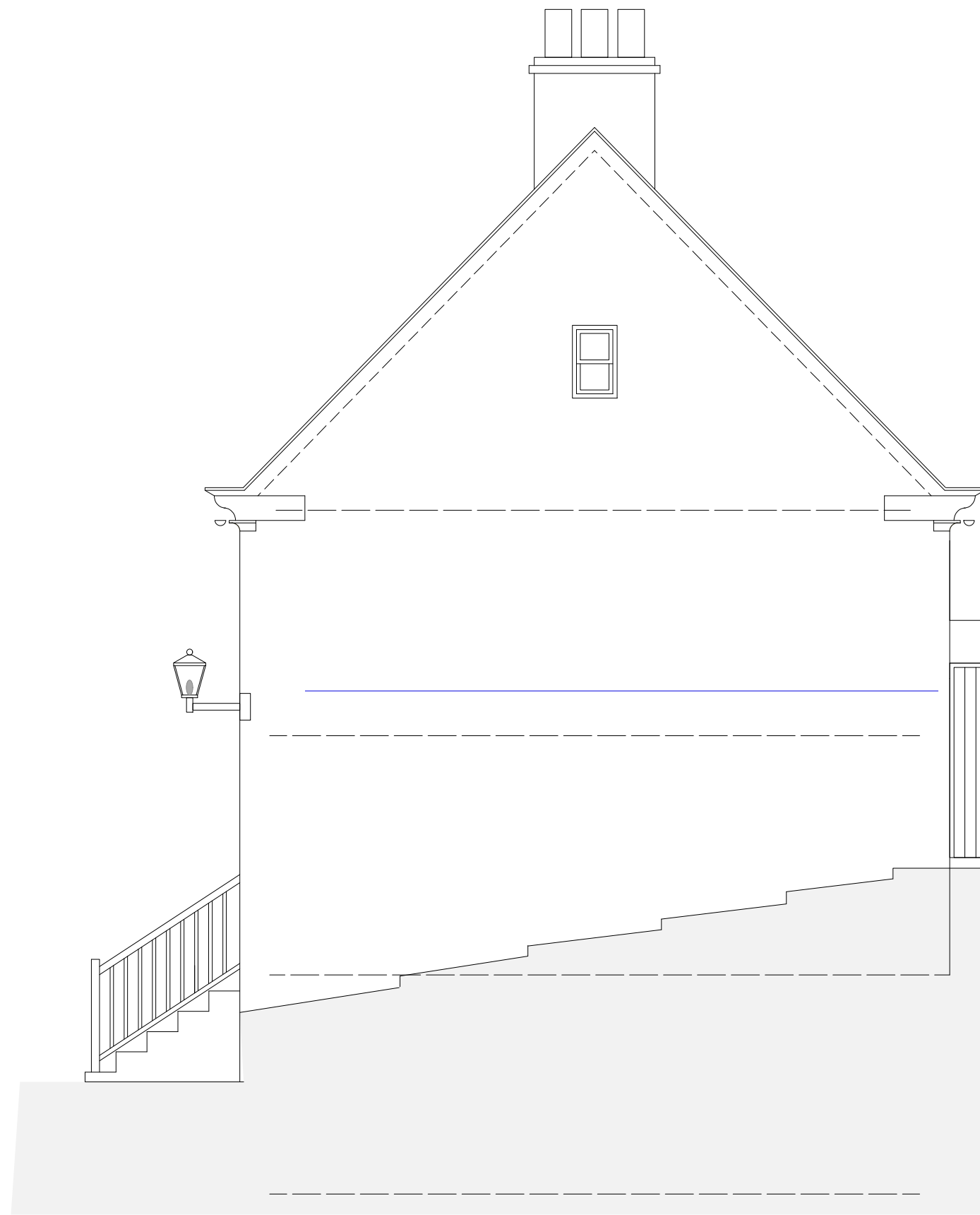




NORTH WEST ELEVATION



SOUTH WEST ELEVATION
X

NYMNP
06/11/2017

Proposed:

ALTERATIONS to
SHIRLEY HOUSE
SUNNY PLACE
ROBIN HOOD'S BAY

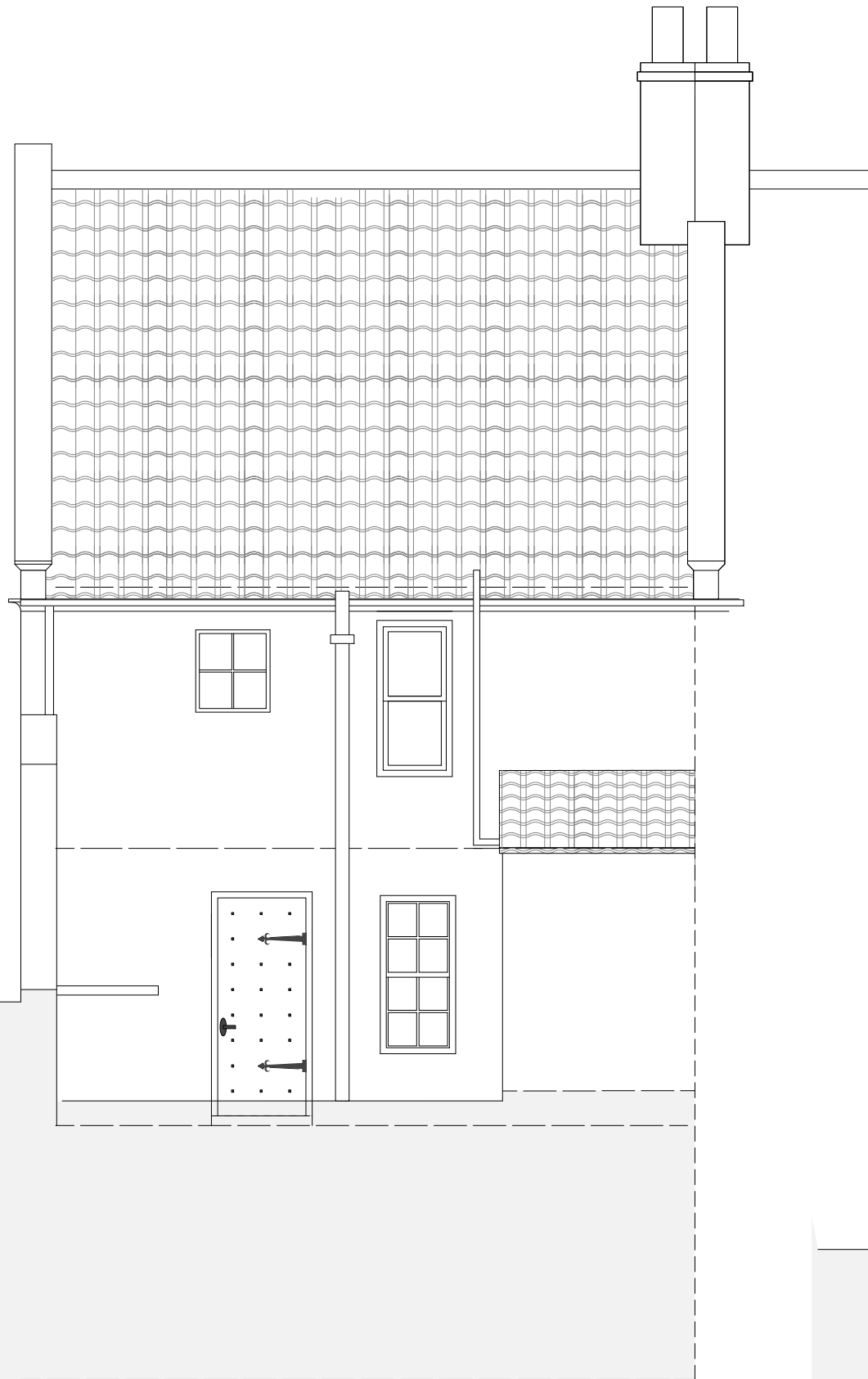
Drawing:
EXISTING ELEVATIONS I

Drawing No. 190/03
Date: SEPTEMBER 2017
Scale: 1/50

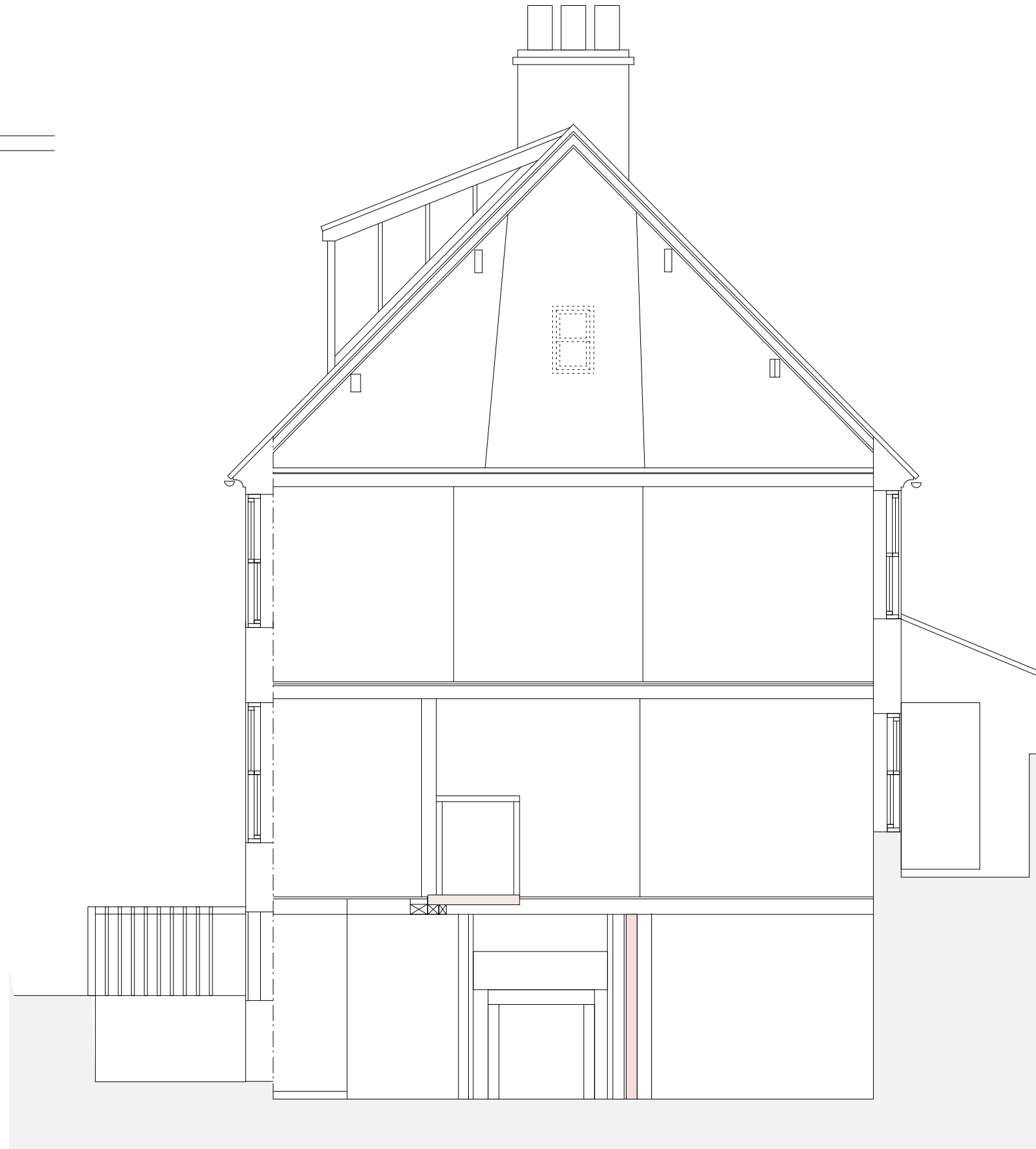
MICHAEL MILLER
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16 PARK VIEW. GLAISDALE.
WHITBY
NORTH YORKSHIRE.
YO21 2PP.



N O R T H E A S T E L E V A T I O N



S E C T I O N

Proposed:

ALTERATIONS to
SHIRLEY HOUSE
SUNNY PLACE
ROBIN HOOD'S BAY

Drawing:
EXISTING ELEVATIONS II

Drawing No. 190/04
Date: SEPTEMBER 2017
Scale: 1/50

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Remove pointing & rake out mortar joints to chimney stack as note opposite & re-point also as note. Renew any defective lead flashings.

Remove existing pointing to ridge tiles/remove ridge tiles and replace any defective. Re-bed & point in sand lime mortar.

Inspect abutment of roof & gable. Reinststate any defactive work.

Inspect roof covering. Replace damaged tiles. Re-fix loose tiles.

Inspect stonework detail at eaves level and reinststate in lime sand mortar. CDM. Public throughfare at ground level. Street light fitting to avoid/protect.

