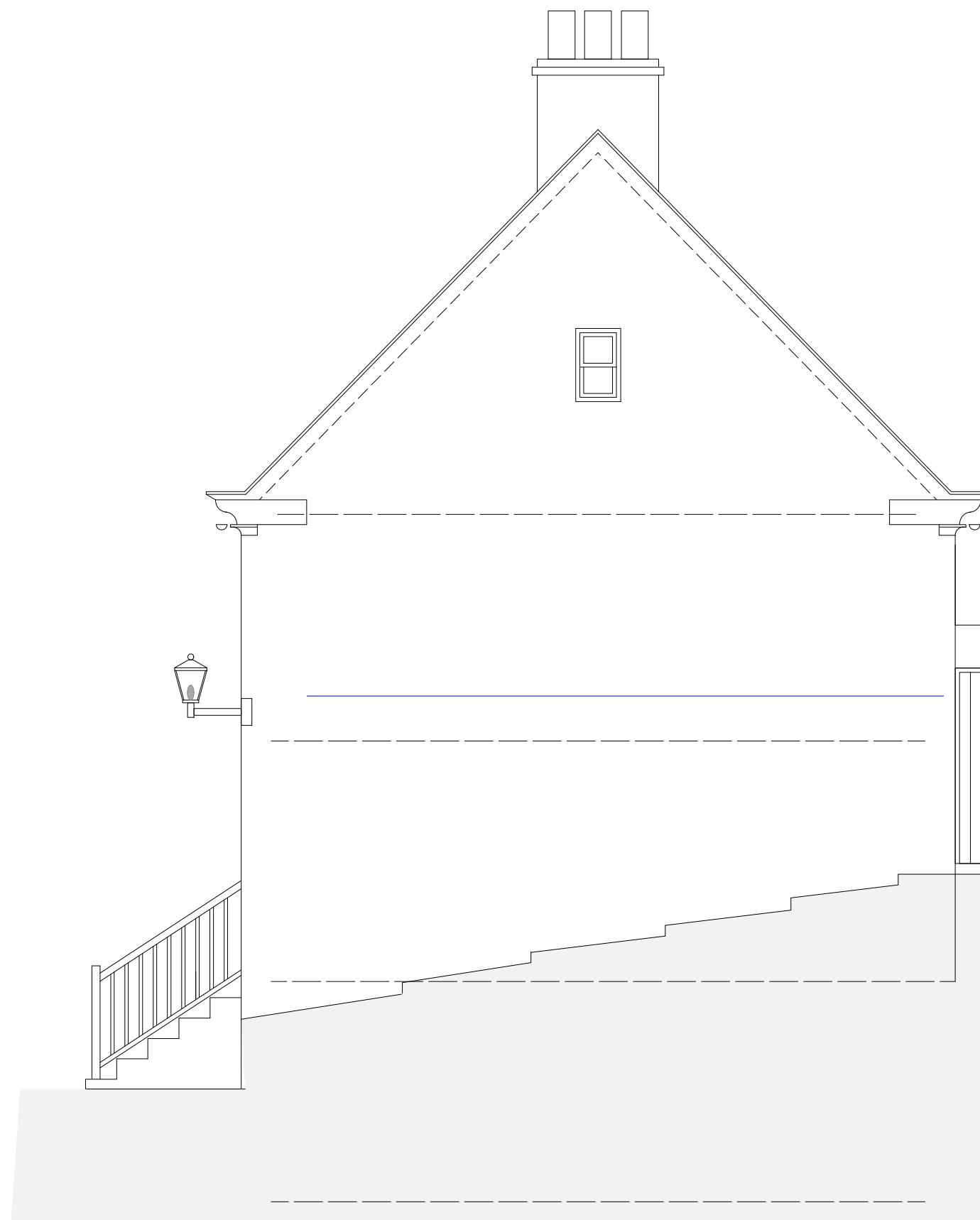




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S O U T H   W E S T   E L E V A T I O N  
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NYMNPA

06/11/2017

Proposed:

ALTERATIONS to  
SHIRLEY HOUSE  
SUNNY PLACE  
ROBIN HOOD'S BAY

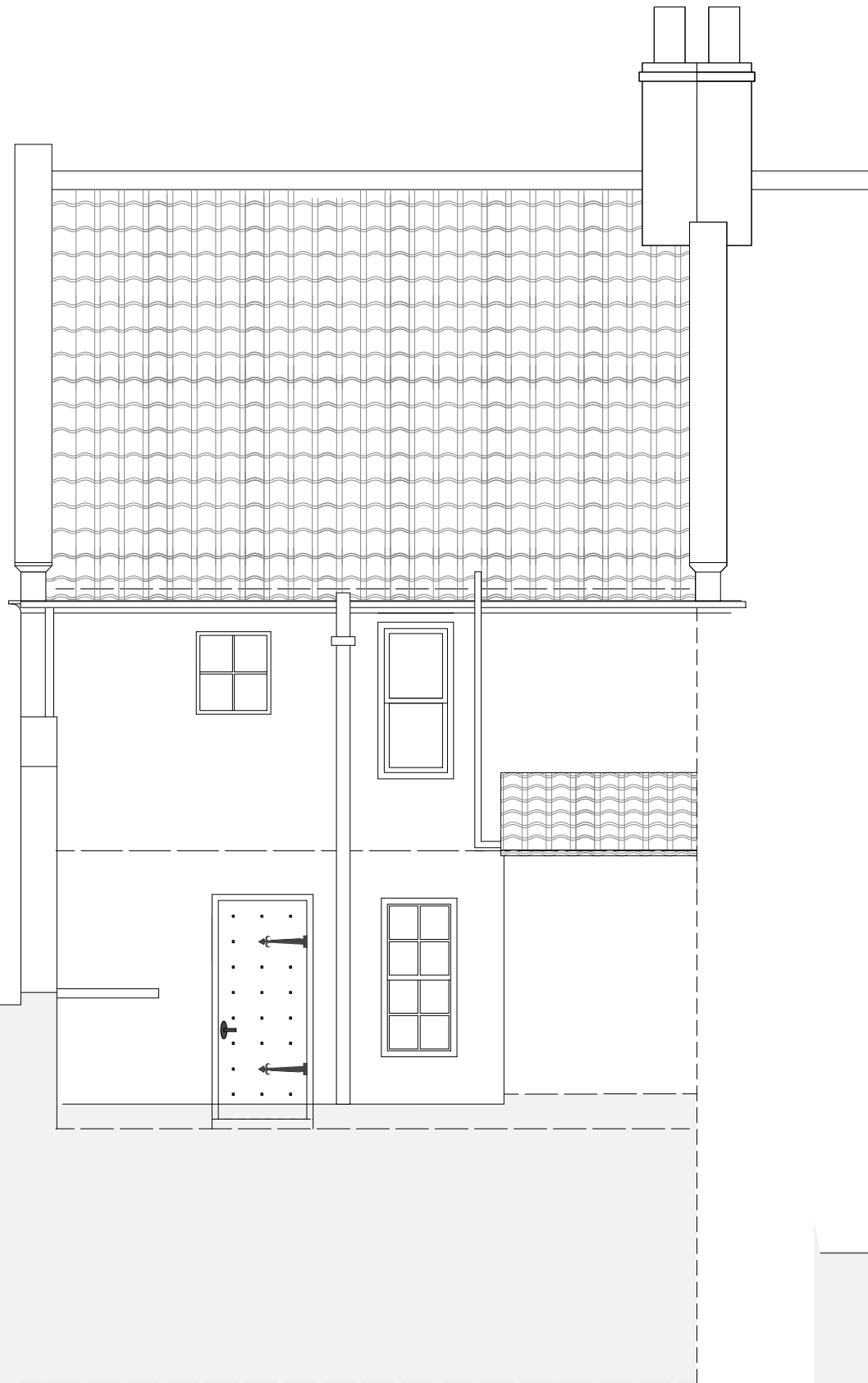
Drawing:  
EXISTING ELEVATIONS I

Drawing No. 190/03  
Date: SEPTEMBER 2017  
Scale: 1/50

MICHAEL MILLER  
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S E C T I O N

Proposed:

ALTERATIONS to  
SHIRLEY HOUSE  
SUNNY PLACE  
ROBIN HOOD'S BAY

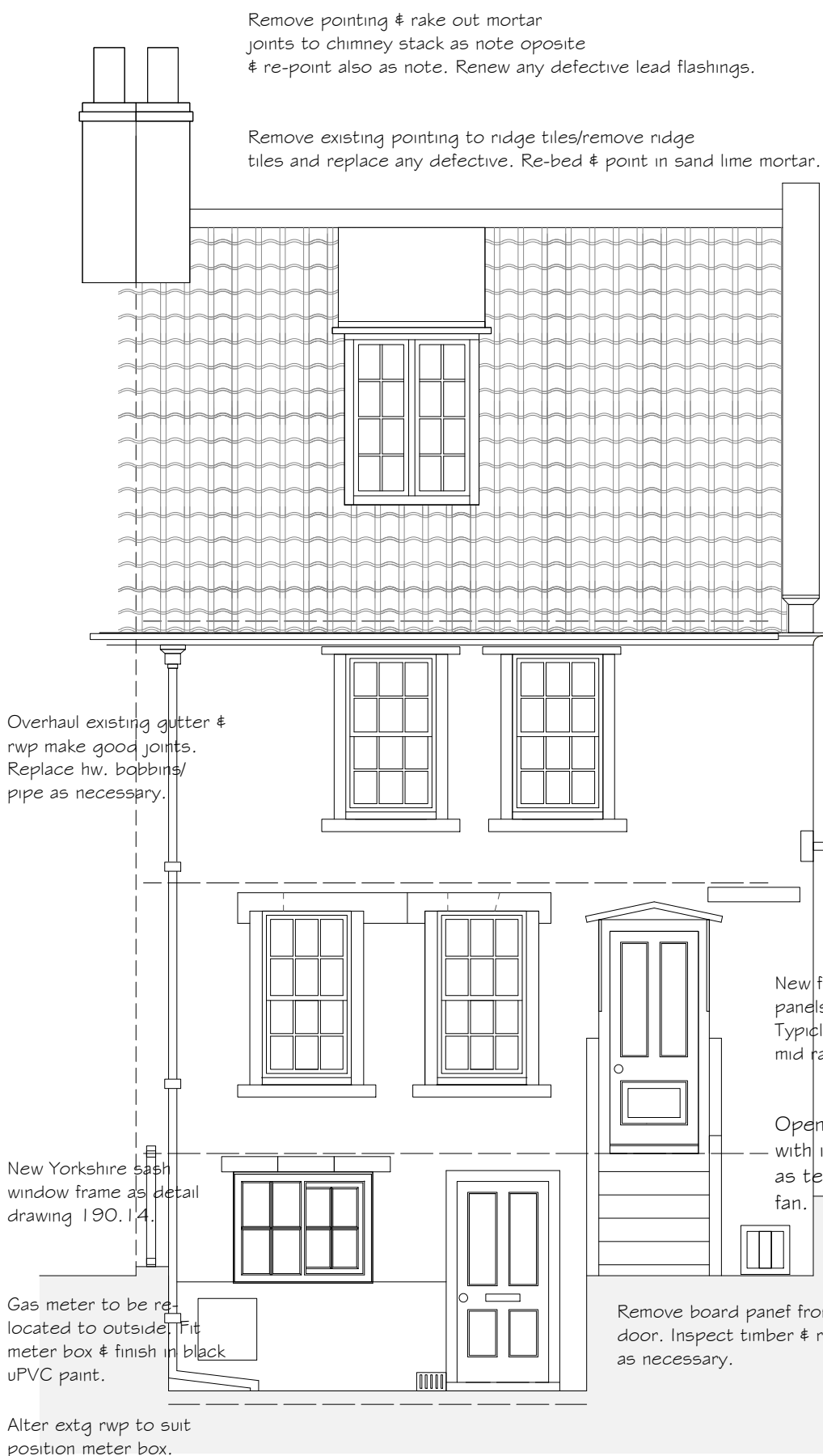
Drawing:  
EXISTING ELEVATIONS II

Drawing No. 190/04  
Date: SEPTEMBER 2017  
Scale: 1/50

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Inspect abutment of roof & gable.  
Reinstatate any defactive work.

