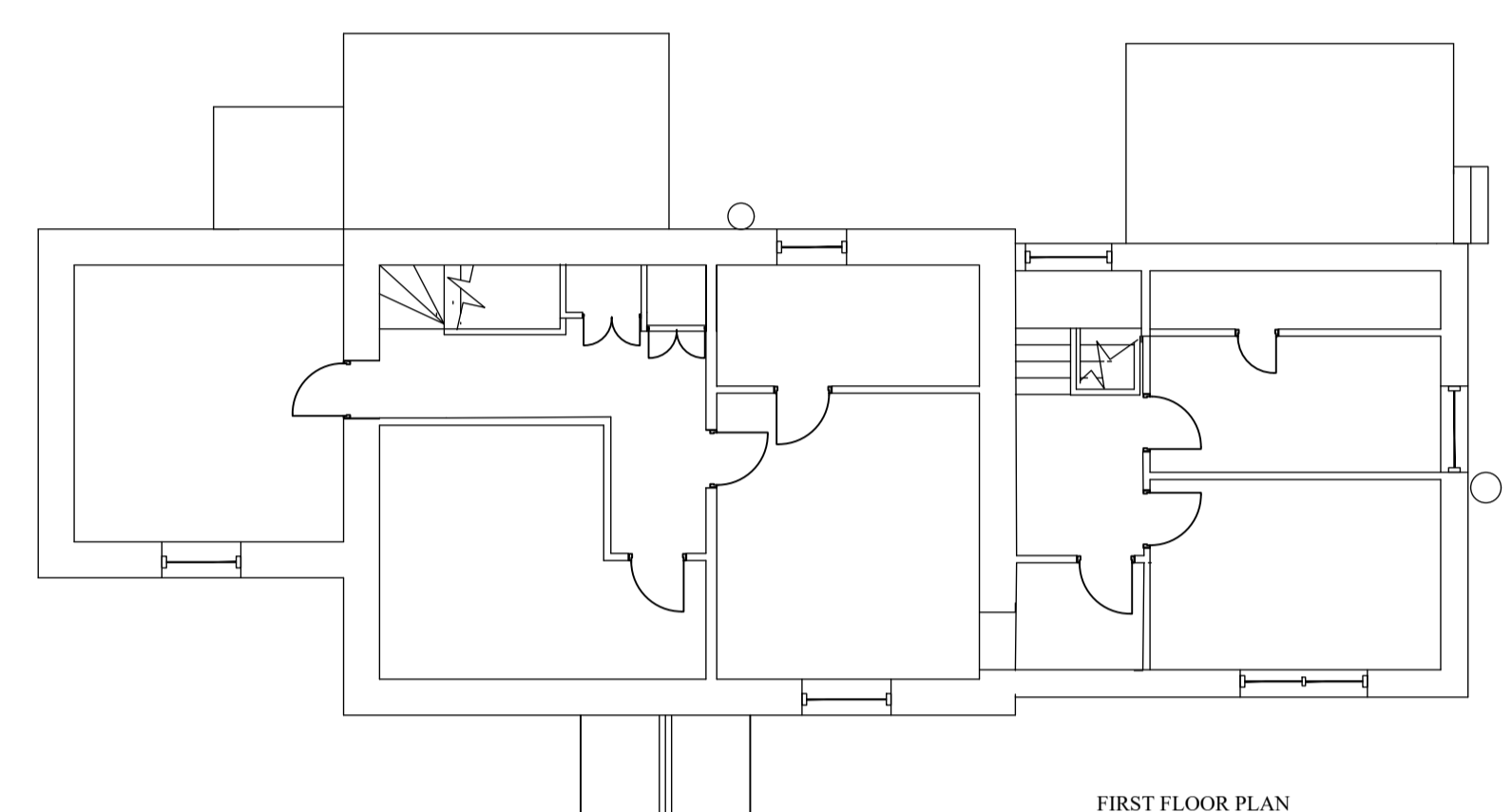
REAR ELEVATION



GROUND FLOOR PLAN



PLAN ON ROOF



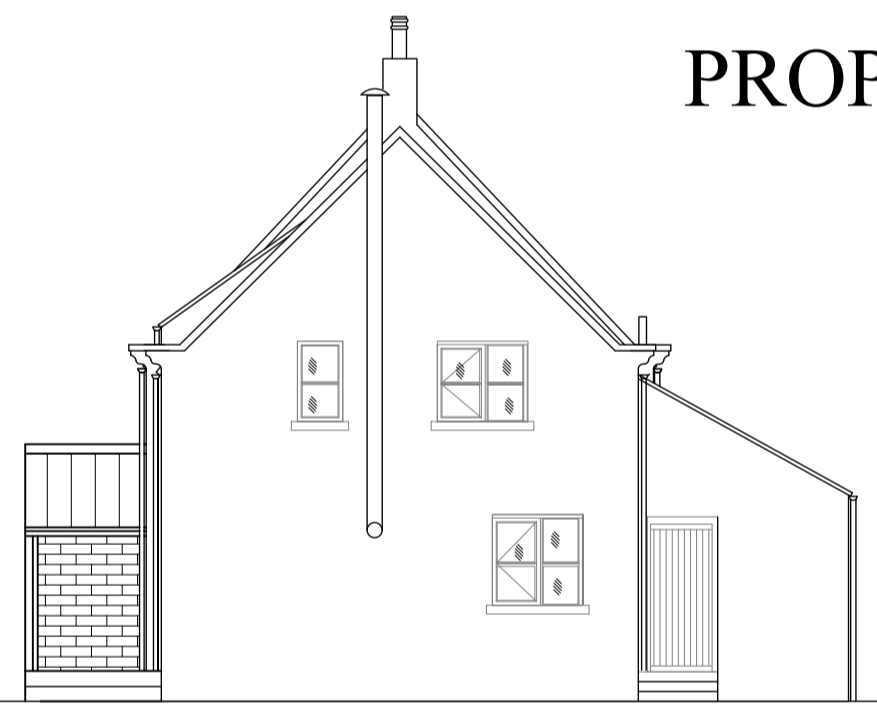
FIRST FLOOR PLAN

FIRST FLOOR