GENERAL NOTES

Carefully remove by hand existing cement pointing in its entirety & lime pointing where perished. Rake out joints to min 25mm & repointing carried out using using hand tools (not mechanical or electrical). Re-point stonework in 1 : 2½ lime/sand mortar. Sand composed 50/50 sieved sharp sand/builder's sand

Overhaul existing gutter & rwp make good joints. Replace hw. bobbins/ pipe as necessary.

New Yorkshire sash window frame as detail drawing 190.14.

Gas meter to be re-located to outside. Fit meter box & finish in black uPVC paint.

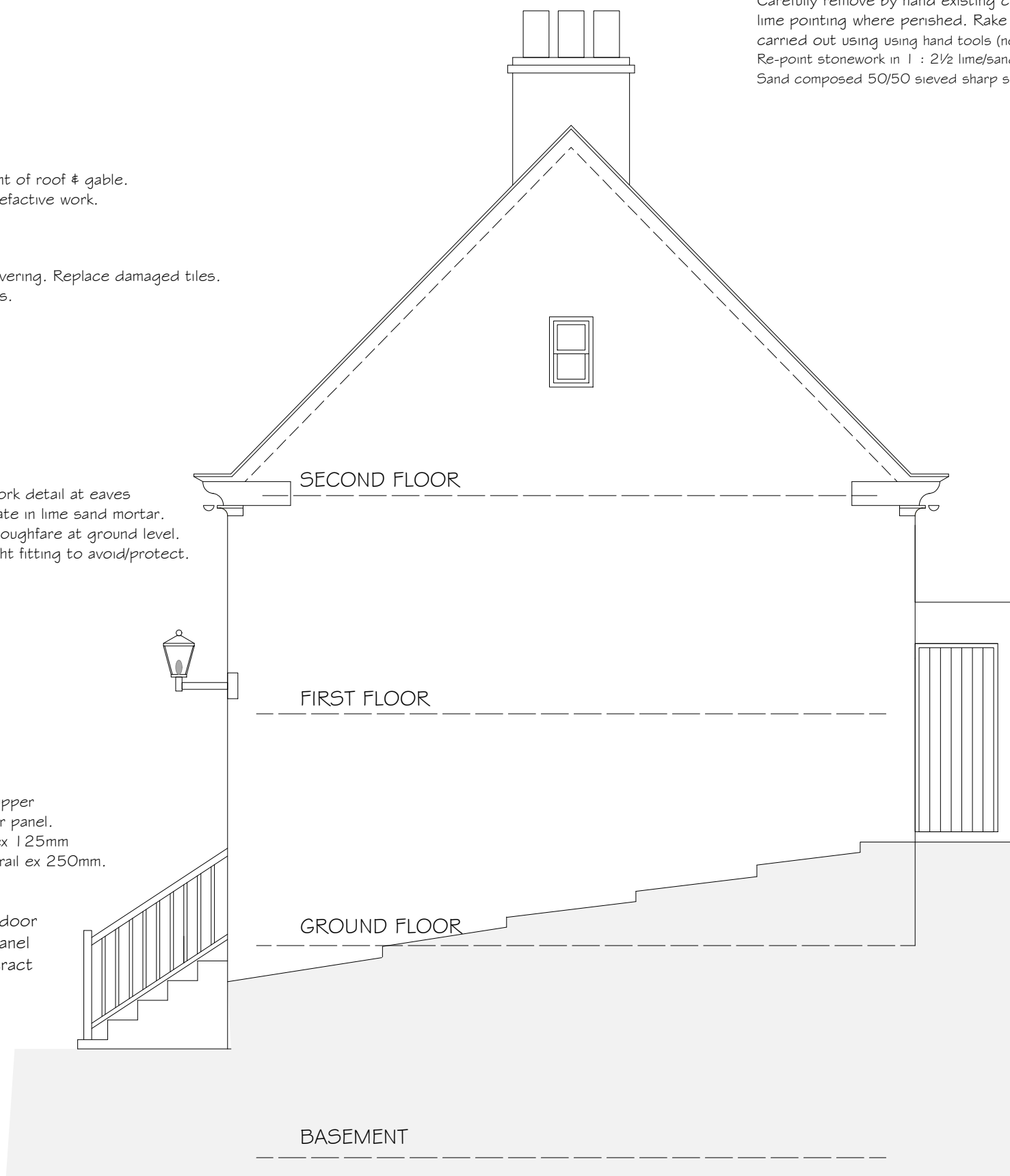
Alter extg rwp to suit position meter box.

New front door with glazed upper panels/ raised 7 fielded lower panel. Typical sections: head/stiles ex 125mm mid rail ex. 200mm. bottom rail ex 250mm.

Opening fitted with mock door with insect mesh centre panel as terminal for Kitchen extract fan.

Remove board panel from Basement door. Inspect timber & repair/renew as necessary.

NORTH WEST ELEVATION



SOUTH WEST ELEVATION

Proposed:

ALTERATIONS to SHIRLEY HOUSE SUNNY PLACE ROBIN HOOD'S BAY

Drawing: ELEVATIONS as PROPOSED I

Drawing No. 190/12 Date: SEPTEMBER 2017 Scale: 1/50

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Remove pointing & rake out mortar joints to chimney stack as note opposite & re-point also as note.
Renew any defective lead flashings

Remove existing pointing to ridge tiles/remove ridge tiles and replace any defective. Re-bed & point in sand lime mortar.

Inspect abutment of roof & gable.
Reinstate any defective work.

Overhaul rainwater goods & repair/replace as necessary.

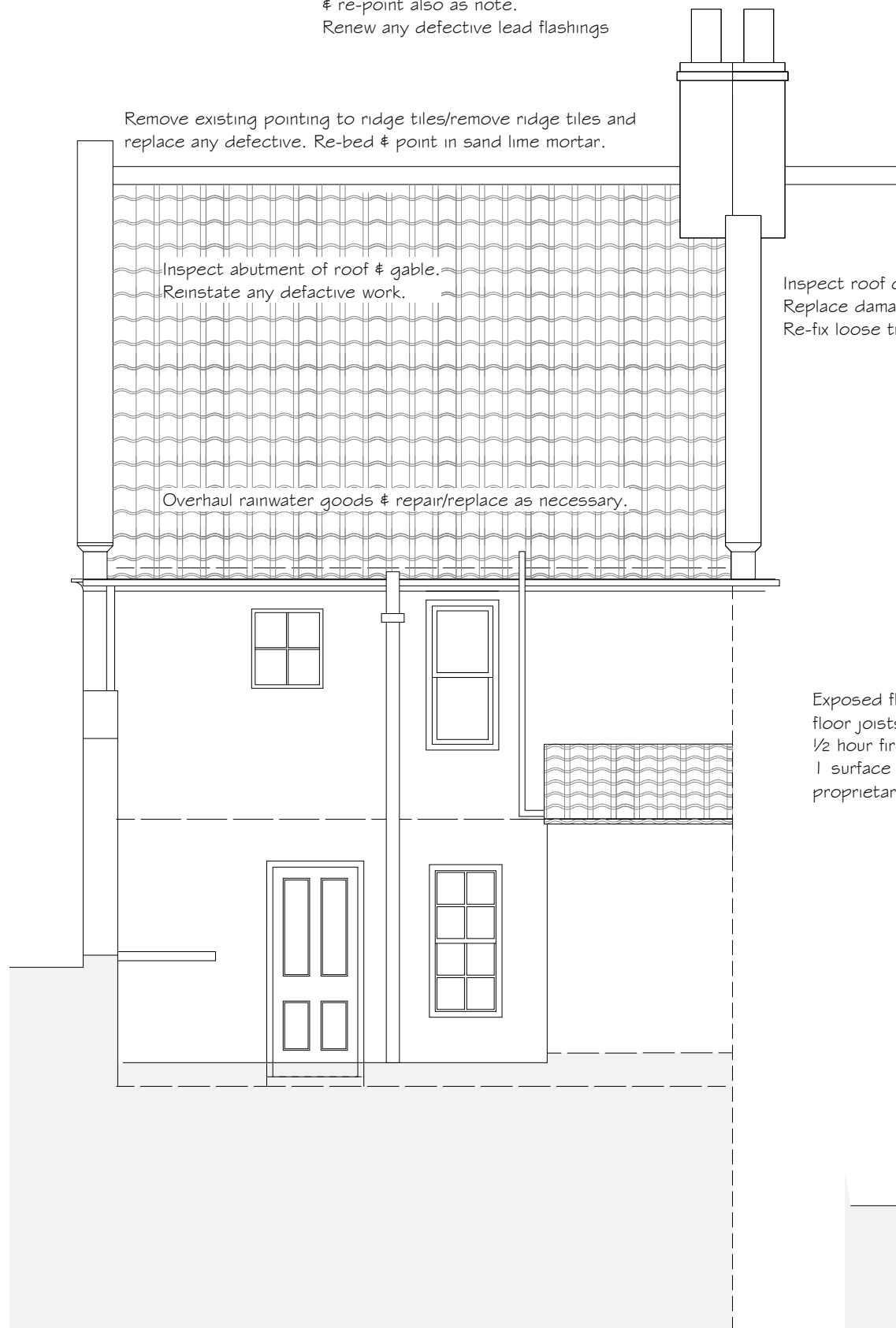
Inspect roof covering.
Replace damaged tiles.
Re-fix loose tiles.

Inspect dormer window frame
& repair/renew defective members.

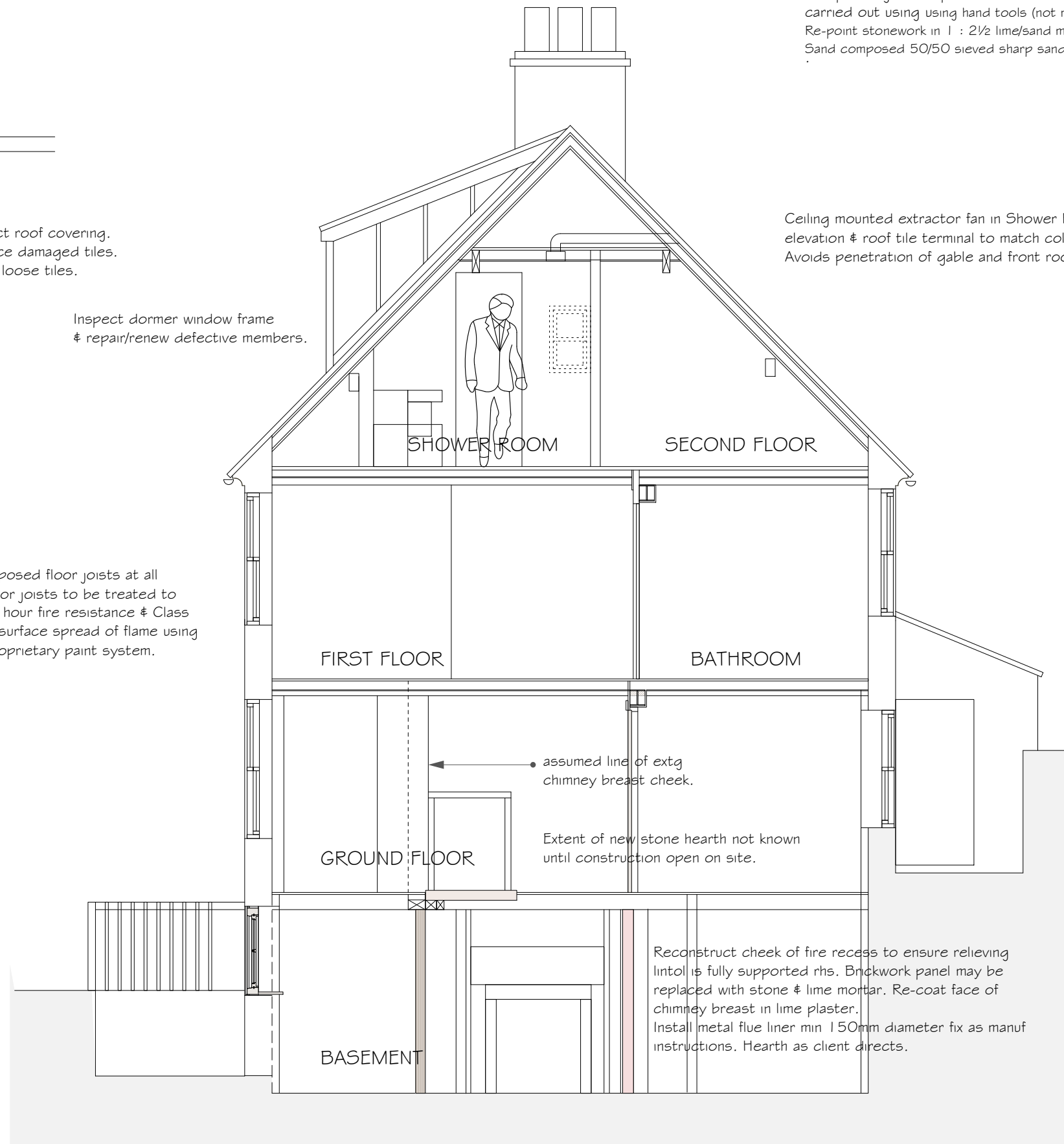
Exposed floor joists at all floor joists to be treated to 1/2 hour fire resistance & Class 1 surface spread of flame using proprietary paint system.