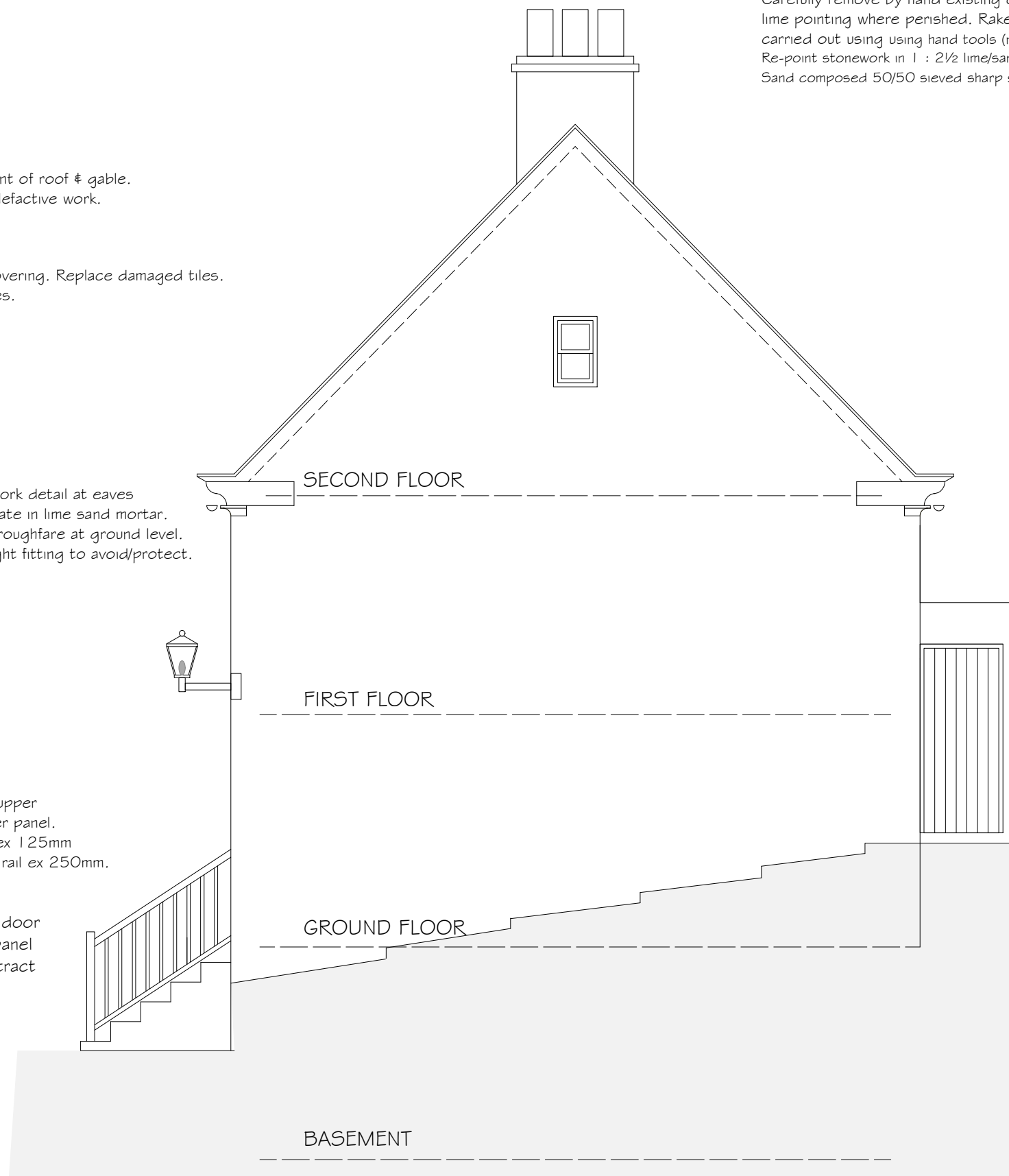
Inspect roof covering. Replace damaged tiles.  
Re-fix loose tiles.

Inspect stonework detail at eaves  
level and reinstatate in lime sand mortar.  
CDM. Public throughfare at ground level.  
Street light fitting to avoid/protect.

New front door with glazed upper  
panels/ raised 7 fielded lower panel.  
Typicl sections: head/stiles ex 125mm  
mid rail ex. 200mm. bottom rail ex 250mm.

Opening fitted with mock door  
with insect mesh centre panel  
as terminal for Kitchen extract  
fan.

Remove board panef from Basement  
door. Inspect timber & repair/renew  
as necessary.



S O U T H   W E S T   E L E V A T I O N

#### GENERAL NOTES

Carefully remove by hand existing cement pointing in its entirety & lime pointing where perished. Rake out joints to min 25mm & repointing carried out using using hand tools (not mechanical or electrical).  
Re-point stonework in 1 : 2½ lime/sand mortar.  
Sand composed 50/50 sieved sharp sand/builder's sand

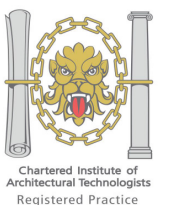
Proposed:

ALTERATIONS to  
SHIRLEY HOUSE  
SUNNY PLACE  
ROBIN HOOD'S BAY

Drawing:  
ELEVATIONS as PROPOSED I

Drawing No. 190/12  
Date: SEPTEMBER 2017  
Scale: 1/50

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Remove pointing & rake out mortar joints to chimney stack as note opposite & re-point also as note.  
Renew any defective lead flashings

Remove existing pointing to ridge tiles/remove ridge tiles and replace any defective. Re-bed & point in sand lime mortar.

Inspect abutment of roof & gable.  
Reinstate any defective work.

Overhaul rainwater goods & repair/replace as necessary.

Inspect roof covering.  
Replace damaged tiles.  
Re-fix loose tiles.

Inspect dormer window frame  
& repair/renew defective members.

Exposed floor joists at all floor joists to be treated to 1/2 hour fire resistance & Class 1 surface spread of flame using proprietary paint system.

# GENERAL NOTES

Carefully remove by hand existing cement pointing in its entirety & lime pointing where perished. Rake out joints to min 25mm & repointing carried out using using hand tools (not mechanical or electrical).  
Re-point stonework in 1 : 2½ lime/sand mortar.  
Sand composed 50/50 sieved sharp sand/builder's sand

Ceiling mounted extractor fan in Shower Room. Duct taken to rear elevation & roof tile terminal to match colour & profile of existing tiles. Avoids penetration of gable and front roof pitch.

assumed line of extg chimney breast cheek.

Extent of new stone hearth not known until construction open on site.

Reconstruct cheek of fire recess to ensure relieving lintol is fully supported rhs. Brckwork panel may be replaced with stone & lime mortar. Re-coat face of chimney breast in lime plaster.  
Install metal flue liner min 150mm diameter fix as manuf instructions. Hearth as client directs.

Proposed:

ALTERATIONS to  
SHIRLEY HOUSE  
SUNNY PLACE  
ROBIN HOOD'S BAY

Drawing:  
ELEVATIONS II  
as PROPOSED

Drawing No. 190/13  
Date: SEPTEMBER 2017  
Scale: 1/50

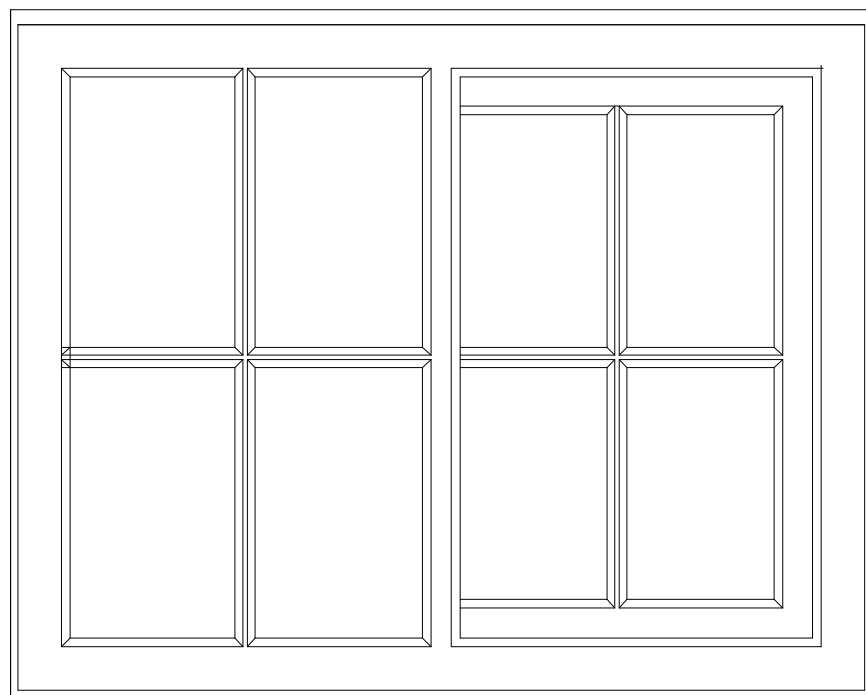
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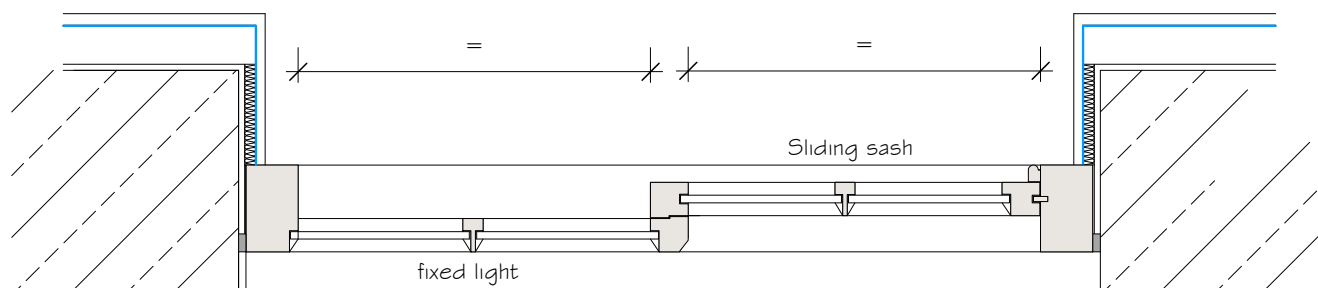
N O R T H   E A S T   E L E V A T I O N