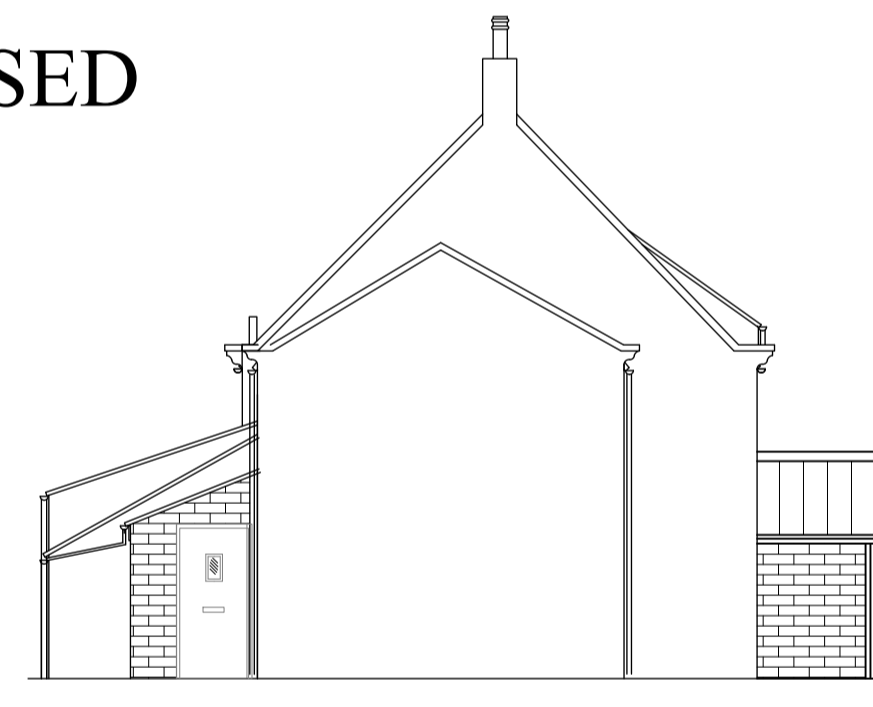
PROPOSED



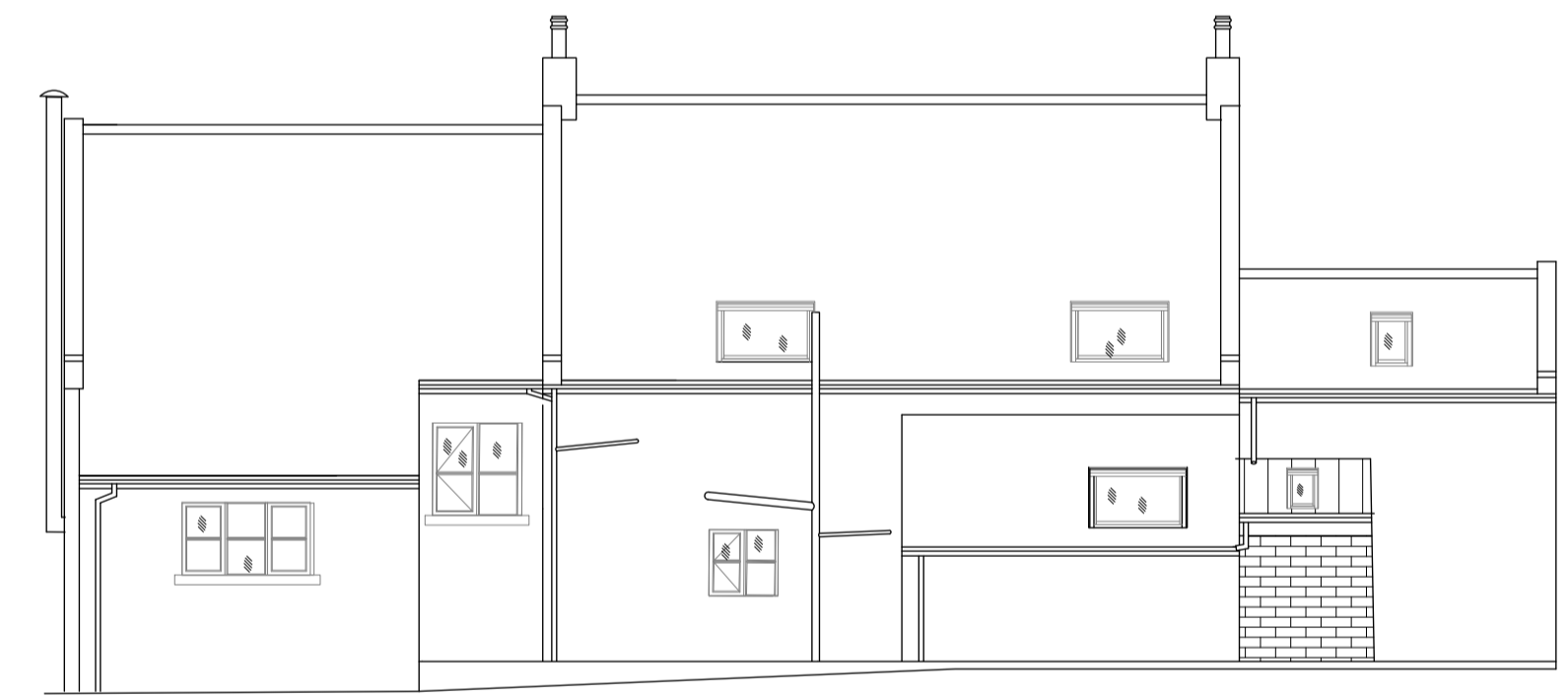
FRONT ELEVATION



END ELEVATION LOOKING WEST