GENERAL NOTES
Carefully remove by hand existing cement pointing in its entirety & lime pointing where perished. Rake out joints to min 25mm & repointing carried out using hand tools (not mechanical or electrical).
Re-point stonework in 1 : 2 1/2 lime/sand mortar.
Sand composed 50/50 sieved sharp sand/builder's sand

Ceiling mounted extractor fan in Shower Room. Duct taken to rear elevation & roof tile terminal to match colour & profile of existing tiles. Avoids penetration of gable and front roof pitch.



NORTH EAST ELEVATION



SECTION

Proposed:
ALTERATIONS to
SHIRLEY HOUSE
SUNNY PLACE
ROBIN HOOD'S BAY

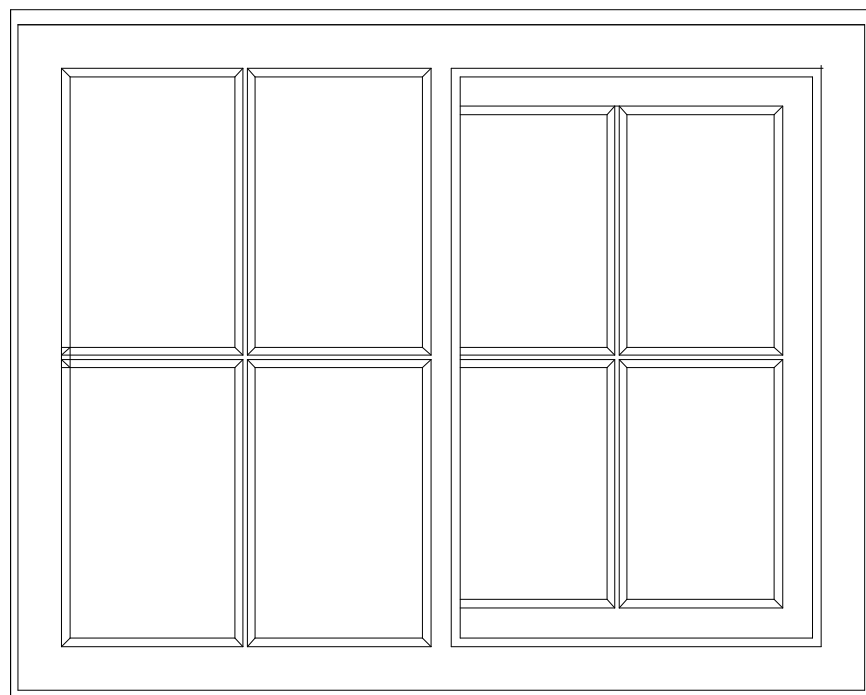
Drawing:
ELEVATIONS II
as PROPOSED

Drawing No. 190/13
Date: SEPTEMBER 2017
Scale: 1/50

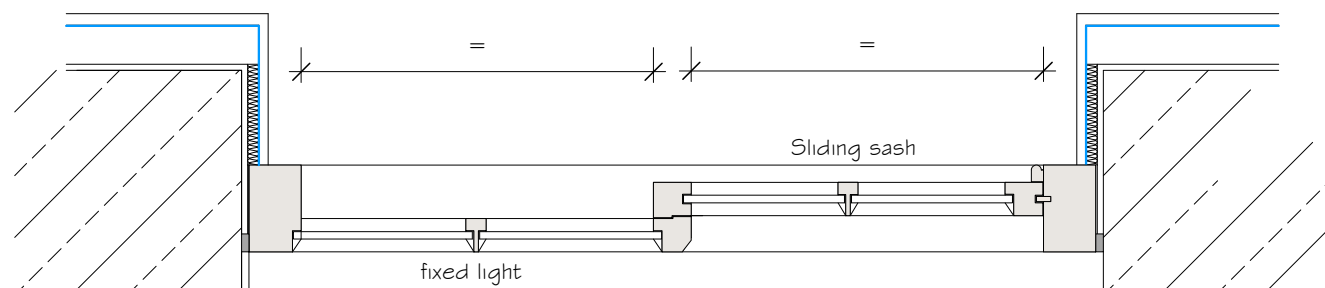
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WHITBY
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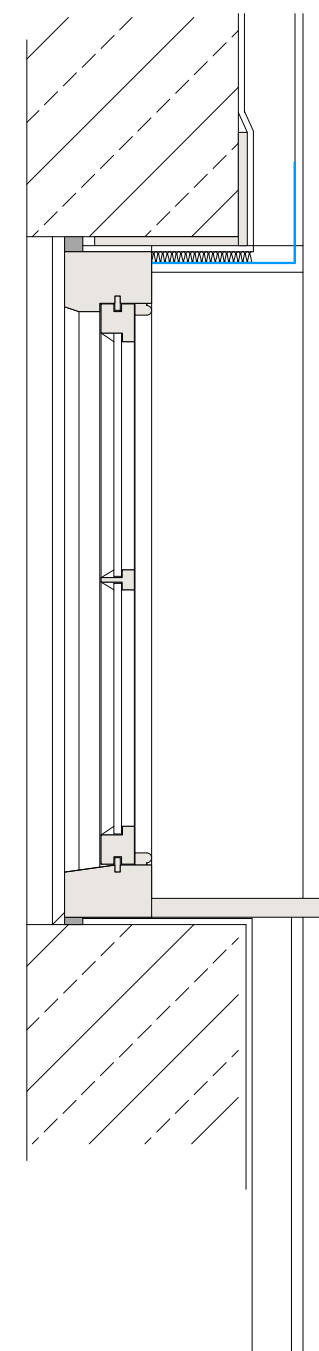
E L E V A T I O N



P L A N

the original glass company.
Heritage thin sealed unit 3mm low e/4mm krypton/ 3mm outer pane.U = 1.9W/m²K

OUTSIDE



S E C T I O N

INSIDE

Unequal angle at head to support masonry.
Install black dense polythene dpc between steel & masonry.
Continue wall lining at window head.
Seal frame to stonework externally Compriband tape & point externally sand/lime mortar.
Insulated plasterboard at window head with skim coat finish.

Window frame:
115 x 75mm head.
22 x 16 bead internally.
50 x 45 top rail of sash.

Glazing:
The Original Glass Company Heritage double glazed units or equivalent. Comprising 3mm machine drawn glass/4mm krypton filled cavity/3mm coated Low-E inner pane.
Units fixed with sprigs & linseed oil putty.

Glazing bar 44 x 27.

75 x 45 bottom rail of sash.
22 x 16 mm bead (surround internally).
22 x 10mm oak runner bead set in rebate in sill.
115 x 75mm oak sill.

ex. 25mm window bottom board.

Proposed:

ALTERATIONS to
SHIRLEY HOUSE
SUNNY PLACE
ROBIN HOOD'S BAY

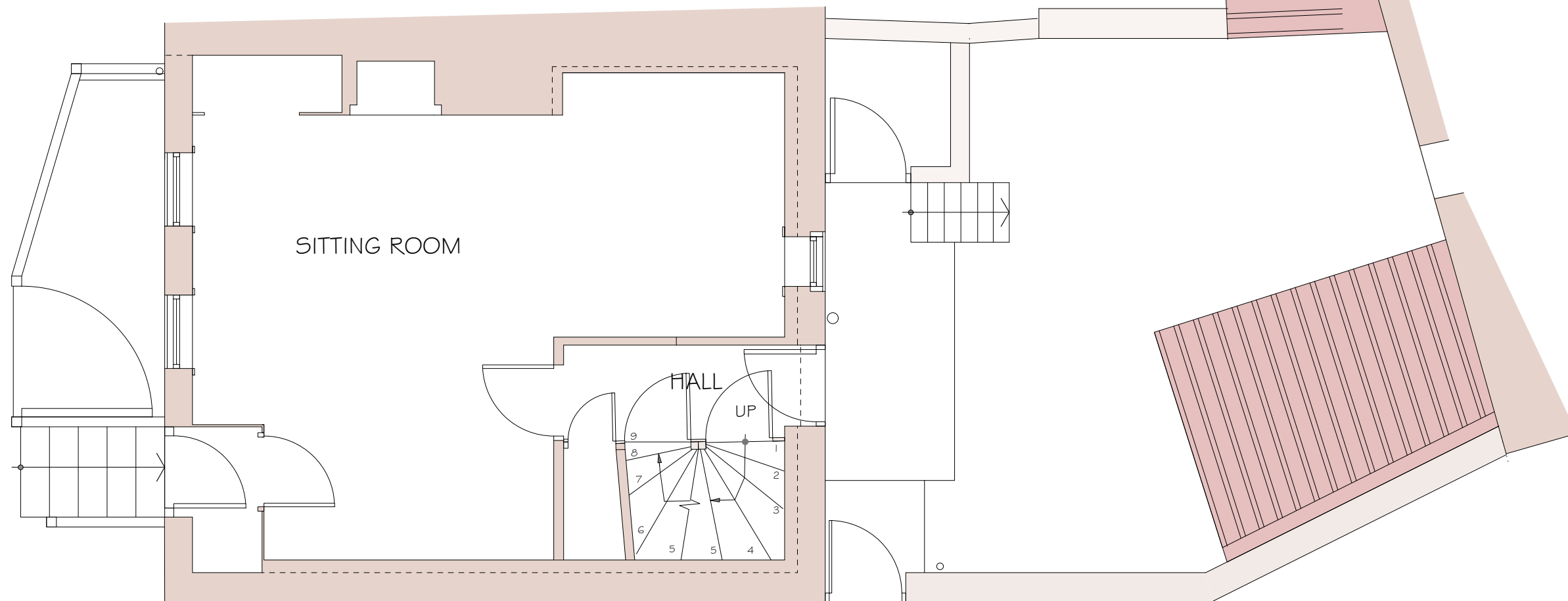
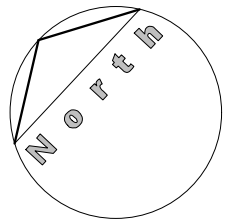
Drawing:
ELEVATIONS II
as PROPOSED

Drawing No. 190/13
Date: SEPTEMBER 2017
Scale: 1/50

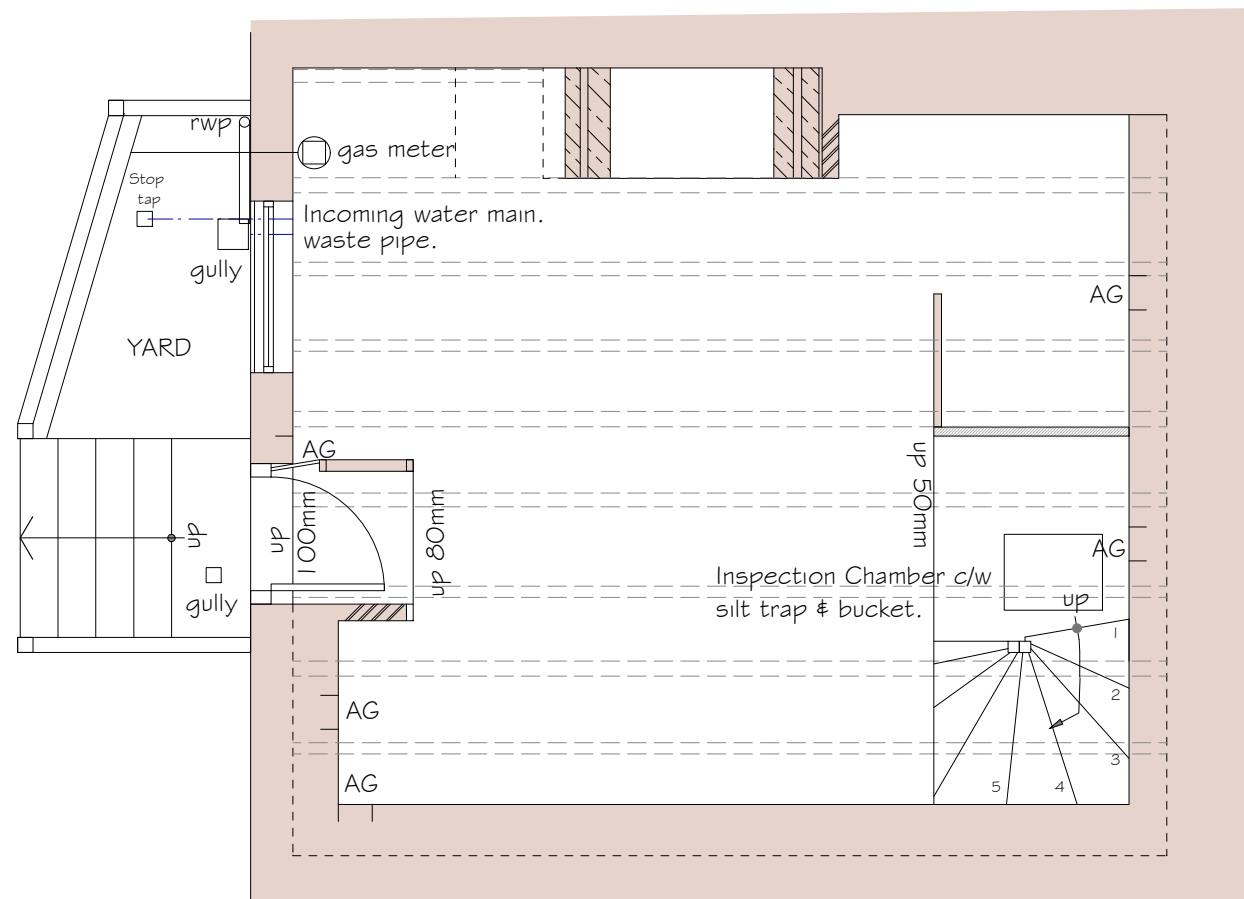
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WHITBY
NORTH YORKSHIRE.
YO21 2PP.