S E C T I O N



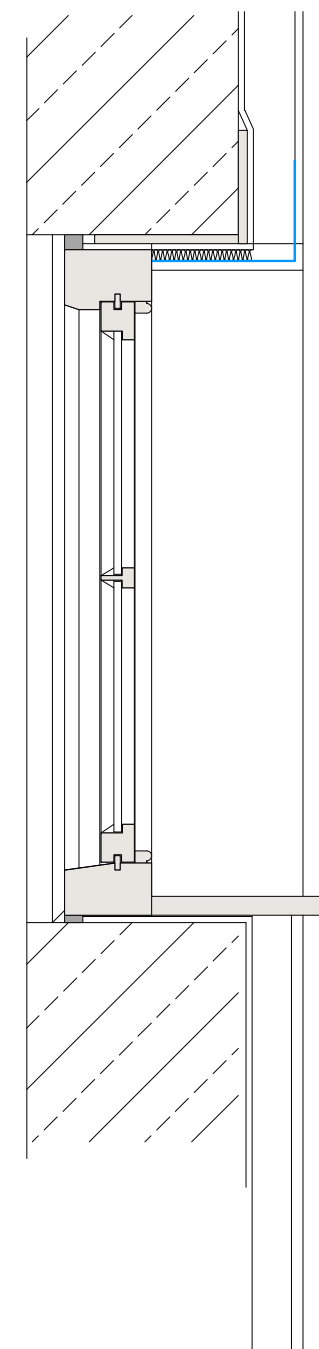
OUTSIDE

## ELEVATION



## PLAN

the original glass company.  
Heritage thin sealed unit 3mm low e/4mm krypton/ 3mm outer pane.  $U = 1.9W/m^2K$



INSIDE

Unequal angle at head to support masonry.  
Install black dense polythene dpc between steel & masonry.  
Continue wall lining at window head.  
Seal frame to stonework externally Compriband tape & point externally sand/lime mortar.  
Insulated plasterboard at window head with skim coat finish.

Window frame:  
115 x 75mm head.  
22 x 16 bead internally.  
50 x 45 top rail of sash.

Glazing:  
The Original Glass Company Heritage double glazed units or equivalent. Comprising 3mm machine drawn glass/4mm krypton filled cavity/3mm coated Low-E inner pane.  
Units fixed with sprigs & linseed oil putty.

Glazing bar 44 x 27.

75 x 45 bottom rail of sash.  
22 x 16 mm bead (surround internally).  
22 x 10mm oak runner bead set in rebate in sill.  
115 x 75mm oak sill.

ex. 25mm window bottom board.

## SECTION

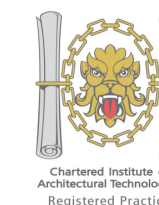
Proposed:

ALTERATIONS to  
SHIRLEY HOUSE  
SUNNY PLACE  
ROBIN HOOD'S BAY

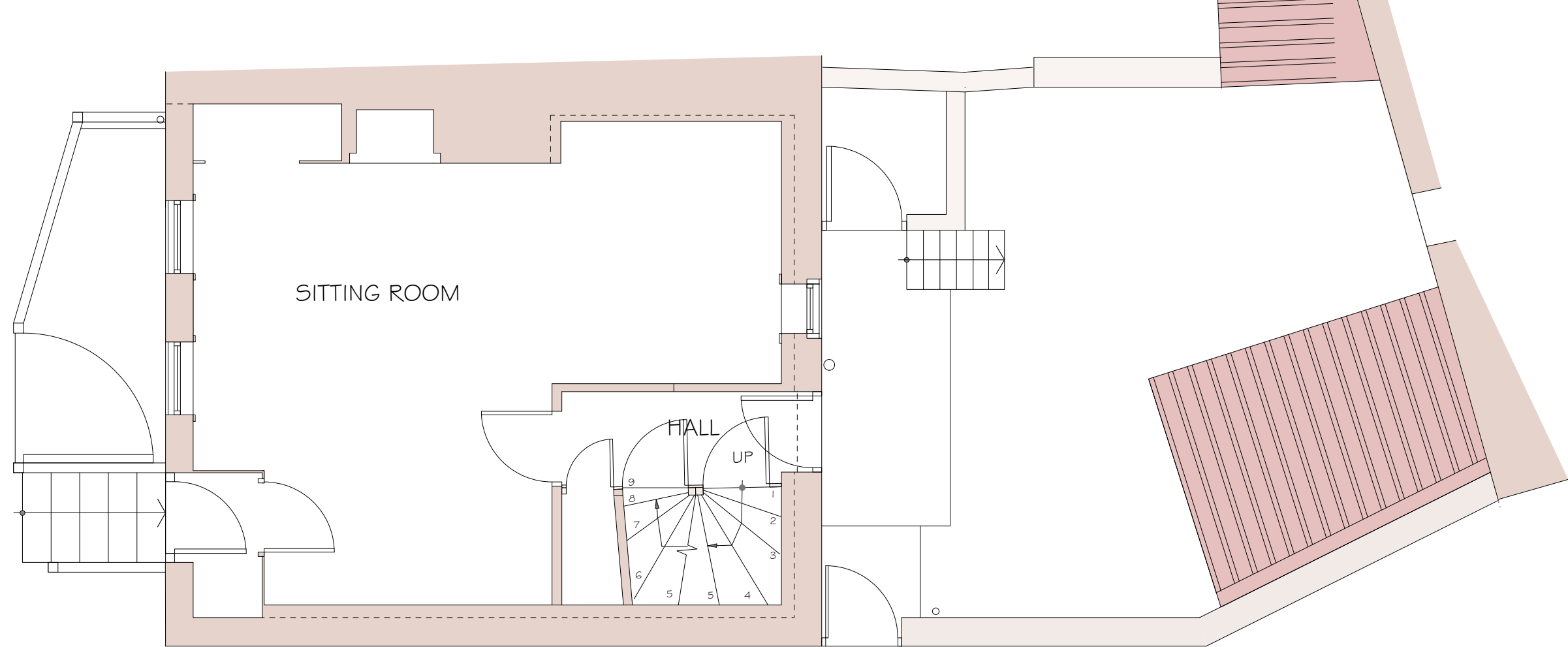
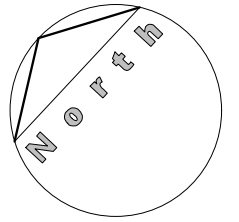
Drawing:  
ELEVATIONS II  
as PROPOSED

Drawing No. 190/13  
Date: SEPTEMBER 2017  
Scale: 1/50

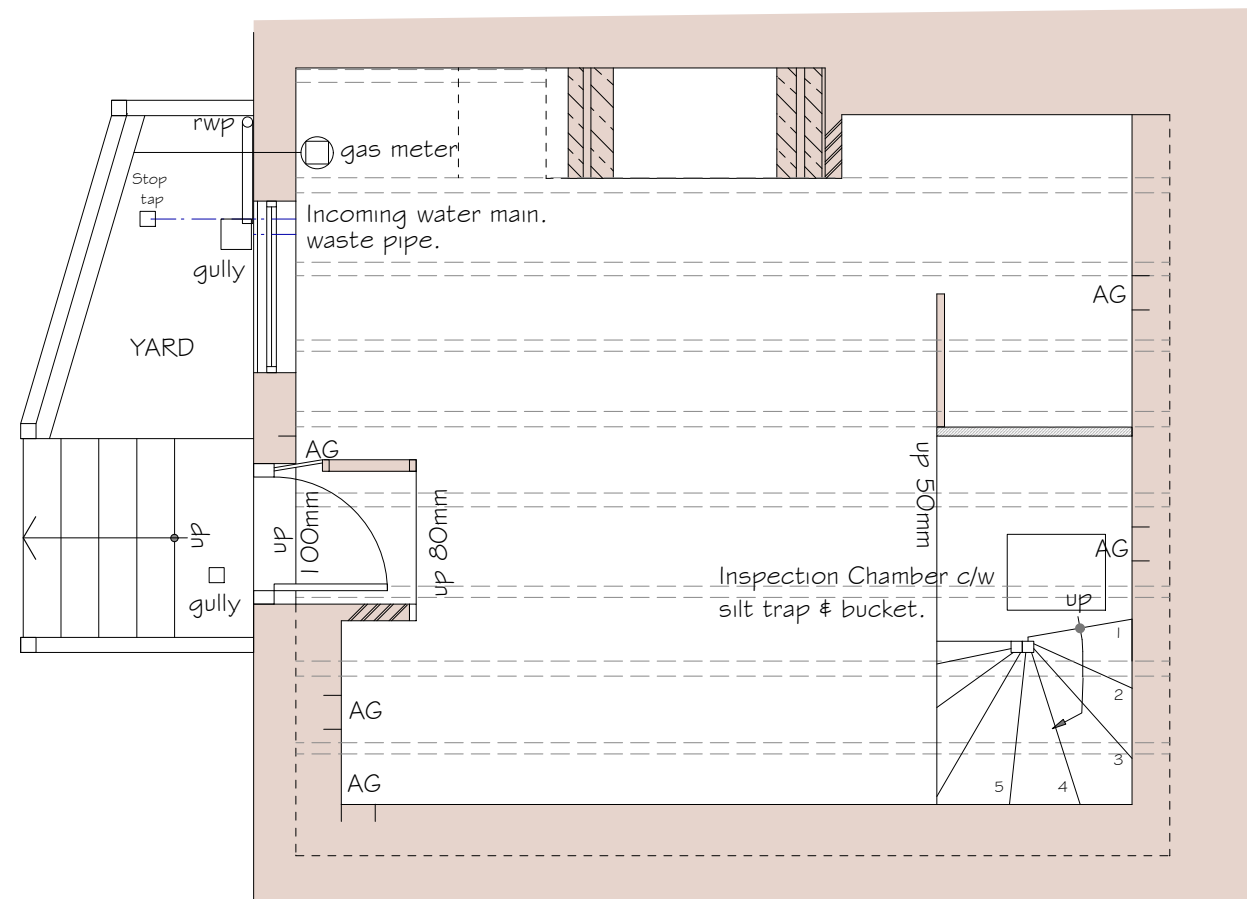
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## GROUND FLOOR



## BASEMENT

Proposed:

ALTERATIONS to  
SHIRLEY HOUSE  
SUNNY PLACE  
ROBIN HOOD'S BAY

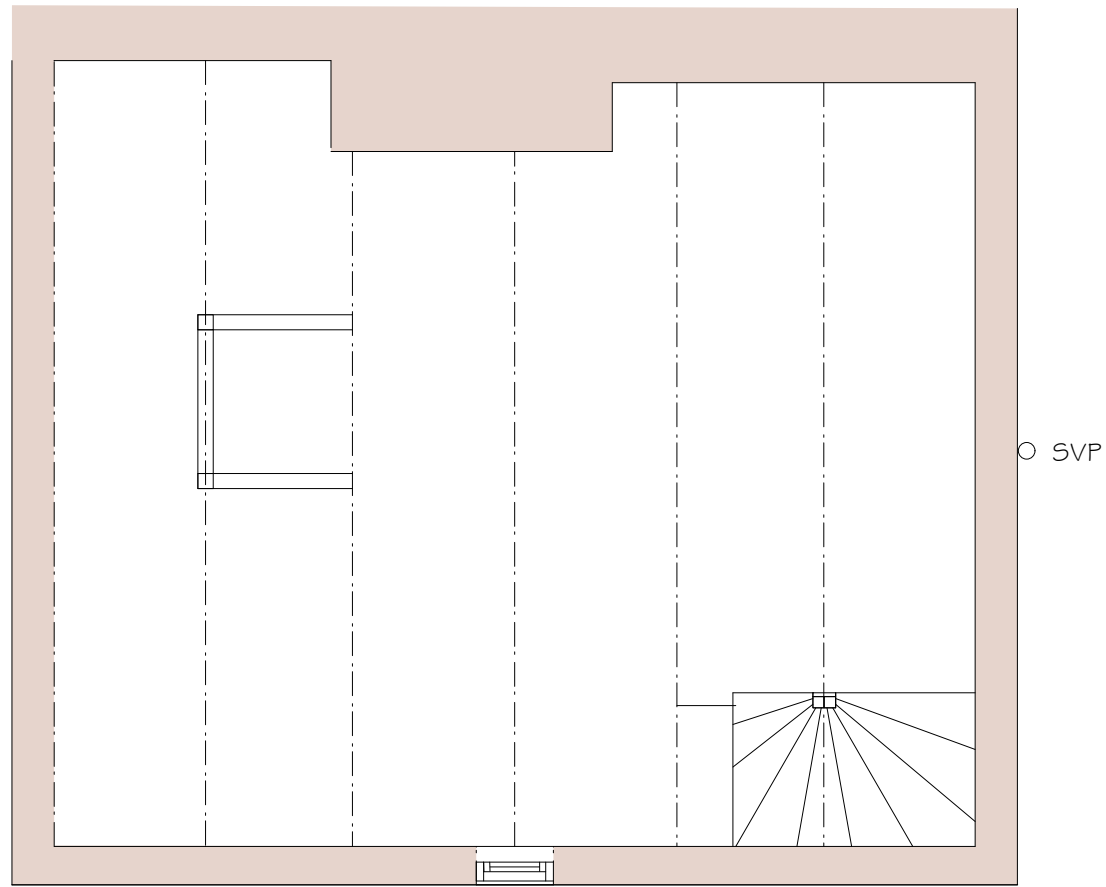
Drawing:  
EXISTING PLANS I

Drawing No. 190/01  
Date: SEPTEMBER 2017  
Scale: 1/50

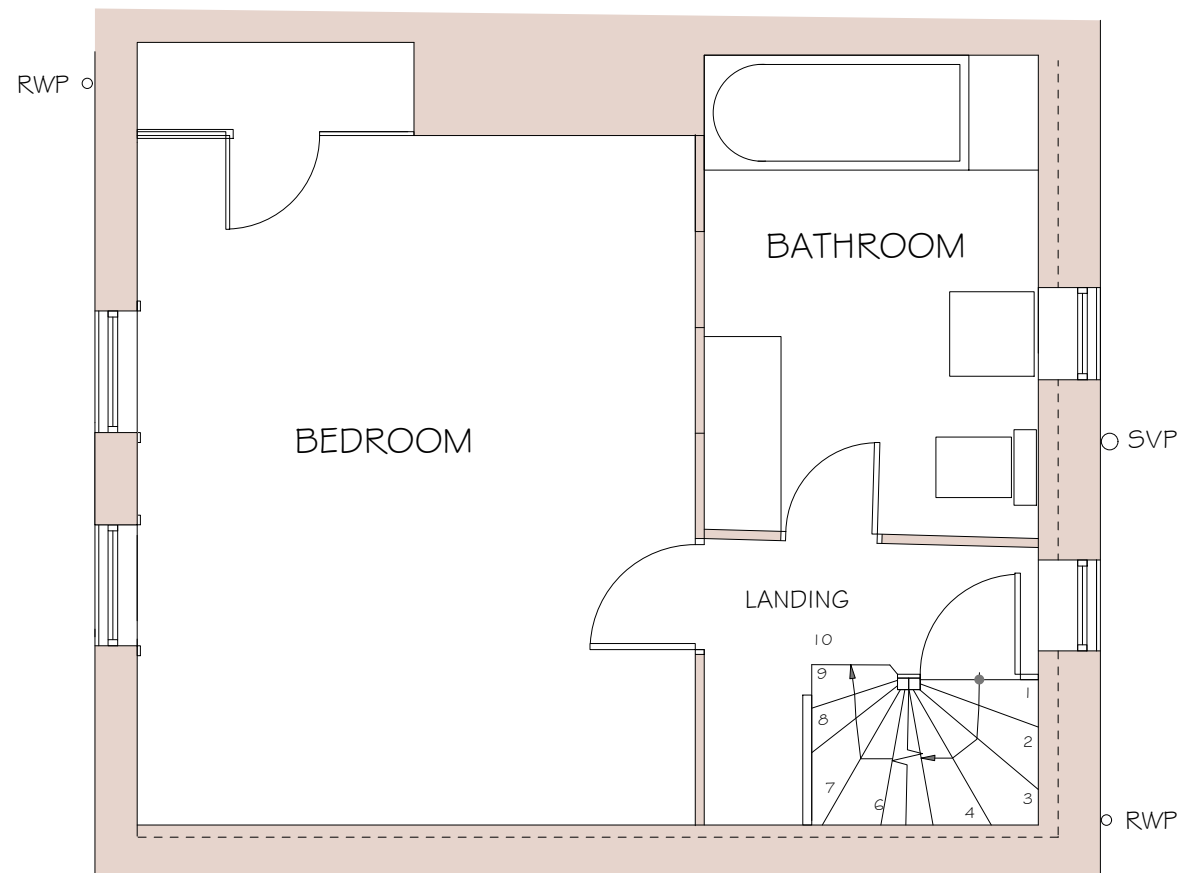
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YO21 2PP.



ATTIC



FIRST FLOOR

Proposed:

ALTERATIONS to  
SHIRLEY HOUSE  
SUNNY PLACE  
ROBIN HOOD'S BAY

Drawing:  
EXISTING PLANS II

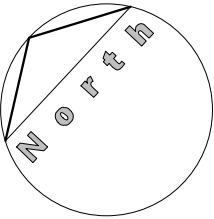
Drawing No. 190/02  
Date: SEPTEMBER 2017  
Scale: 1/50

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Extg CI rwp overhauled eg. renew mounting bobbins/recalk joints as necessary

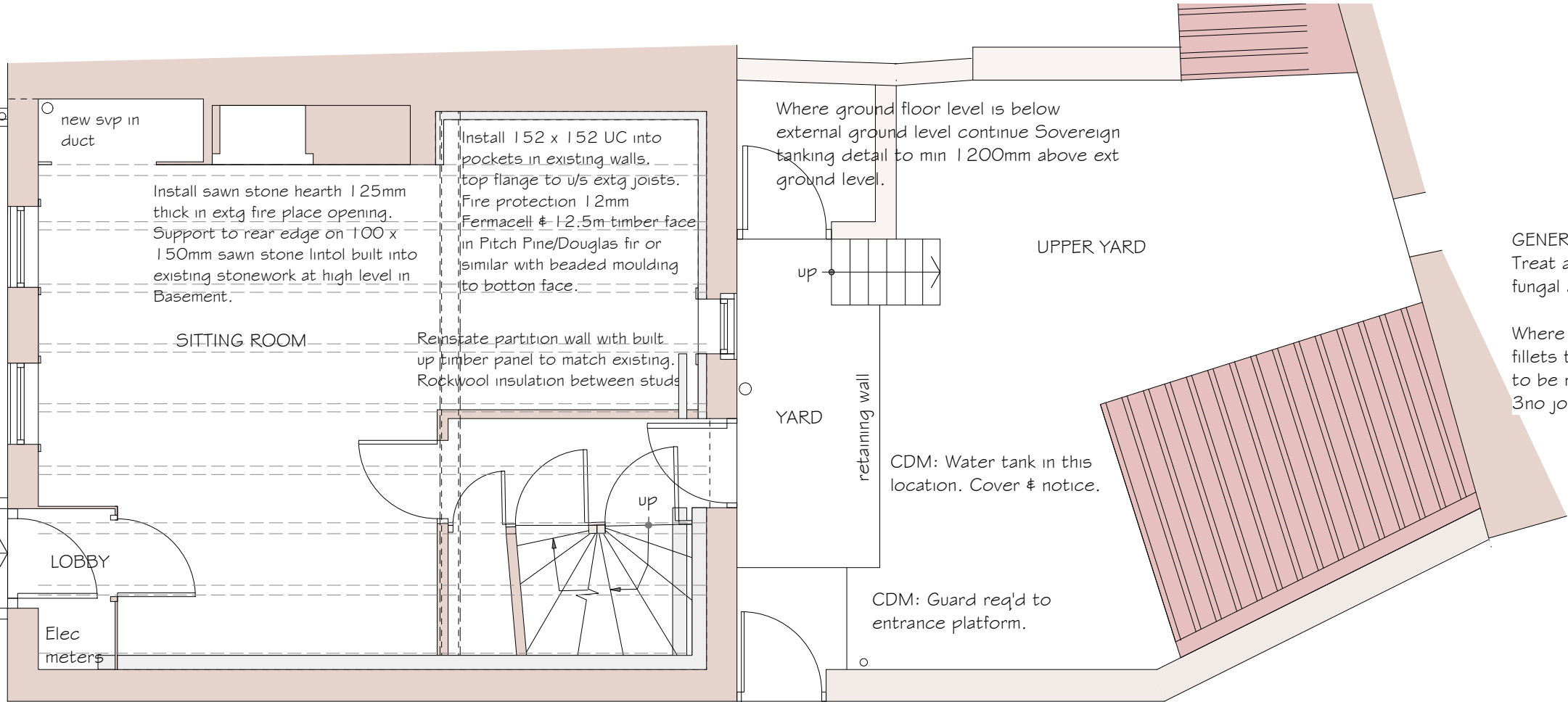
Existing timber guard rail to dry area/basement access.

Existing dry lining to ground floor walls to be overhauled. Remove any rotted timbers. Add moisture resistant insulation. Vapour barrier. Plasterboard & skim coat as existing.