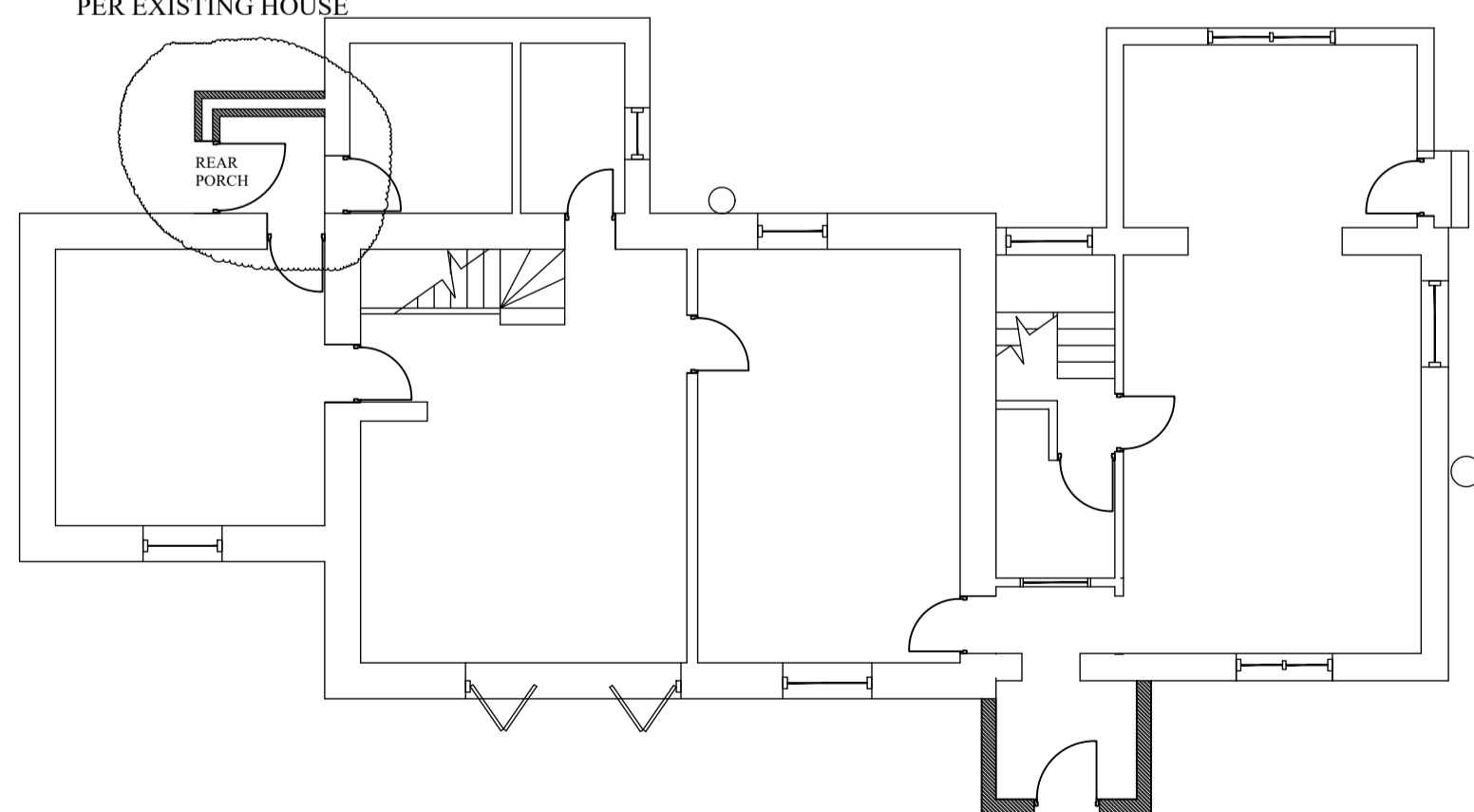


END ELEVATION LOOKING EAST

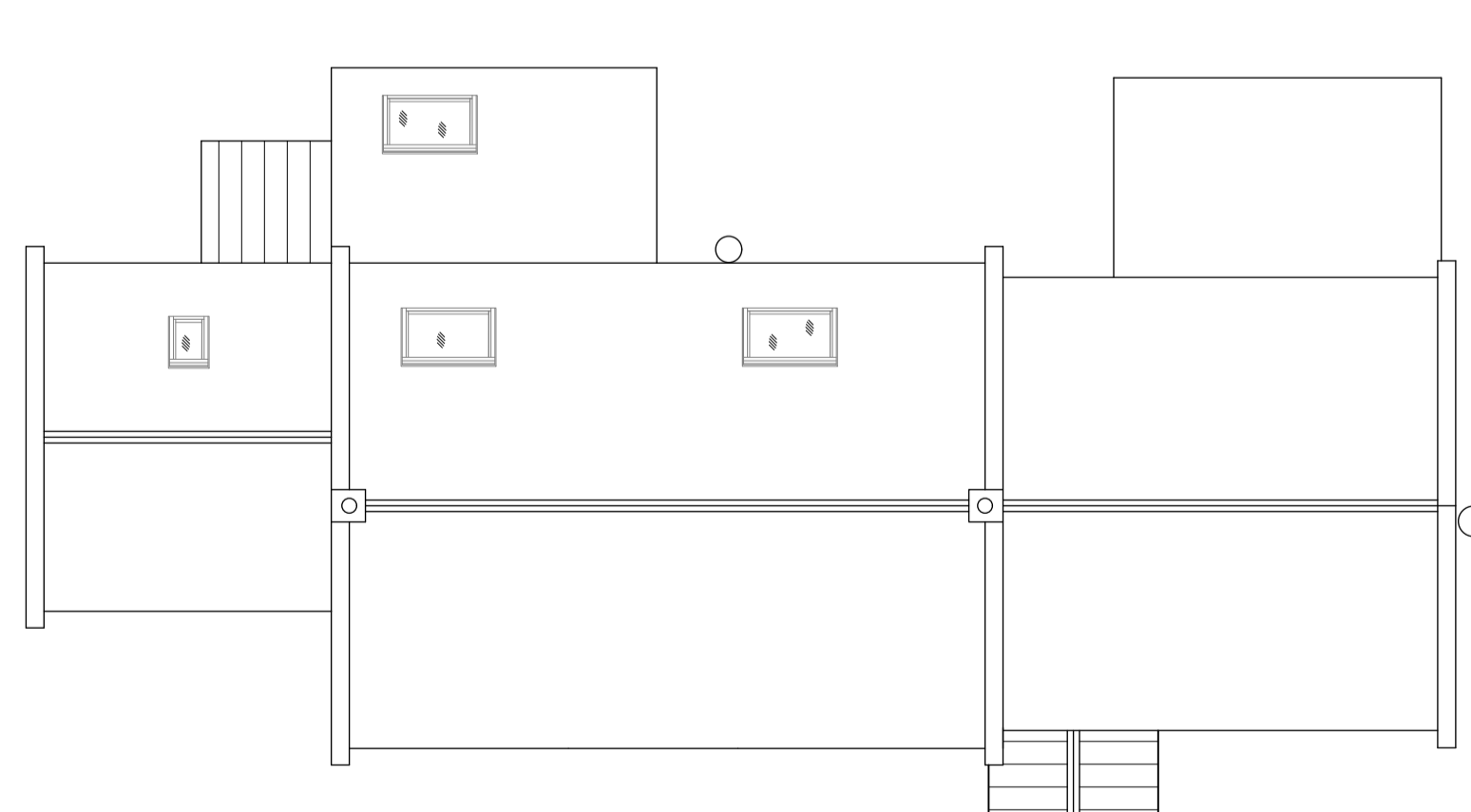


REAR ELEVATION

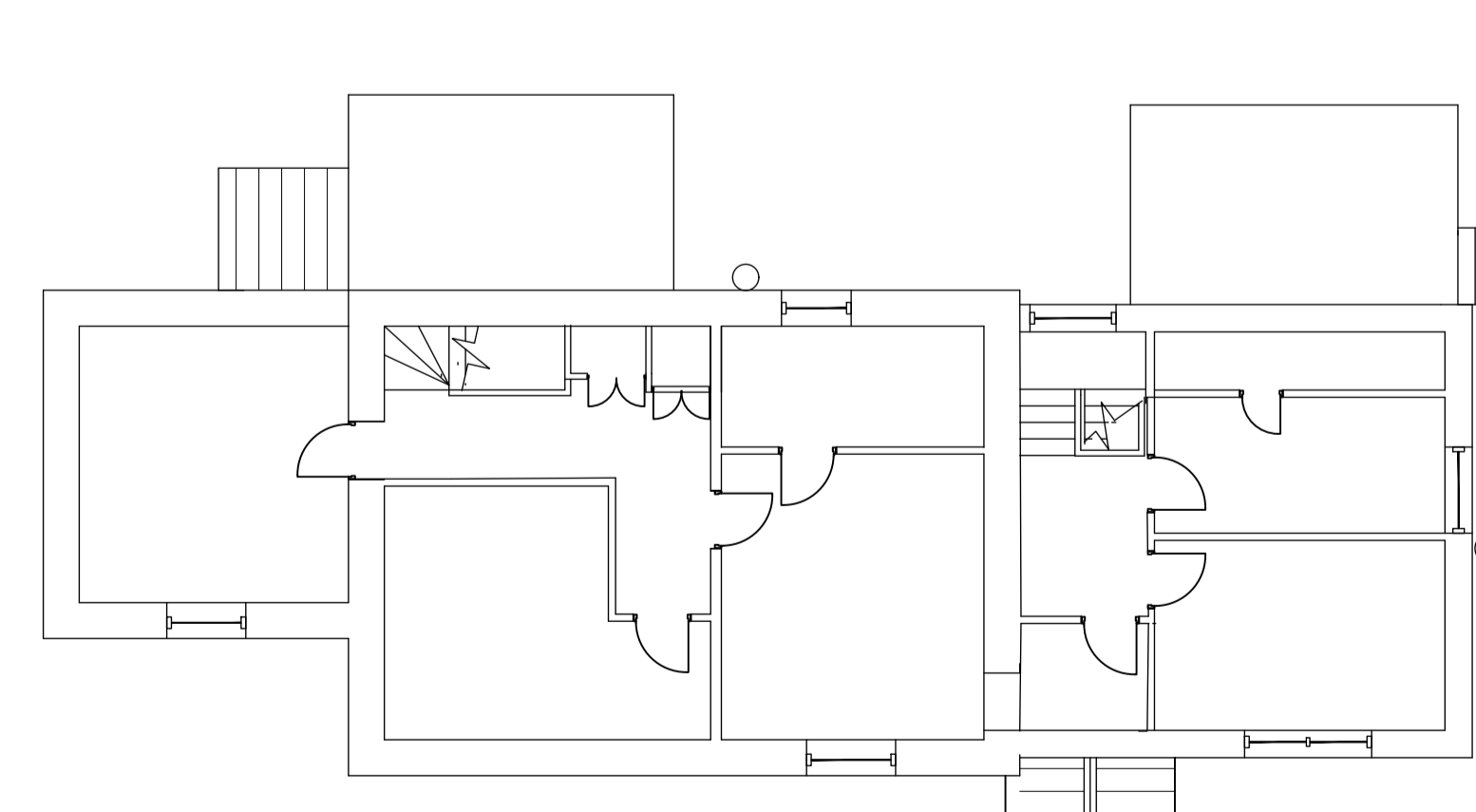