GROUND FLOOR



BASEMENT

Proposed:

ALTERATIONS to
SHIRLEY HOUSE
SUNNY PLACE
ROBIN HOOD'S BAY

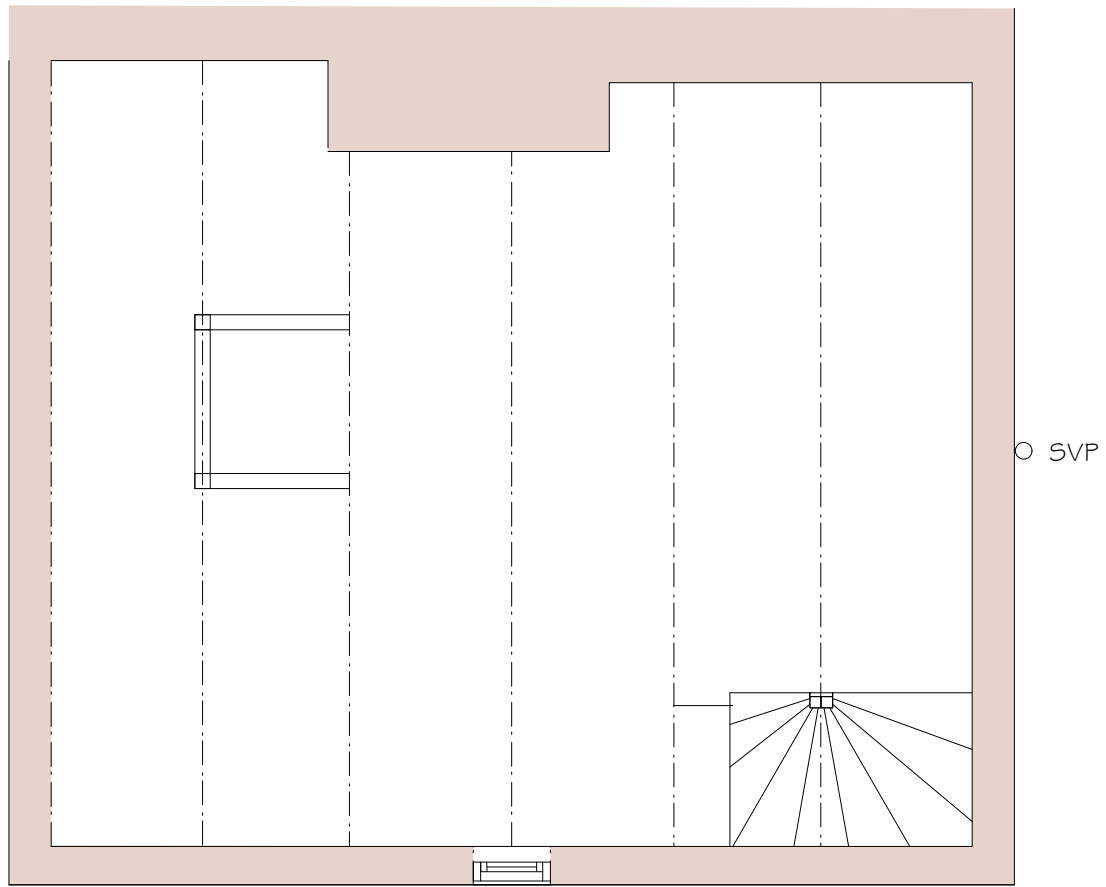
Drawing:
EXISTING PLANS I

Drawing No. 190/01
Date: SEPTEMBER 2017
Scale: 1/50

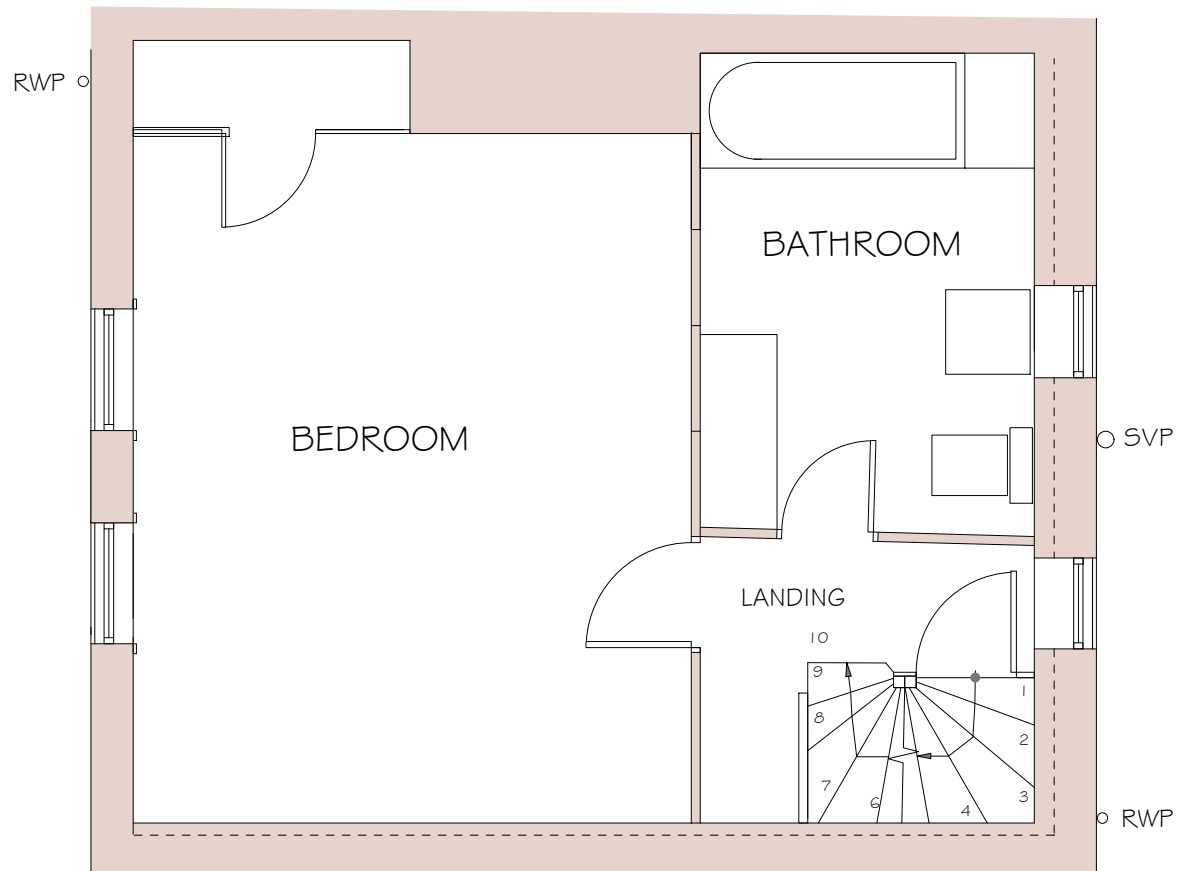
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WHITBY
NORTH YORKSHIRE.
YO21 2PP.



ATTIC



FIRST FLOOR

Proposed:
 ALTERATIONS to
 SHIRLEY HOUSE
 SUNNY PLACE
 ROBIN HOOD'S BAY

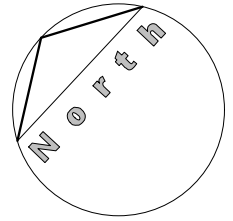
Drawing:
 EXISTING PLANS II

Drawing No. 190/02
 Date: SEPTEMBER 2017
 Scale: 1/50

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16 PARK VIEW. GLAISDALE.
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Extg CI rwp overhauled eg. renew mounting bobbins/recaulk joints as necessary

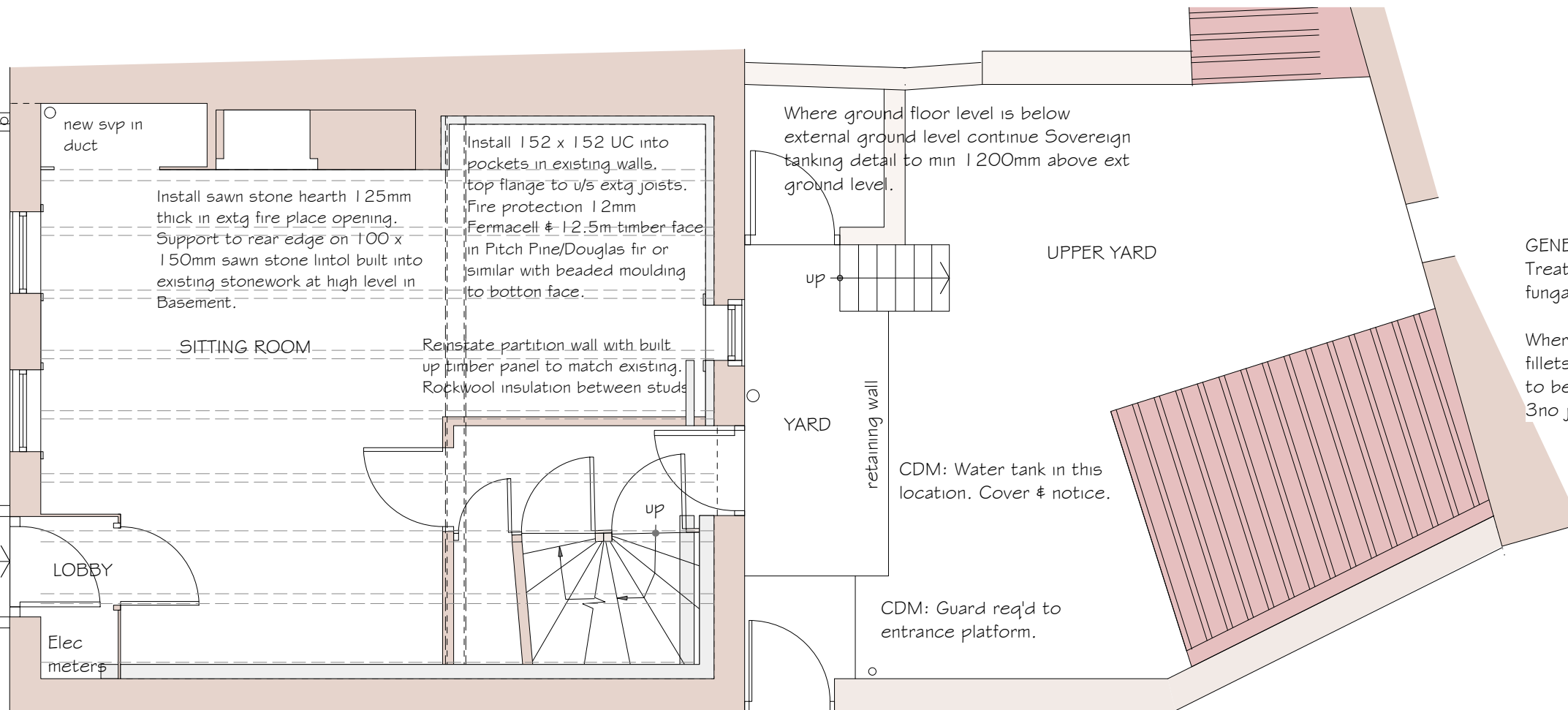
Existing timber guard rail to dry area/basement access.

Existing dry lining to ground floor walls to be overhauled. Remove any rotted timbers. Add moisture resistant insulation. Vapour barrier. Plasterboard & skim coat as existing.