Existing timber joists to be inspected for integrity & replaced where necessary like for like. NB Douglas Fir or Pitch Pine.

Existing skirting boards replaced with 19mm thick Georgian section.

All areas: repair worm attacted floor boards with fillets. Board or repair to span min 3no joists.



GENERALLY:  
Treat all existing timbers against insect and fungal attack using proprietary contractor.

Where existing floor boards are perished fit fillets to repair. Where larger sections are to be removed, replace board to span min of 3no joists.

# GROUND FLOOR

Extg rwp to be altered as necessary to suit gas meter box position.

Existing gas meter to be re-sited in new external meter cup'd. Re-route supply internally.

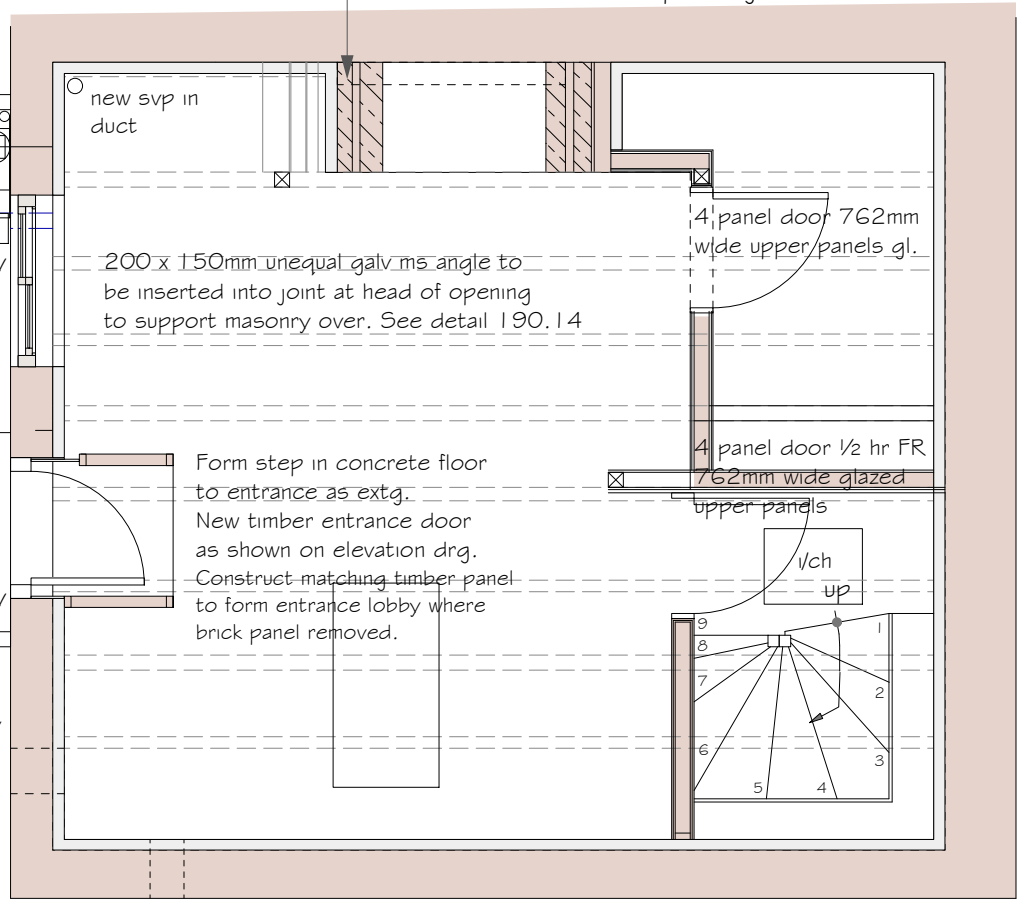
Extg water supply stop tap

Remove extg window frame. Fit new 'Yorkshire Light' horizontal sliding sash as detail drawing.

Existing timber panel forming lobby to entrance door to remain. Boards joining panel to wall: remove due to rot at bottom & renew & fix to wall as shown.

Existing timber joists to be inspected for integrity & replaced where necessary like for like. Where small sections of bearing rotted fit Bower Beam repair system.

Small door to external wall (Grd level) to be modified as terminal to cooker hood.



# BASEMENT

Allow for temporary support, remove conc blkwk at high level to chy breast & reinstate in stone lime mortar bed & pointing.

Damp proofing treatment to basement. Excavate & remove extg concrete floor slab. Excavate to formation levels & if foundation levels permit: 150mm hardcore/50mmsand blinding /1500g polythene dpm/100mm concrete floor slab with Sovereign Aquaduct to perimeter of floor & sunk into slab c/w jetting eye. Sovereign CDM 20 floor membrane/50mm Recticel floor insulation board/63mm screed with light A192 mesh reinforcement. Adjust spec to suit existing foundation levels eg. omit hardcore & add well rammed earth. NB. All Sovereign installations to be in accordance with manufacturers detailed drawings.

Extg brick lining wall removed from basement & prepare walls to receive Sovereign CDM8 damp proofing membrane tape sealed to floor membrane. All Sovereign products & installation to be as manufacturers recommendations and installation instructions. Fix 50mm x 50mm treated sw battens & 50mm ROCKWOOL rigid slab insulation. Vapour barrier. 12mm MR plasterboard & plaster skim coat. Fix 19 x 150mm ogee moulding timber skirting boards with proprietary fixitive (eg. Soudal Fixall).

New partition walls to be constructed as detail drawing 190.15  
Four panel door to stairwell to be 1/2 hour fire resisting with intumescent strips.

Existing inspection chamber to be fitted with double seal recessed cast iron frame & bolt down lid. Recess to be fitted with timber boards permanently secured. Ensure building owner is aware of the necessity to clear the silt bucket at regular intervals.

Existing timber staircase: string rotted where against wall. Carefully remove staircase to enable floor to be overhauled and staircase parts renewed as required. Re-fit staircase on completion of floor works. Treated timber frame support structure to staircase faced with 'V' jointed timber boards Class 1 surface spread of flame finished intumescent paint base coat/coats and flame paint top coat/coats, as manuf specification.

Ceiling. Existing insulation boards to be removed from ceiling. New installation as shown on 195.15 detail drawing. This is considered to be an improvement which increases the fire performance of the basement. The ceiling soffit assumes a greater fire resistance as the material is non combustible, it has been tested and achieved Euroclass A1/BS. 476 Part 4. As a building with a basement this alteration is considered to be impentive to the continued and future use of the building with regard to the safety of the occupants. Joists to be coated intumescent paint base coat/coats and flame paint top coat/coats, as manuf specification.

Proposed:

ALTERATIONS to  
SHIRLEY HOUSE  
SUNNY PLACE  
ROBIN HOOD'S BAY

Drawing:  
PLANS I as PROPOSED

Drawing No. 190/10  
Date: SEPTEMBER 2017  
Scale: 1/50

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Repair defective purlin at bearing.

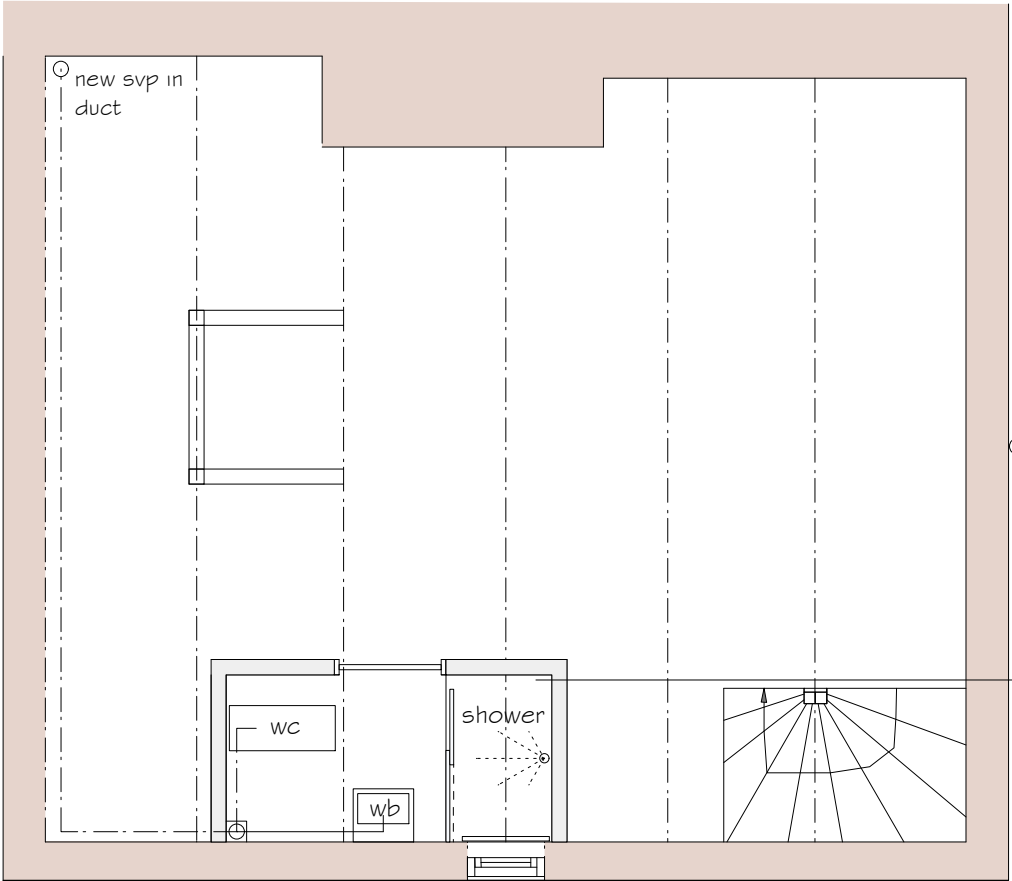
Existing lime plaster finish to be repaired or reinstated as site conditions dictate

Form new Shower Room: 50 x 75mm stoothing Rockwool Sound insulation between timbers. Vapour barrier to Shower Room side & finish 210mm t&g 'V' boards both sides. Finish with fire paint to provide Class O according to Building Regulation standards. 762mm 4 panel door to match existing elsewhere on pocket door track. Sanitary appliances connected as shown.

Shower cubicle: 12.5mm plywood wall face wetwall boards over. Waterproof floor tanking system such as manufactured by WEDI.

Where walls required to be tiled install proprietary tile backer board. Hentage: this is reversible and since it would be plugged & screwed to the structure, it would not cause immense harm.

# ATTIC



Remove lath & plaster ceiling.  
Existing construction appears to be: Tiles on battens on lath & plaster torching.  
For the purposes of this project it is considered that the lath & plaster torching is a breathable construction and will act much in the same way as a breathable membrane. It must be borne in mind that until the torching can be confirmed to be in complete repair, some water ingress may be expected.  
Improvement:  
Fit 50mm Rockwool thermal insulation between rafters allowing 25mm air space between plaster/lath torching.  
Fix 20mm wood fibre boards (approx 160kg/m³) to underside of rafters & 10mm Lime Green Solo lime plaster coat.