SUBSTANDARD REAR PORCH BUILT WITH RENDERED BLOCK TO BE DEMOLISHED AND REBUILT USING SANDSTONE BLOCKS AS PER EXISTING HOUSE



GROUND FLOOR PLAN



PLAN ON ROOF



FIRST FLOOR

General Notes

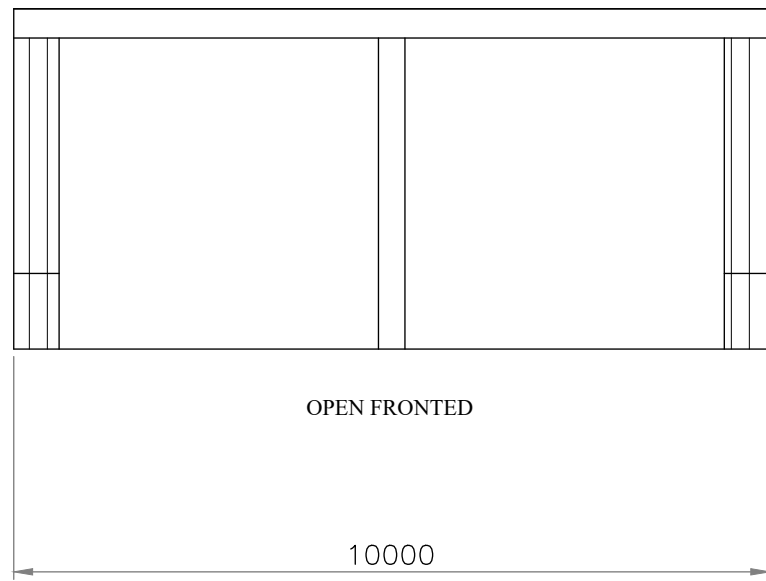
A	ISSUED FOR PLANNING	
No.	Revision/Issue	Date

Firm Name and Address
MR S ROTHWELL
LOW NEWBIGGIN NORTH FARM
AISLABY
WHITBY
NORTH YORKSHIRE

Description
REPOSITIONING OF ENTRANCE PORCH
FITTING OF BI-FOLD DOORS
REBUILDING REAR PORCH
CONSTRUCTION OF A STORAGE BUILDING