Existing timber joists to be inspected for integrity & replaced where necessary like for like. NB Douglas Fir or Pitch Pine.

Existing skirting boards replaced with 19mm thick Georgian section.

All areas: repair worm attacked floor boards with fillets. Board or repair to span min 3no joists.



GENERALLY:
Treat all existing timbers against insect and fungal attack using proprietary contractor.

Where existing floor boards are perished fit fillets to repair. Where larger sections are to be removed, replace board to span min of 3no joists.

GROUND FLOOR

Allow for temporary support, remove conc blkwk at high level to chy breast & reinstate in stone lime mortar bed & pointing.

Extg rwp to be altered as necessary to suit gas meter box position.

Existing gas meter to be re-sited in new external meter cup'd. Re-route supply internally.

Extg water supply stop tap

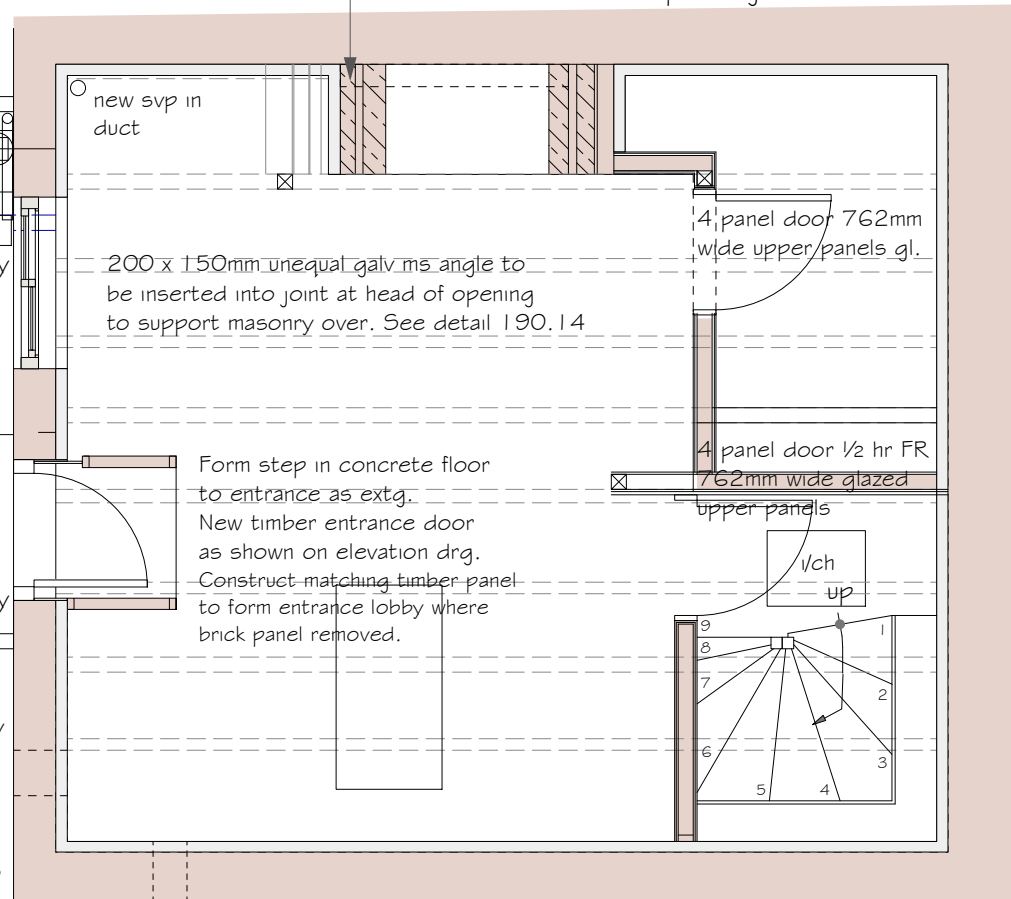
Remove extg window frame. Fit new 'Yorkshire Light' horizontal sliding sash as detail drawing.

Existing timber panel forming lobby to entrance door to remain. Boards joining panel to wall: remove due to rot at bottom & renew & fix to wall as shown.

Existing timber joists to be inspected for integrity & replaced where necessary like for like.

Where small sections of bearing rotted fit Bower Beam repair system.

Small door to external wall (Grd level) to be modified as terminal to cooker hood.



Existing high level air grate to remain.

BASEMENT

Damp proofing treatment to basement.

Excavate & remove extg concrete floor slab. Excavate to formation levels & if foundation levels permit: 150mm hardcore/50mmsand blinding /1500g polythene dpm/100mm concrete floor slab with Sovereign Aquaduct to perimeter of floor & sunk into slab c/w jetting eye. Sovereign CDM 20 floor membrane/50mm Rectical floor insulation board/63mm screed with light A192 mesh reinforcement. Adjust spec to suit existing foundation levels eg. omit hardcore & add well rammed earth. NB. All Sovereign installations to be in accordance with manufacturers detailed drawings.

Extg brick lining wall removed from basement & prepare walls to receive Sovereign CDM8 damp proofing membrane tape sealed to floor membrane.

All Sovereign products & installation to be as manufacturers recommendations and installation instructions. Fix 50mm x 50mm treated sw battens & 50mm ROCKWOOL rigid slab insulation. Vapour barrier. 12mm MR plasterboard & plaster skim coat. Fix 19 x 150mm ogee moulding timber skirting boards with proprietary fixitive (eg. Soudal Fixall).

New partition walls to be constructed as detail drawing 190.15
Four panel door to stairwell to be 1/2 hour fire resisting with intumescent strips.

Existing inspection chamber to be fitted with double seal recessed cast iron frame & bolt down lid. Recess to be fitted with timber boards permanently secured. Ensure building owner is aware of the necessity to clear the silt bucket at regular intervals.

Existing timber staircase: string rotted where against wall. Carefully remove staircase to enable floor to be overhauled and staircase parts renewed as required. Re-fit staircase on completion of floor works. Treated timber frame support structure to staircase faced with 'V' jointed timber boards Class 1 surface spread of flame finished intumescent paint base coat/coats and flame paint top coat/coats, as manuf specification.

Ceiling. Existing insulation boards to be removed from ceiling. New installation as shown on 195.15 detail drawing. This is considered to be an improvement which increases the fire performance of the basement. The ceiling soffit assumes a greater fire resistance as the material is non combustible, it has been tested and achieved Euroclass A1/BS. 476 Part 4. As a building with a basement this alteration is considered to be imperative to the continued and future use of the building with regard to the safety of the occupants.

Joists to be coated intumescent paint base coat/coats and flame paint top coat/coats, as manuf specification.

Proposed:

ALTERATIONS to
SHIRLEY HOUSE
SUNNY PLACE
ROBIN HOOD'S BAY

Drawing:
PLANS I as PROPOSED

Drawing No. 190/10
Date: SEPTEMBER 2017
Scale: 1/50

MICHAEL MILLER
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Architectural Consultant.



16 PARK VIEW. GLAISDALE.
WHITBY
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YO21 2PP.

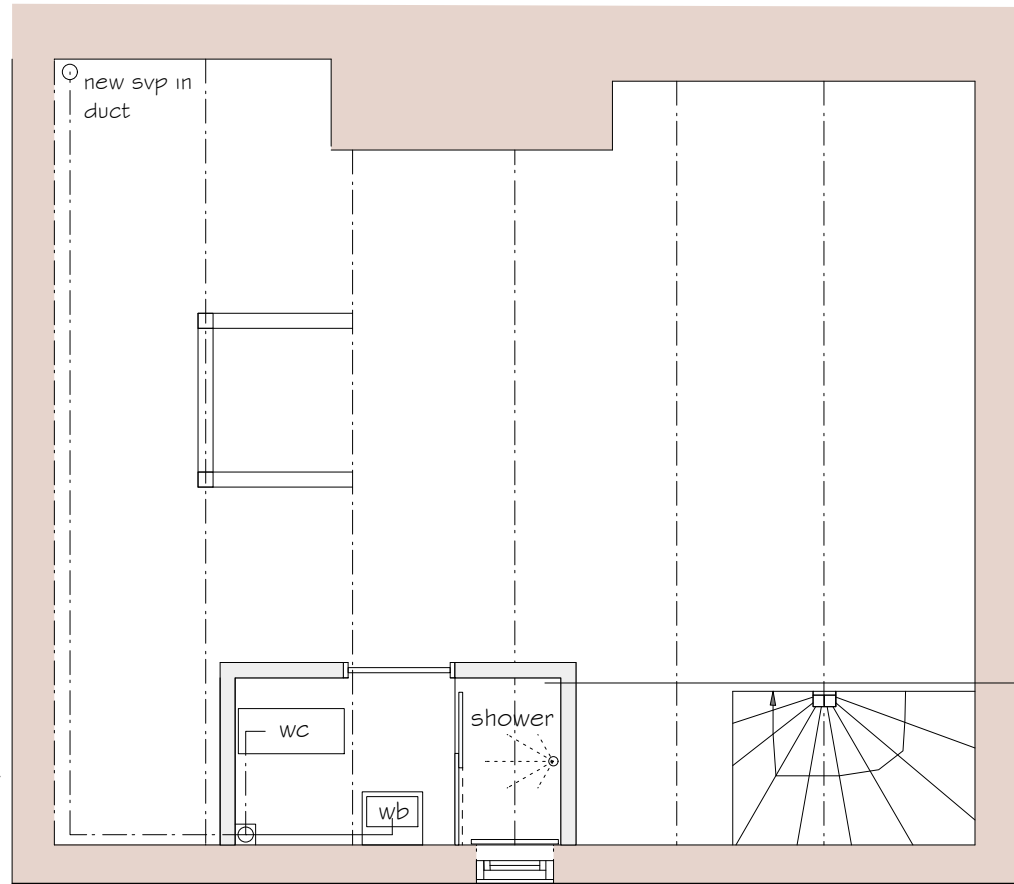
Repair defective purlin at bearing.

Existing lime plaster finish to be repaired or reinstated as site conditions dictate

Form new Shower Room: 50 x 75mm stoothing Rockwool Sound insulation between timbers. Vapour barrier to Shower Room side & finish 210mm t#g 'V' boards both sides. Finish with fire paint to provide Class O according to Building Regulation standards. 762mm 4 panel door to match existing elsewhere on pocket door track. Sanitary appliances connected as shown.

Shower cubicle: 12.5mm plywood wall face wetwall boards over. Waterproof floor tanking system such as manufactured by WEDI.

Where walls required to be tiled install proprietary tile backer board. Hentage: this is reversible and since it would be plugged & screwed to the structure, it would not cause immense harm.



Remove lath & plaster ceiling.

Existing construction appears to be: Tiles on battens on lath & plaster torching.

For the purposes of this project it is considered that the lath & plaster torching is a breathable construction and will act much in the same way as a breathable membrane. It must be borne in mind that until the torching can be confirmed to be in complete repair, some water ingress may be expected.

Improvement:

Fit 50mm Rockwool thermal insulation between rafters allowing 25mm air space between plaster/lath torching.

Fix 20mm wood fibre boards (approx 160kg/m³) to underside of rafters & 10mm Lime Green Solo lime plaster coat.

Extg s/vp with new connection from shower.

GENERALLY:

Treat all existing timbers against insect and fungal attack using proprietary contractor.

Where existing floor boards are perished fit fillets to repair. Where larger sections are to be removed, replace board to span min of 3no joists.