Extg s/vp with new connection from shower.

GENERALLY:  
Treat all existing timbers against insect and fungal attack using proprietary contractor.

Where existing floor boards are perished fit fillets to repair. Where larger sections are to be removed, replace board to span min of 3no joists.

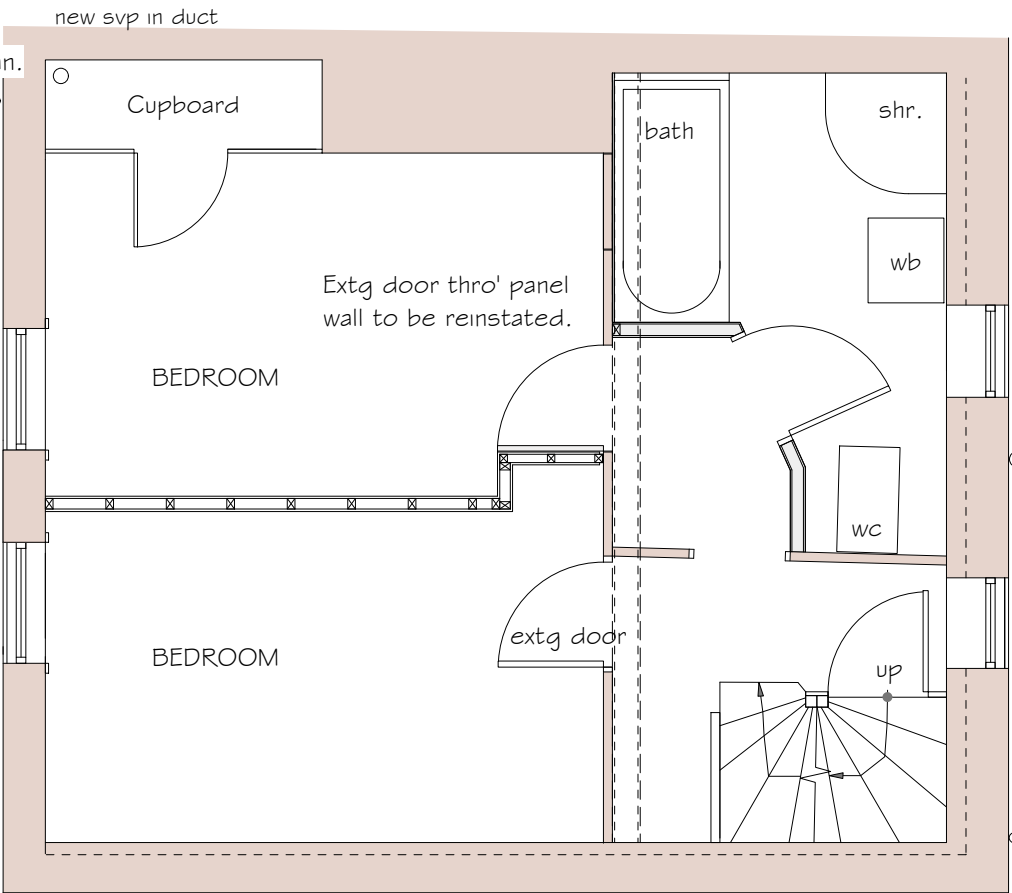
Existing rwp overhauled as note ground floor plan.

New partition wall constructed 50 x 75mm stoothing. Rockwool sound insulation batts between timbers.

Existing skirting boards replaced with 19mm thick Georgian section.

Existing dry lining to first floor walls to be overhauled. Remove any rotted timbers. Add moisture resistant insulation. Vapour barrier. Plasterboard & skim coat as existing.

# FIRST FLOOR



Existing bathroom tiling to be removed. Adjust/renew tile backer board to 1.35m above floor level & tile finish as Client directs.

Existing stonework above finished lime plaster. Water based emulsion finish.

New partition to Bathroom/Lobby constructed 50 x 75mm stoothing with Rockwool Sound insulation between timbers. Vapour barrier to bathroom side & finish 210mm t&g 'V' boards both sides. Finish with fire paint to provide Class O according to Building Regulation standards. 762mm 4 panel door to match existing.

Connect sanitary appliances to extg s/vp.

All areas: repair worm attacted floor boards with fillets. Board or repair to span min 3no joists.

Extg rwp

Proposed:

ALTERATIONS to  
SHIRLEY HOUSE  
SUNNY PLACE  
ROBIN HOOD'S BAY

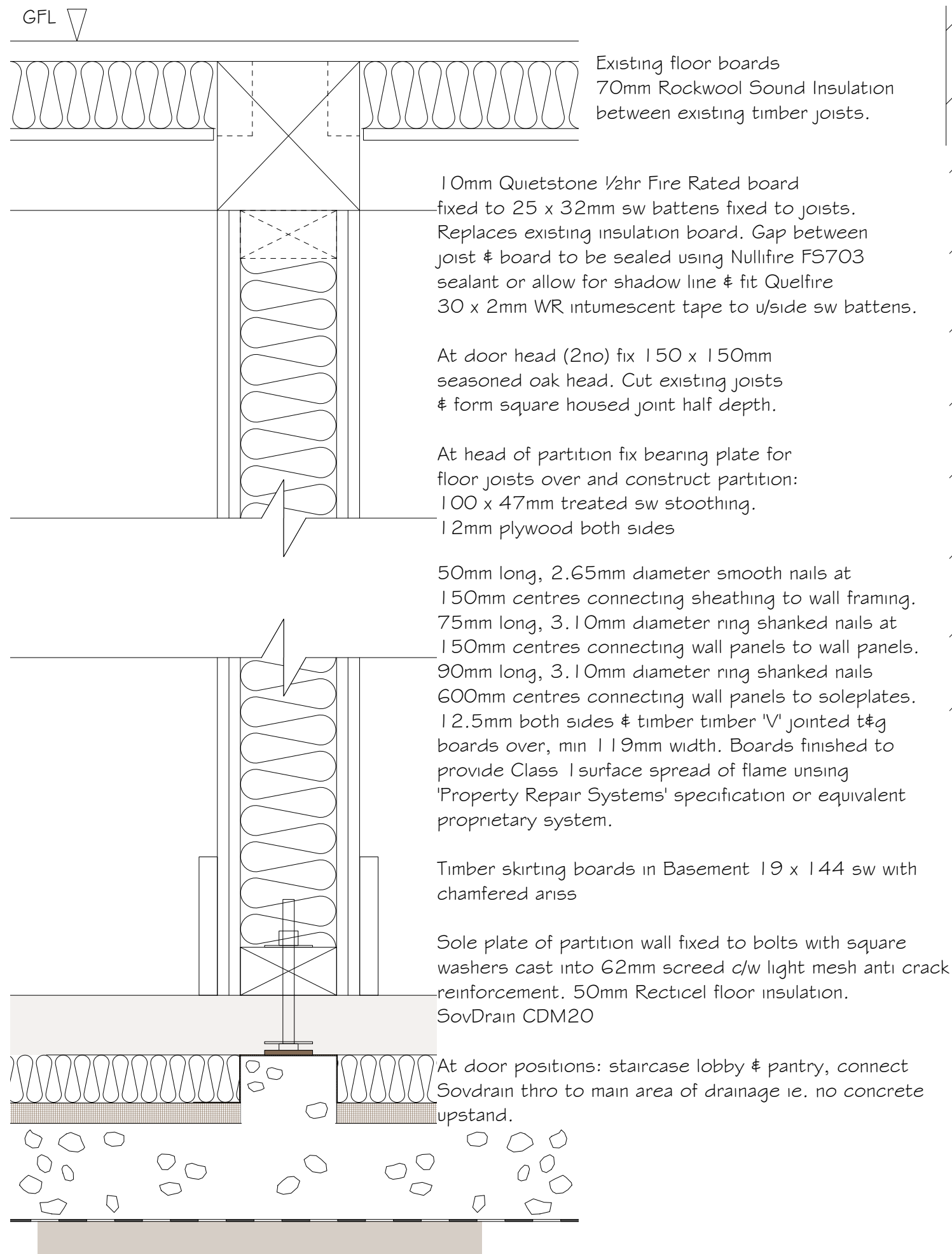
Drawing:  
PLANS II as PROPOSED

Drawing No. 190/11  
Date: SEPTEMBER 2017  
Scale: 1/50

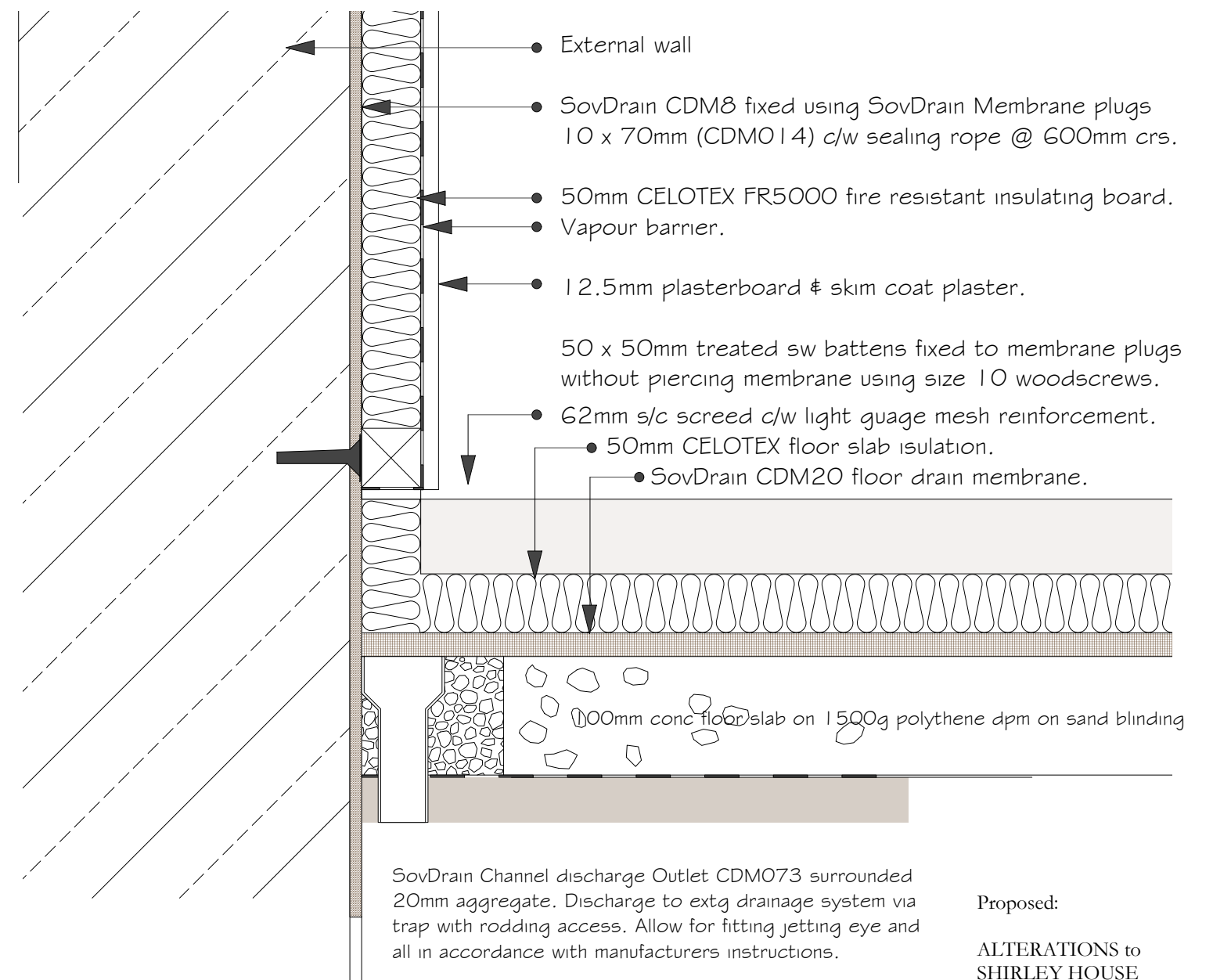
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BASEMENT: SECTION thro' STRUCTURAL PARTITION