Date	Drawing No
22/10/2017	SR2017
Scale	Sheet
1:100	1 of 2

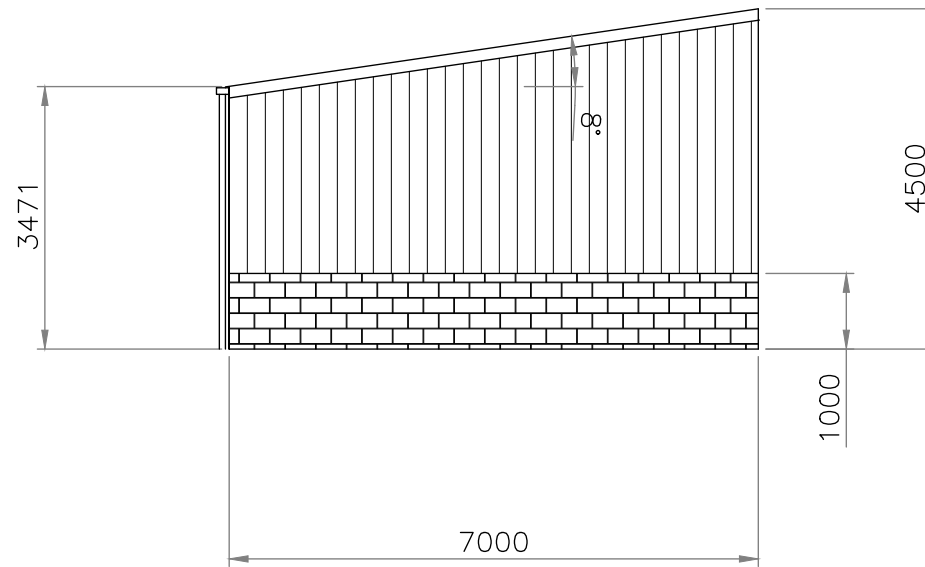
ALL dimensions MUST be checked on site prior to works commencing. Variations in squareness, depth of plaster etc., must be checked for Where new walls are shown as aligned with existing walls, this must be checked by the physical removal of brickwork and or plaster to establish the actual position of the wall being attached to.