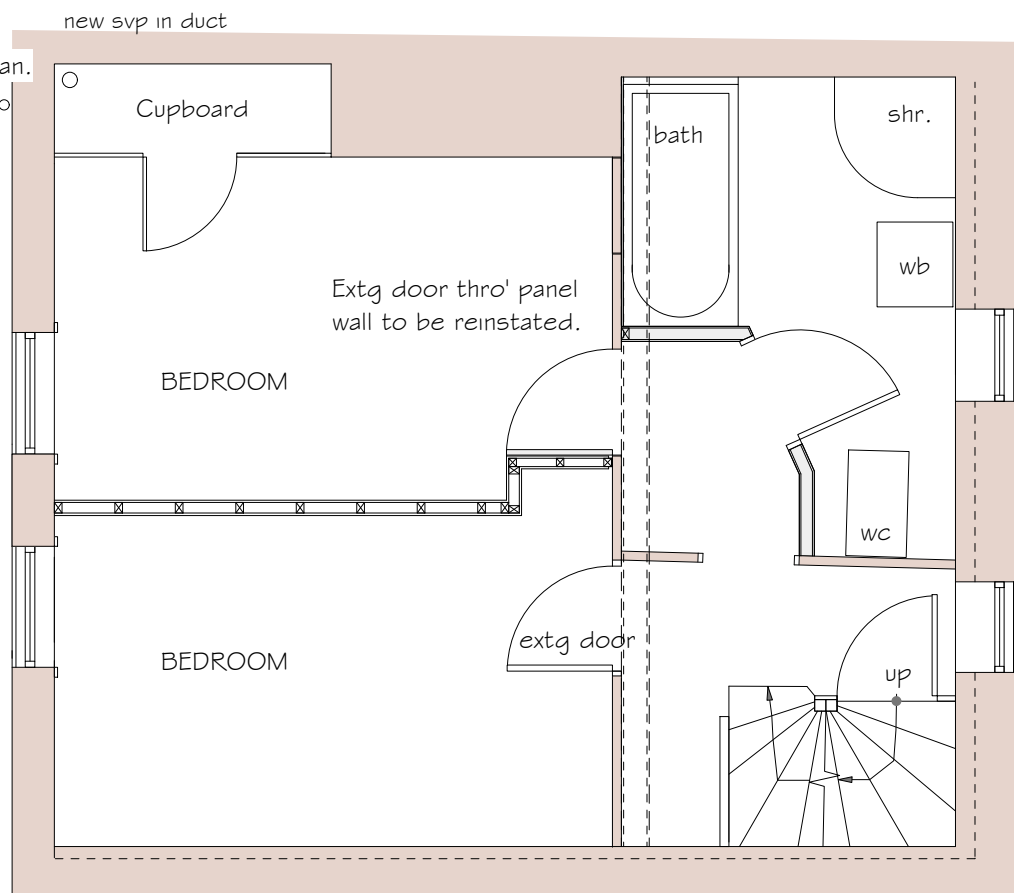
ATTIC

Existing rwp overhauled as note ground floor plan.

New partition wall constructed 50 x 75mm stoothing. Rockwool sound insulation batts between timbers.

Existing skirting boards replaced with 19mm thick Georgian section.

Existing dry lining to first floor walls to be overhauled. Remove any rotted timbers. Add moisture resistant insulation. Vapour barrier. Plasterboard & skim coat as existing.



Existing bathroom tiling to be removed.

Adjust/renew tile backer board to 1.35m above floor level & tile finish as Client directs.

Existing stonework above finished lime plaster. Water based emulsion finish.

New partition to Bathroom/Lobby constructed 50 x 75mm stoothing with Rockwool Sound insulation between timbers. Vapour barrier to bathroom side & finish 210mm t#g 'V' boards both sides. Finish with fire paint to provide Class O according to Building Regulation standards. 762mm 4 panel door to match existing.

Connect sanitary appliances to extg s/vp.

All areas: repair worm affected floor boards with fillets. Board or repair to span min 3no joists.

Extg rwp

Proposed:

ALTERATIONS to SHIRLEY HOUSE SUNNY PLACE ROBIN HOOD'S BAY

Drawing: PLANS II as PROPOSED

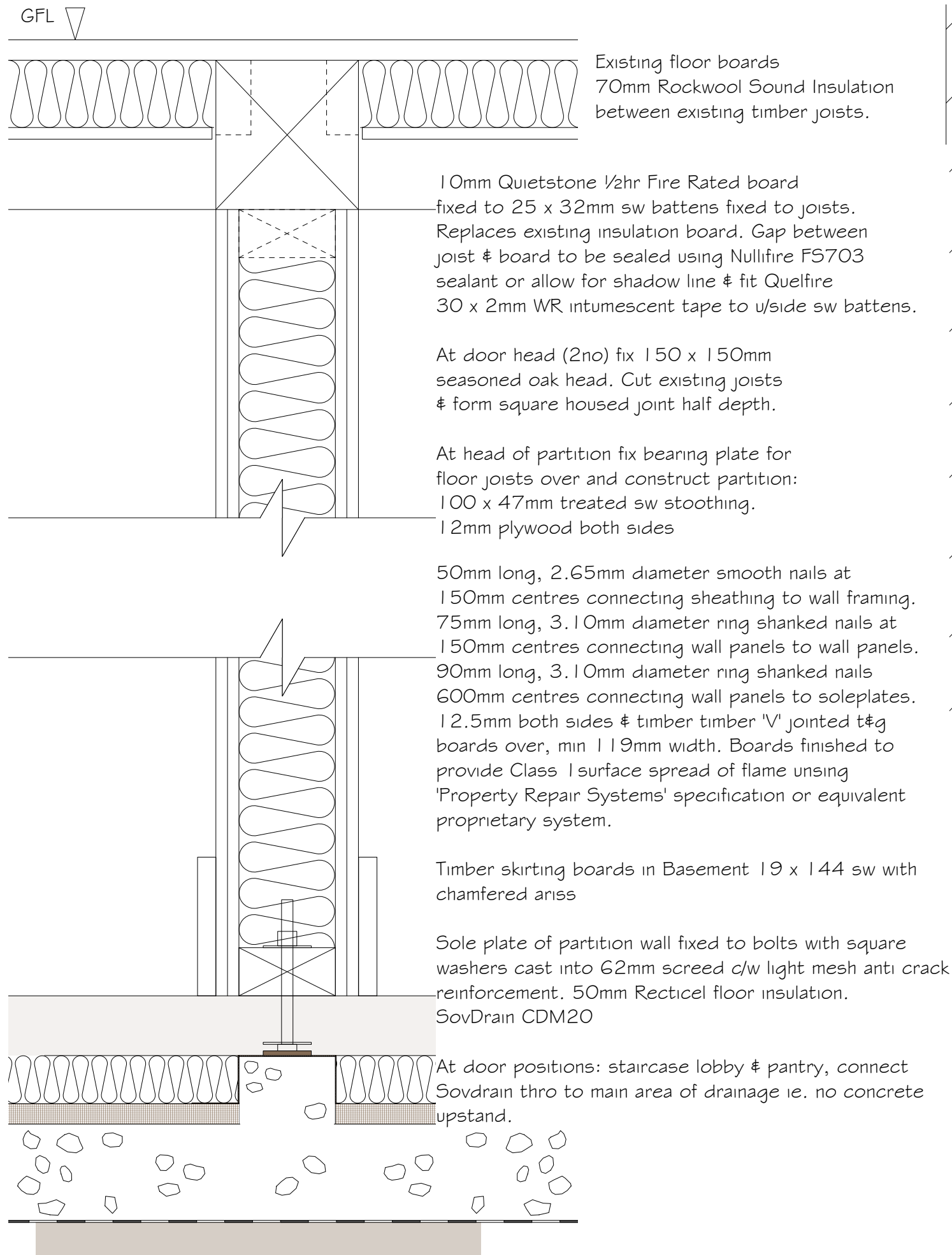
Drawing No. 190/11 Date: SEPTEMBER 2017 Scale: 1/50

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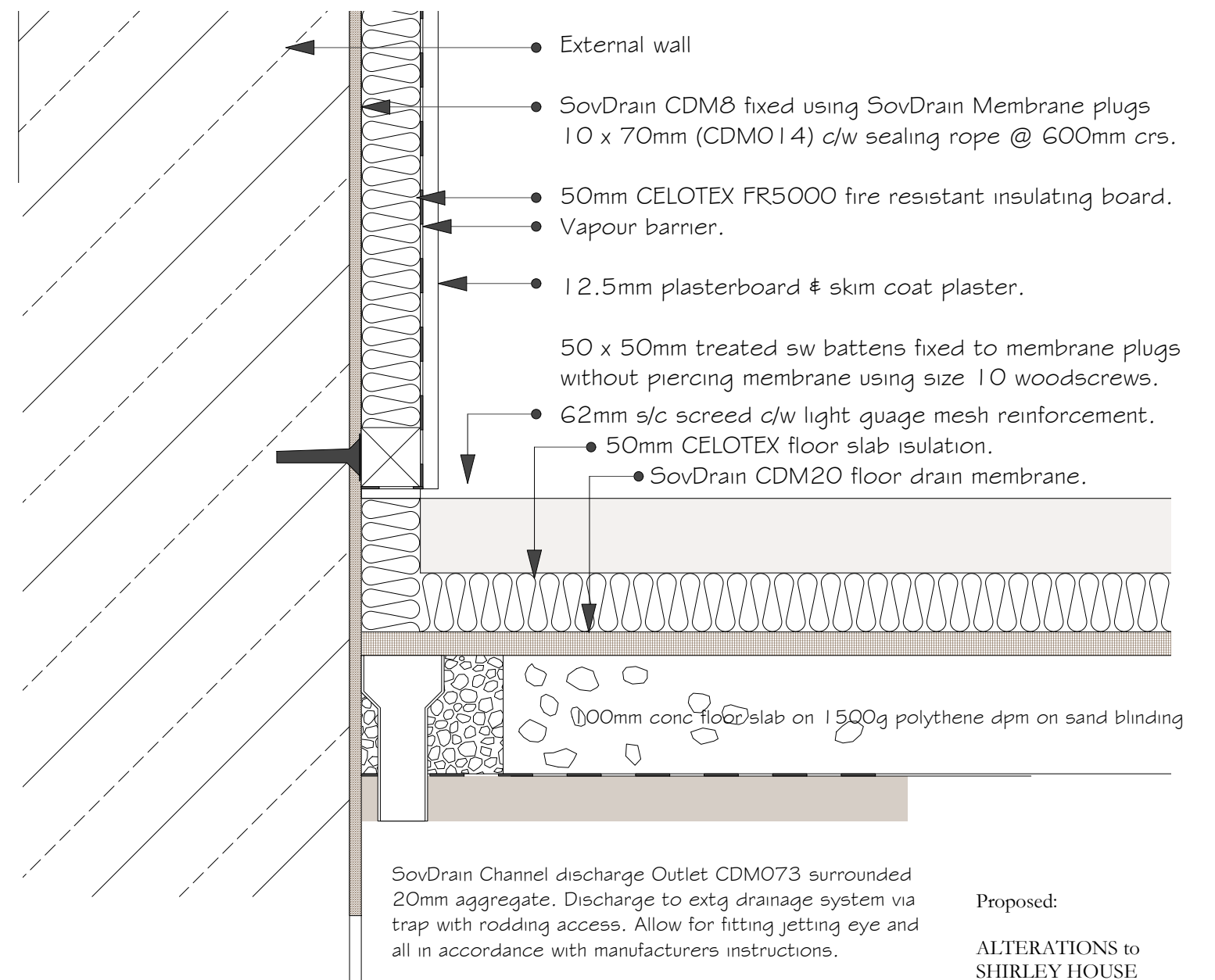


FIRST FLOOR

16 PARK VIEW. GLAISDALE. WHITBY NORTH YORKSHIRE. YO21 2PP.



BASEMENT: SECTION thro' STRUCTURAL PARTITION



SECTION thro' BASEMENT FLOOR

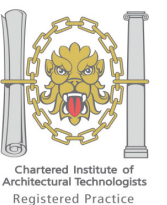
Proposed:

ALTERATIONS to
SHIRLEY HOUSE
SUNNY PLACE
ROBIN HOOD'S BAY

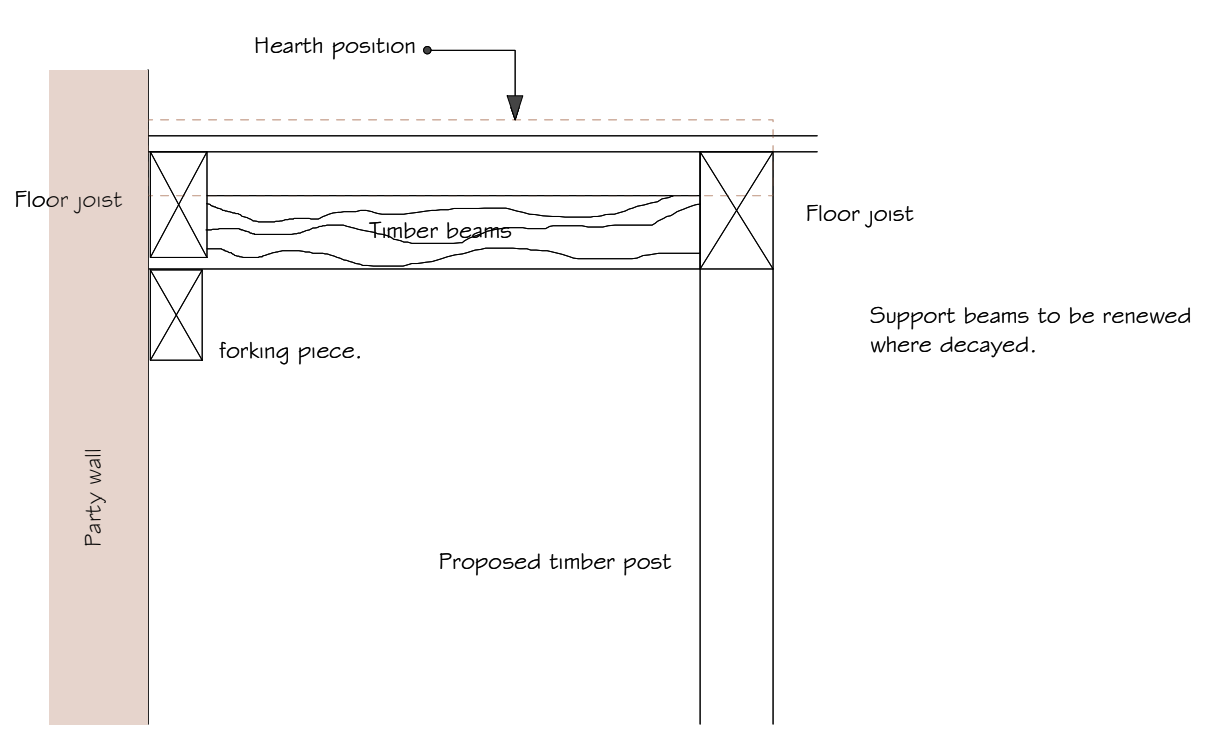
Drawing:
BASEMENT FLOOR &
WALL DETAILS

Drawing No. 190/15
Date: SEPTEMBER 2017
Scale: 1/5

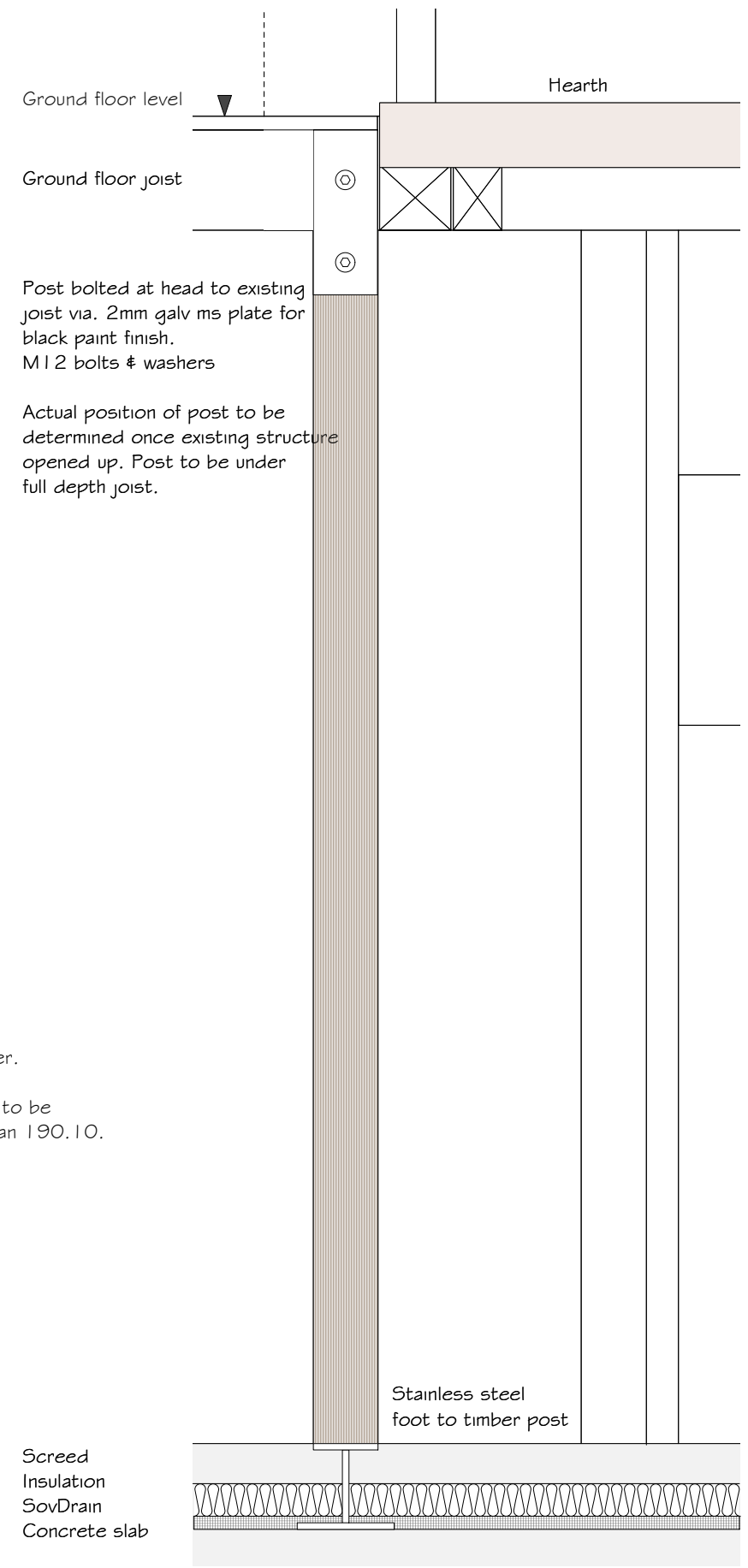
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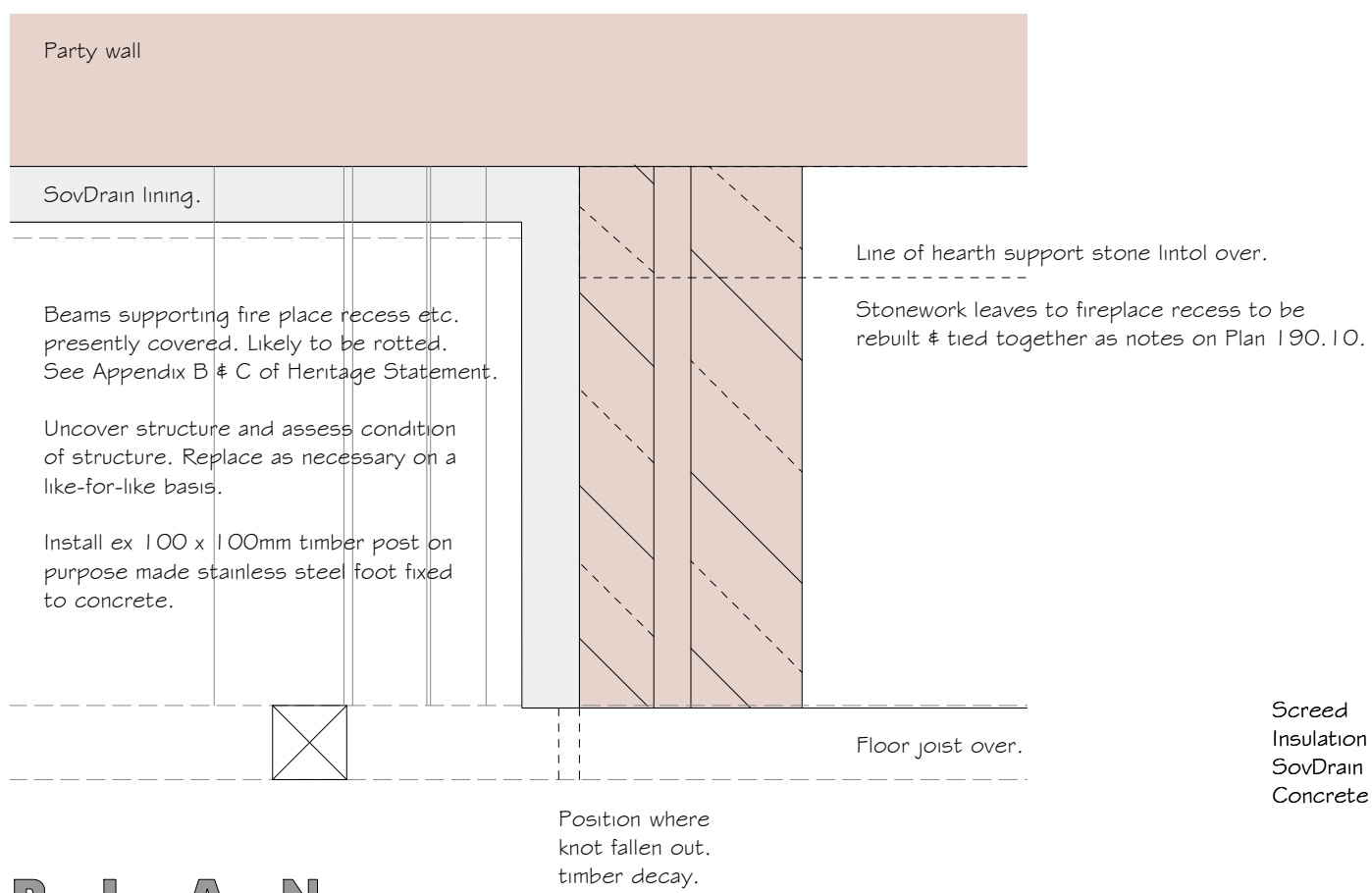
16 PARK VIEW. GLAISDALE.
WHITBY
NORTH YORKSHIRE.
YO21 2PP.



S E C T I O N



E L E V A T I O N



P L A N

Proposed:
 ALTERATIONS to
 SHIRLEY HOUSE
 SUNNY PLACE
 ROBIN HOOD'S BAY

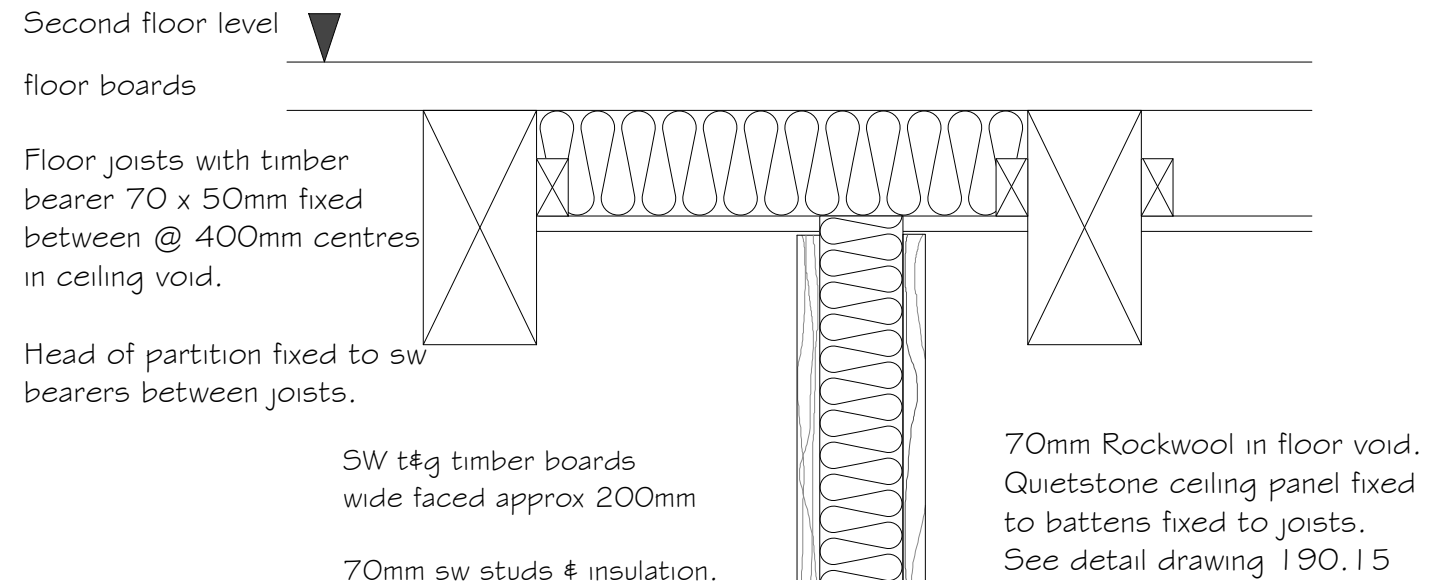
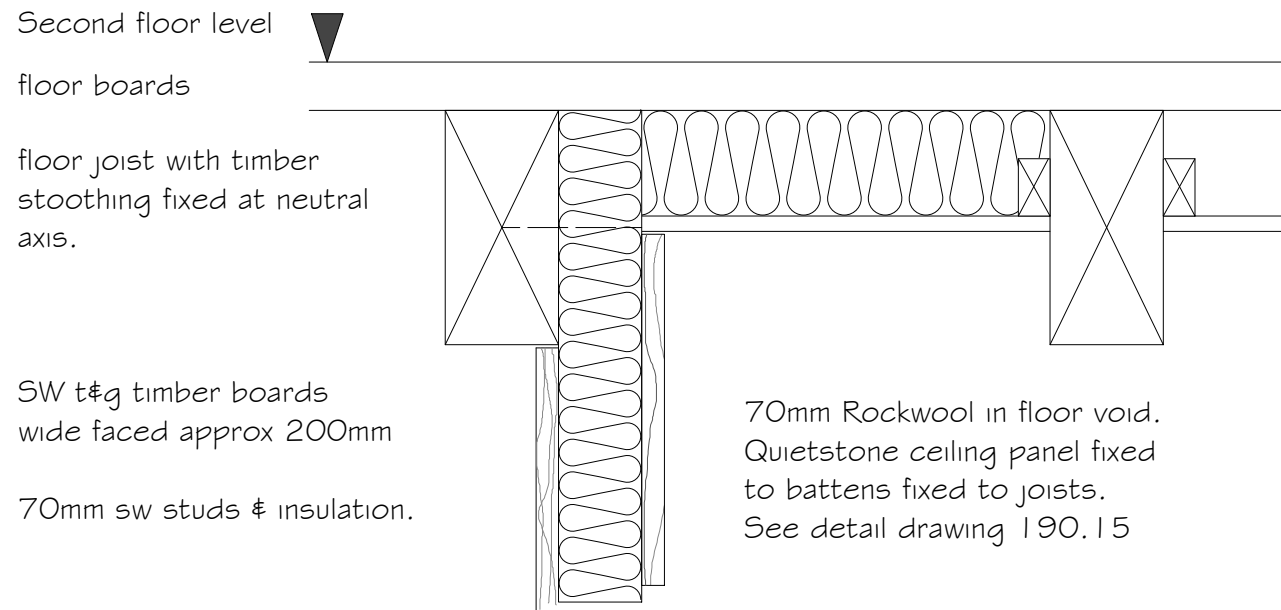
Drawing:
 BASEMENT STRUCTURE
 SUPPORT POST to FFL.