SECTION thro' BASEMENT FLOOR

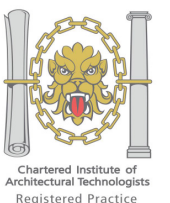
Proposed:

ALTERATIONS to  
SHIRLEY HOUSE  
SUNNY PLACE  
ROBIN HOOD'S BAY

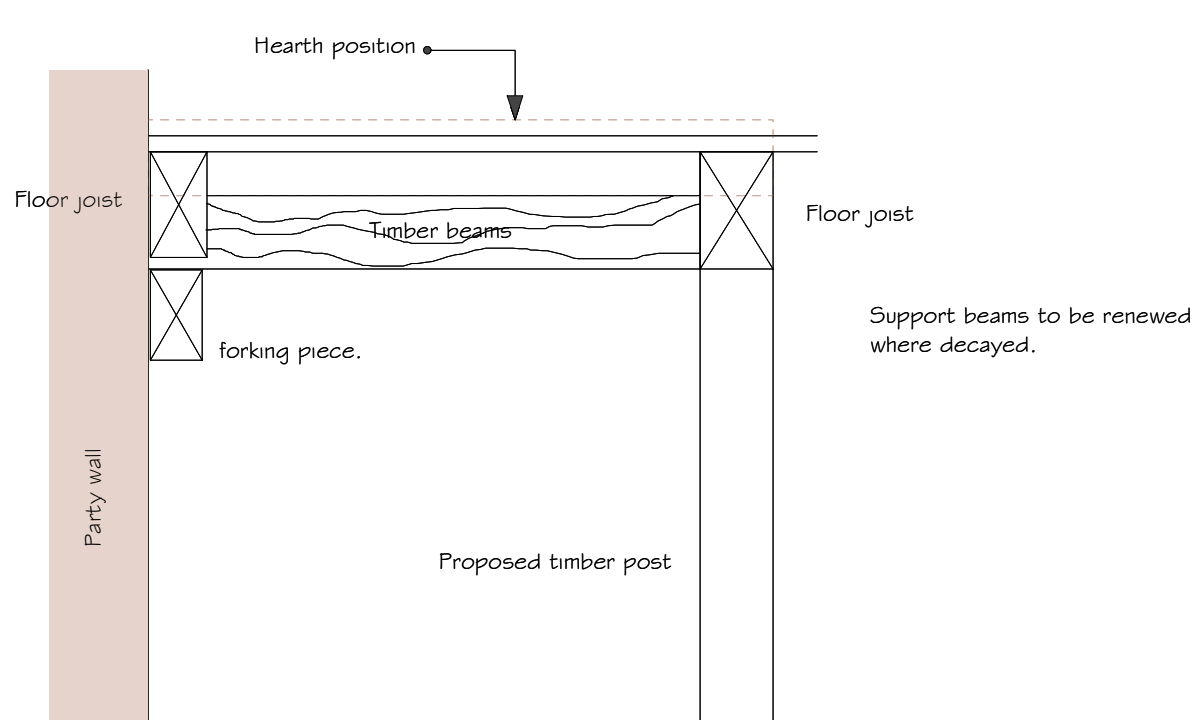
Drawing:  
BASEMENT FLOOR &  
WALL DETAILS

Drawing No. 190/15  
Date: SEPTEMBER 2017  
Scale: 1/5

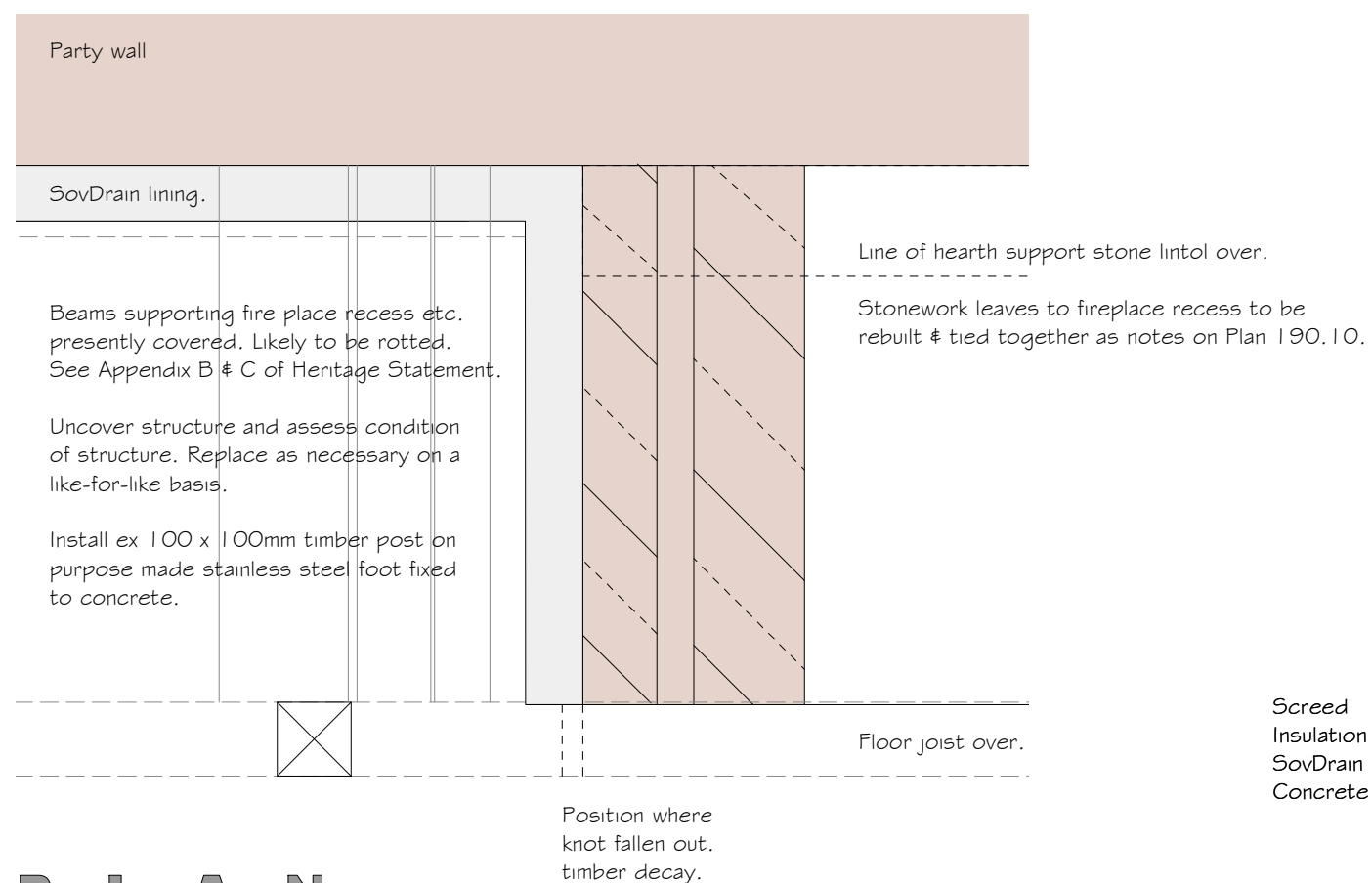
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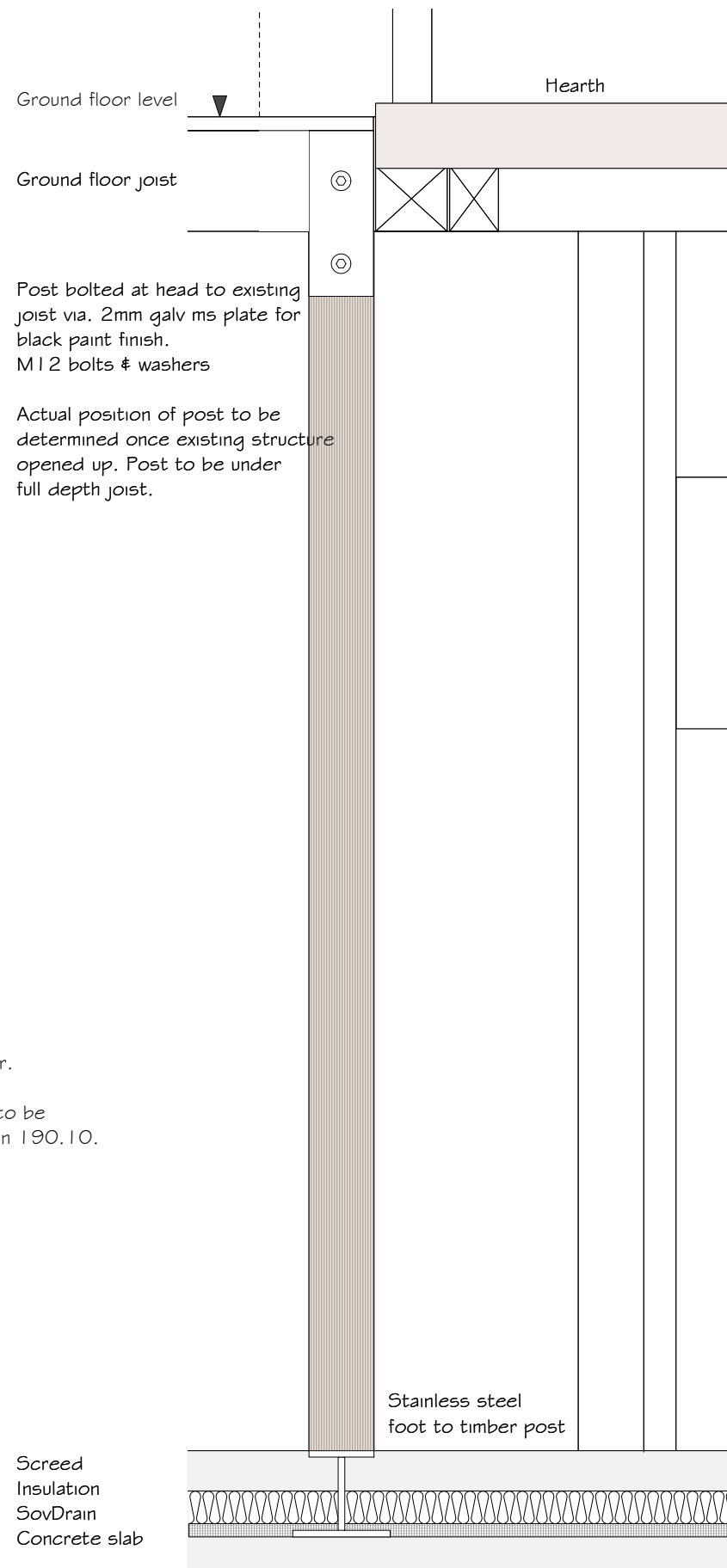
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## S E C T I O N