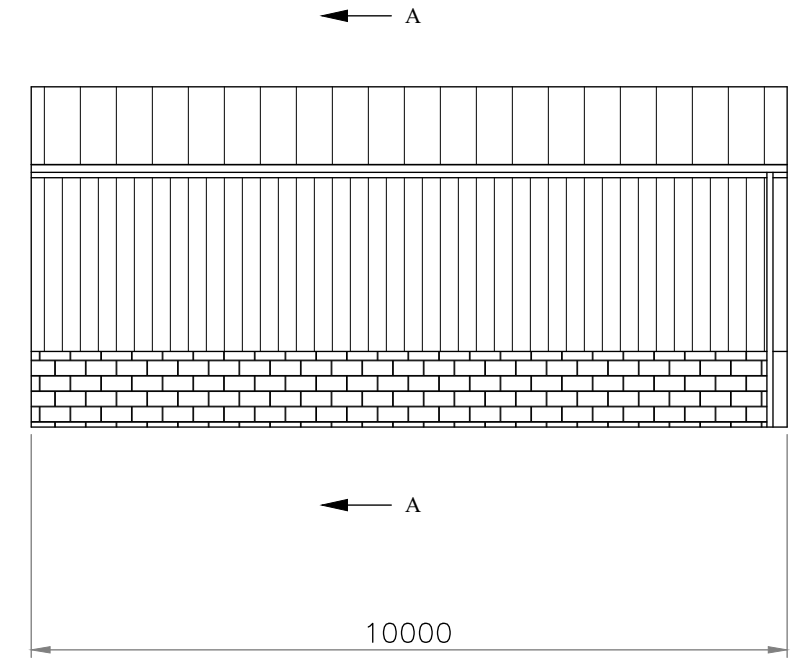
OPEN FRONTED

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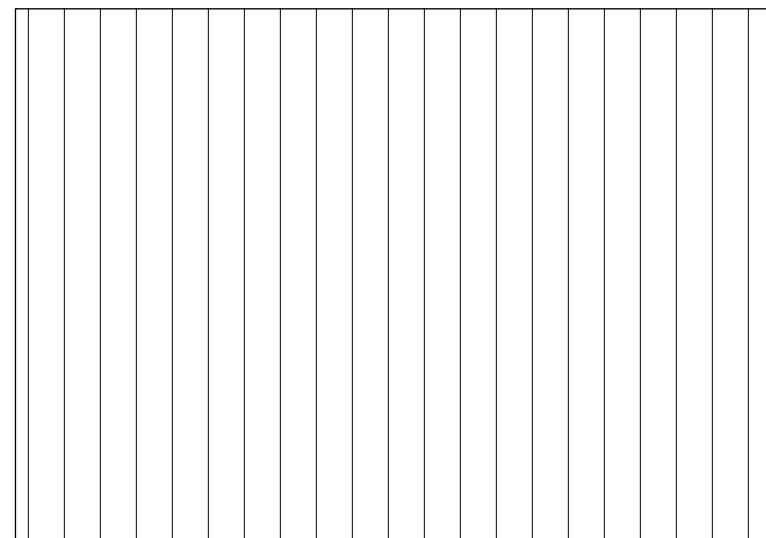
FRONT ELEVATION



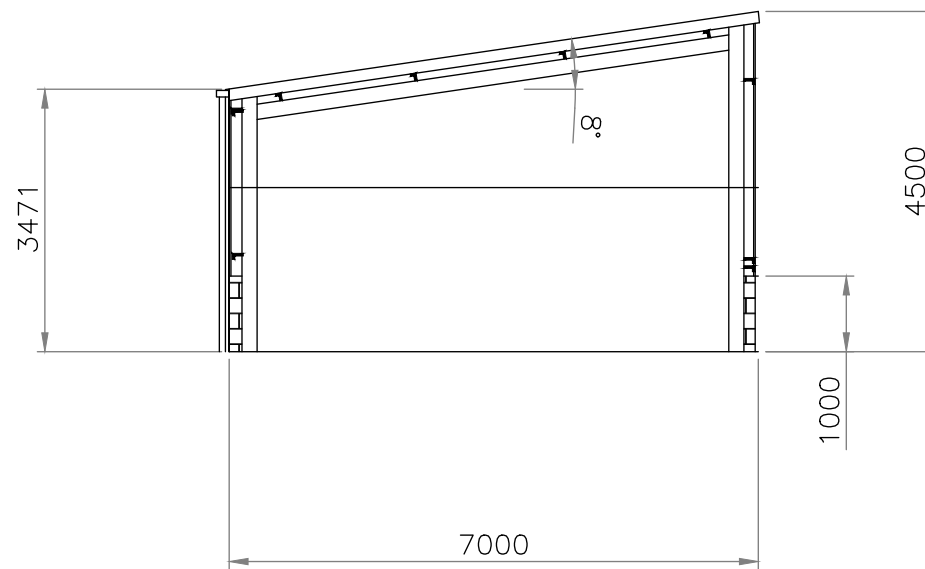
END ELEVATION (TYPICAL)



REAR ELEVATION



PLAN ON ROOF



SECTION ON A-A

PROPOSED STORAGE BUILDING

THIS DRAWING IS FOR THE PURPOSE OF OBTAINING PLANNING OR BUILDING REGULATIONS APPROVAL ONLY

ALL dimensions MUST be checked on site prior to works commencing. Variations in squareness, depth of plaster etc., must be checked for. Where new walls are shown as aligned with existing walls, this must be checked by the physical removal of brickwork and or plaster to establish the actual position of the wall being attached to.

General Notes		
STEEL FRAME BLOCK DWARF WALL YORKSHIRE TIMBER CLADDING WITH FIBRE CEMENT SHEETED ROOF.		
A	ISSUED FOR PLANNING	
No.	Revision/Issue	Date
Firm Name and Address MR S ROTHWELL NEW BIGGEN NORTH FARM AISLABY WHITBY NORTH YORKSHIRE		
Description REPOSITIONING OF ENTRANCE PORCH FITTING OF BI-FOLD DOORS REBUILDING REAR PORCH CONSTRUCTION OF A STORAGE BUILDING		
Date	22/10/2017	Drawing No SR2017
Scale	1:100	Sheet 1 of 2