Drawing No. 190/16
 Date: SEPTEMBER 2017
 Scale: 1/5

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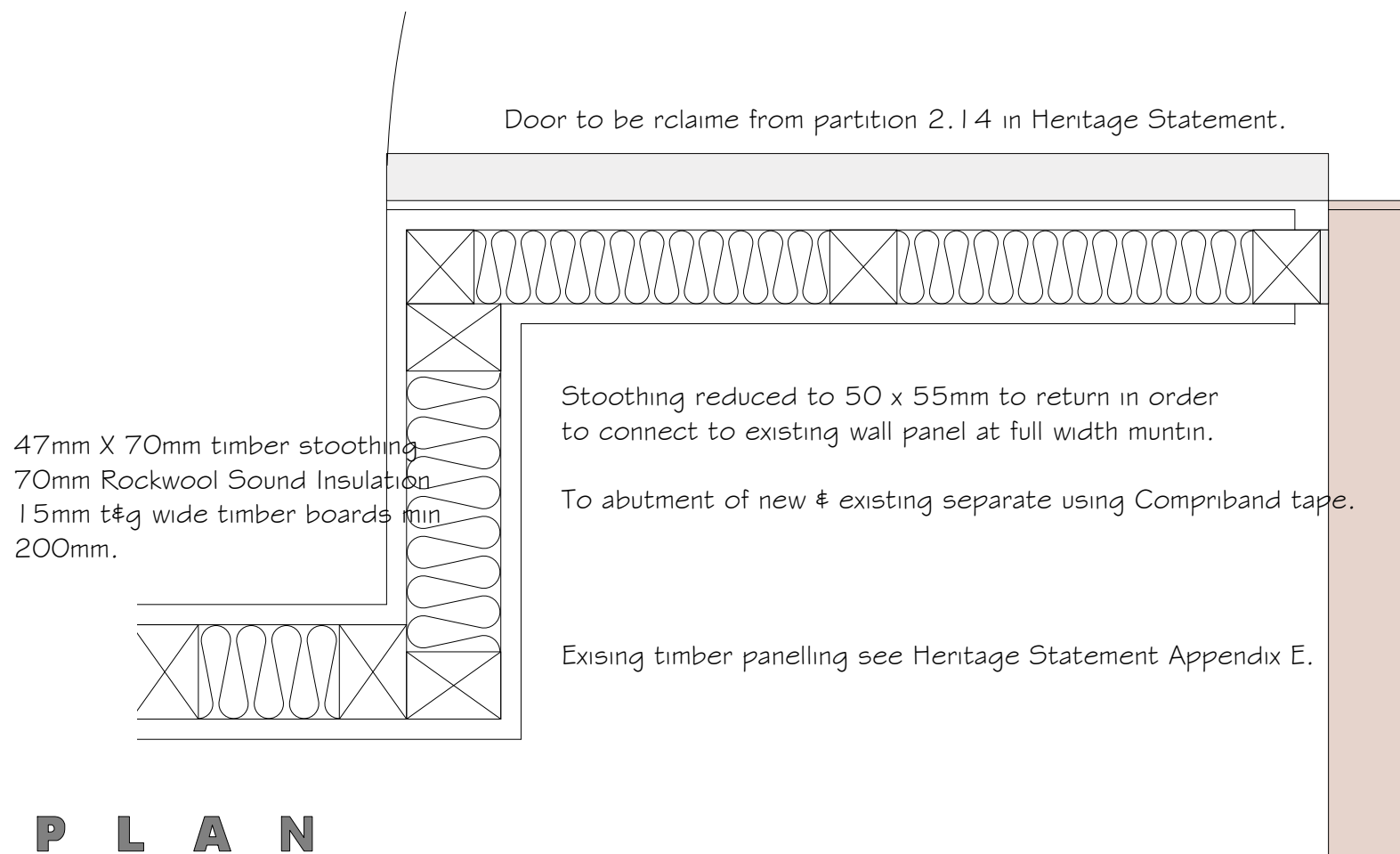


16 PARK VIEW, GLAISDALE,
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 NORTH YORKSHIRE,
 YO21 2PP.



D E T A I L
A D J A C E N T D O O R

G E N E R A L D E T A I L



P L A N

Proposed:

ALTERATIONS to
SHIRLEY HOUSE
SUNNY PLACE
ROBIN HOOD'S BAY

Drawing:
FIRST FLOOR PARTITION.

Drawing No. 190/17
Date: SEPTEMBER 2017
Scale: 1/5

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Architectural Consultant.



16 PARK VIEW. GLAISDALE.
WHITBY
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Existing panelled partition load near centre joists.

Existing partition to Rear Hall side to be retained where possible.

First Floor Level
Floor boards

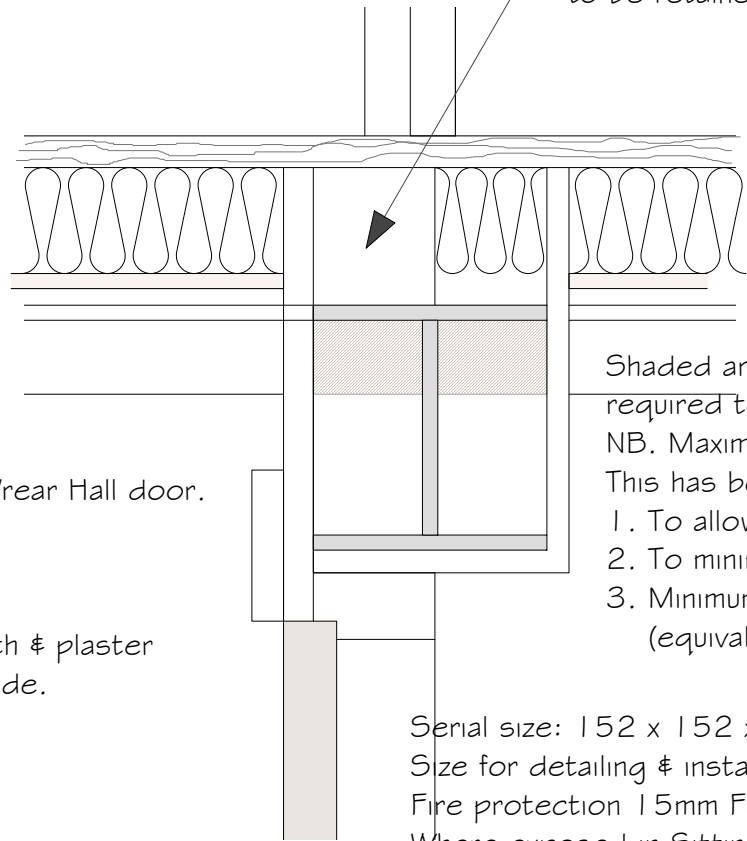
Rockwool insulation
Quietstone board ceiling

Floor joists

Architrave to Sitting Room/rear Hall door.

Door height 1.86 metres.

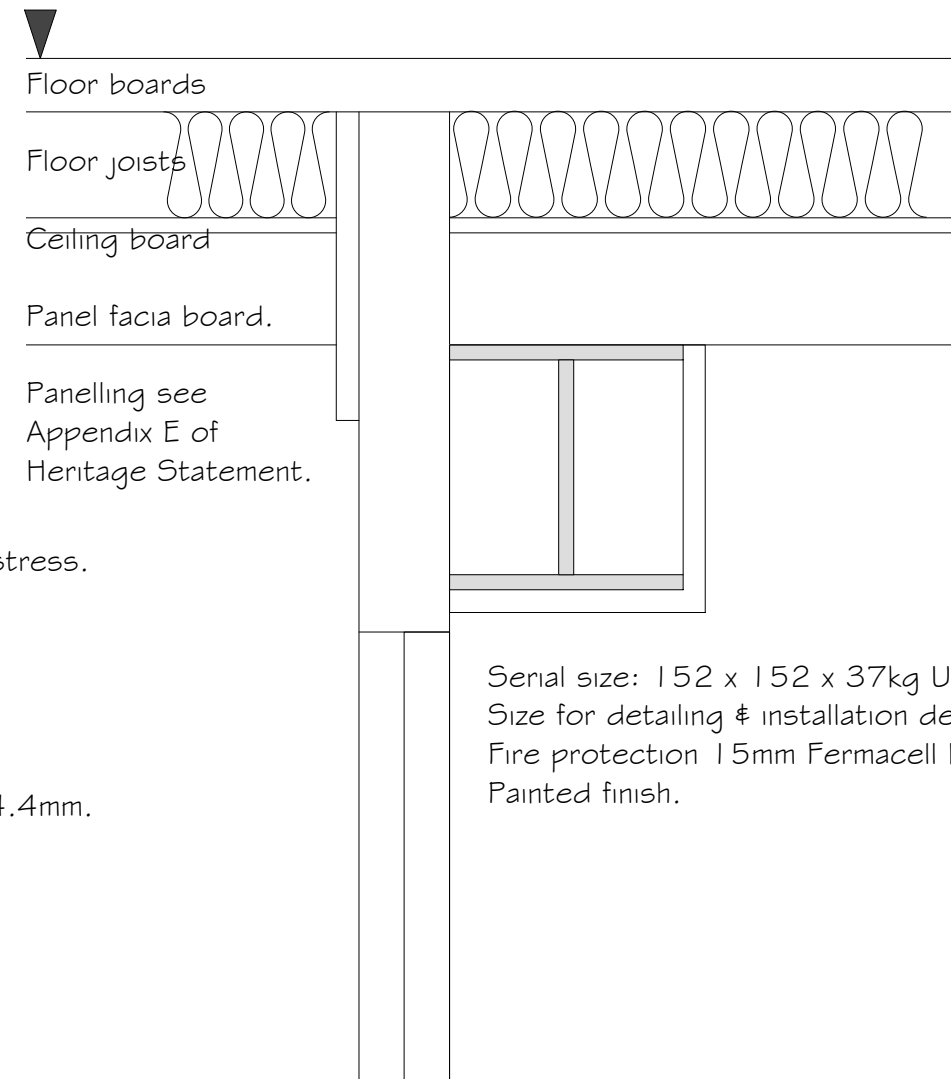
Existing partition face of lath & plaster retained to Sitting Room side.



Shaded area shows notching required to existing joists.
NB. Maximum notch BS. 5268 = h/2.
This has been reduced to h/1.6 to:
1. To allow for age of timber thus reduced stress.
2. To minimise harm to historic fabric.
3. Minimum realistic to maintain headroom.
(equivalent to above door top rail).

Serial size: 152 x 152 x 37kg UC.
Size for detailing & installation depth 161.8mm width 154.4mm.
Fire protection 15mm Fermacell board.
Where exposed in Sitting Room apply 15mm timber board panels with rounded moulding to bottom panel edges.

Second Floor Level



Serial size: 152 x 152 x 37kg UC.
Size for detailing & installation depth 161.8mm width 154.4mm.
Fire protection 15mm Fermacell board.
Painted finish.

Proposed:

ALTERATIONS to
SHIRLEY HOUSE
SUNNY PLACE
ROBIN HOOD'S BAY

Drawing:
FIRST & SECOND FLOOR
BEAM INSTALLATION.

Drawing No. 190/18
Date: SEPTEMBER 2017
Scale: 1/5

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F I R S T F L O O R
B E A M D E T A I L

S E C O N D F L O O R
B E A M D E T A I L



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