## P L A N



## E L E V A T I O N

Proposed:

ALTERATIONS to  
SHIRLEY HOUSE  
SUNNY PLACE  
ROBIN HOOD'S BAY

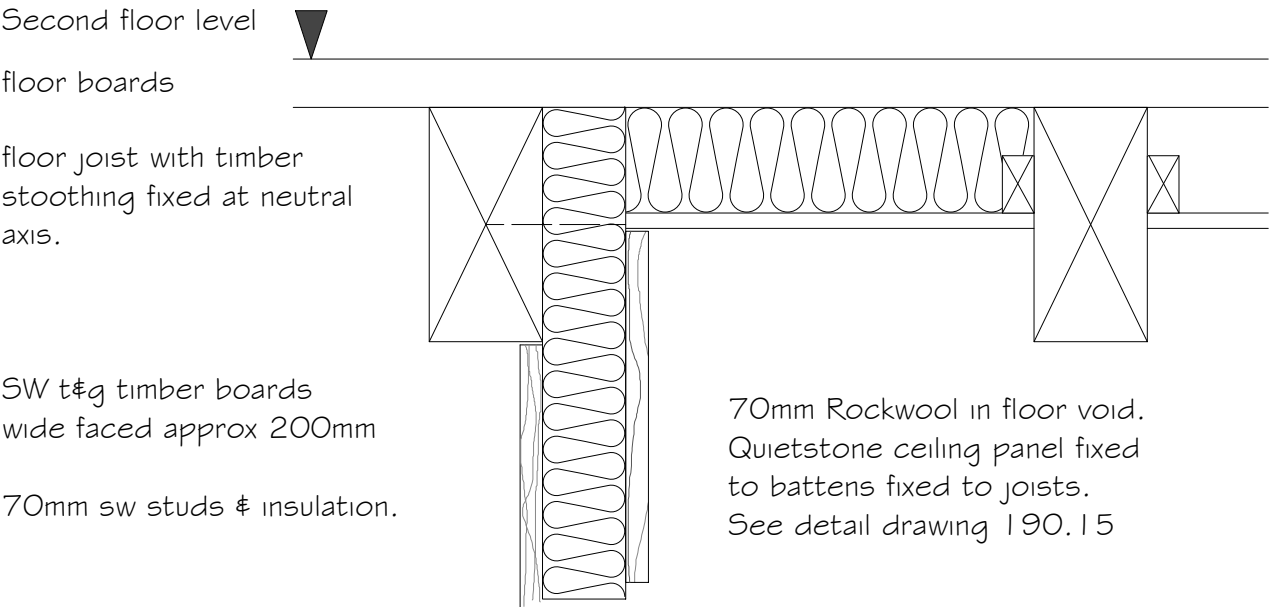
Drawing:  
BASEMENT STRUCTURE  
SUPPORT POST to FFL.

Drawing No. 190/16  
Date: SEPTEMBER 2017  
Scale: 1/5

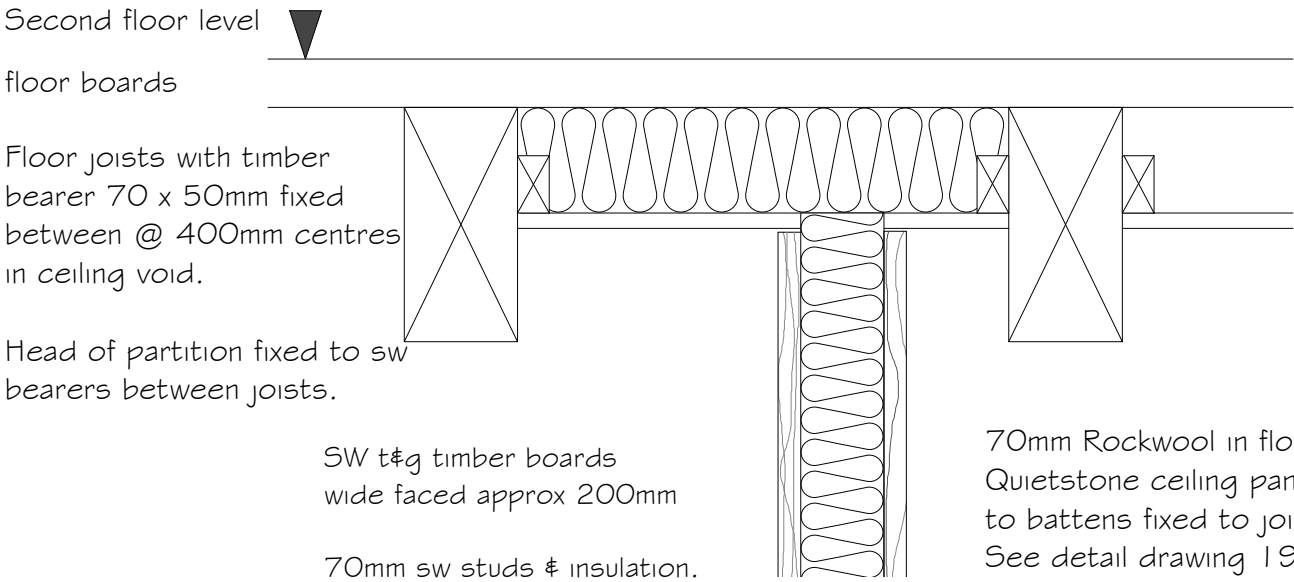
MICHAEL MILLER  
BA(Hons) ARCH. CIAT  
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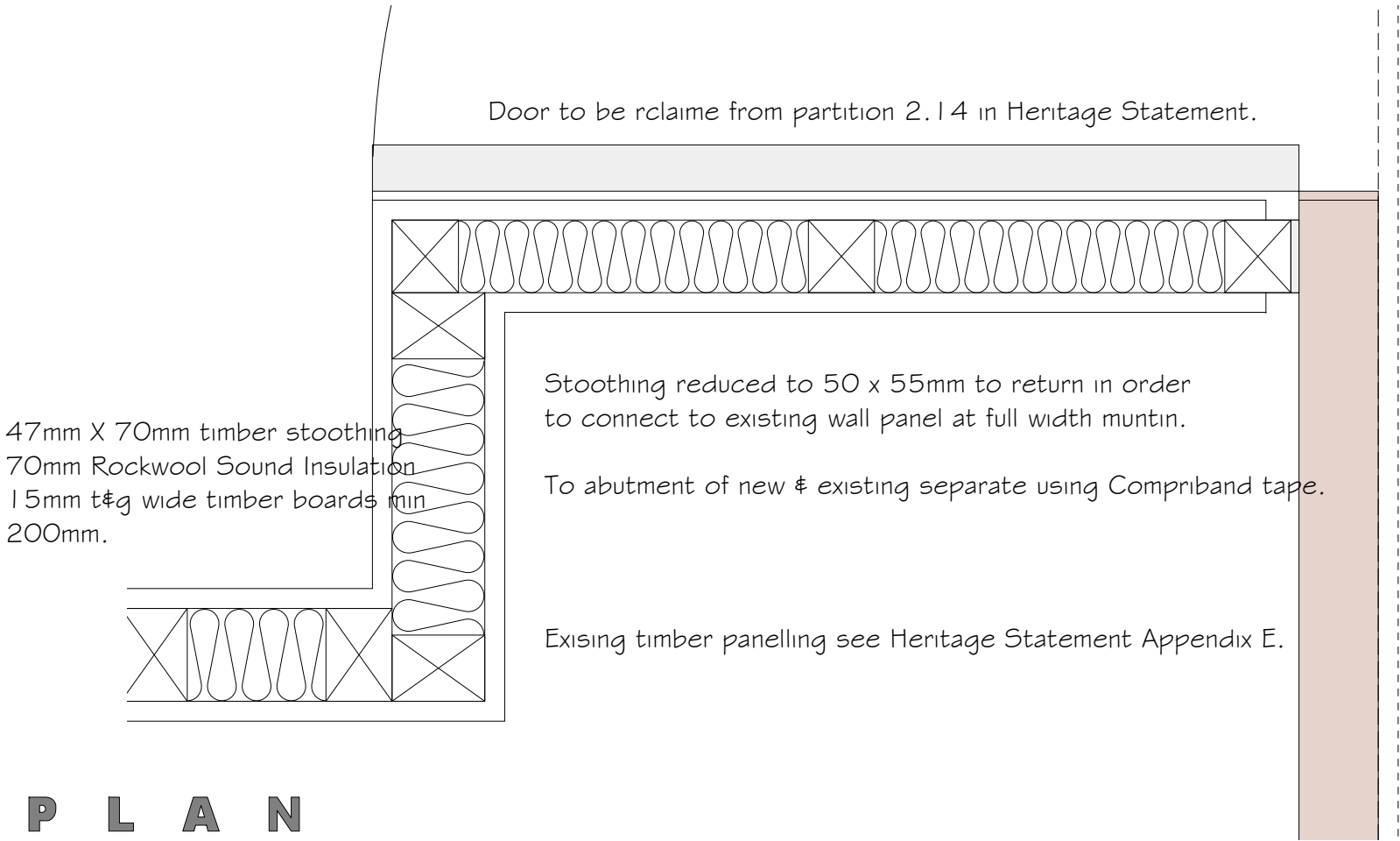
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# DETAIL ADJACENT DOOR



# GENERAL DETAIL



# PLAN

Proposed:

ALTERATIONS to  
SHIRLEY HOUSE  
SUNNY PLACE  
ROBIN HOOD'S BAY

Drawing:  
FIRST FLOOR PARTITION.

Drawing No. 190/17  
Date: SEPTEMBER 2017  
Scale: 1/5

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Existing panelled partition load near centre joists.

First Floor Level

Floor boards

Rockwool insulation  
Quietstone board ceiling

Floor joists

Architrave to Sitting Room/rear Hall door.

Door height 1.86 metres.

Existing partition face of lath & plaster  
retained to Sitting Room side.

Existing partition to Rear Hall side  
to be retained where possible.

Shaded area shows notching  
required to existing joists.  
NB. Maximum notch BS. 5268 =  $h/2$ .  
This has been reduced to  $h/1.6$  to:  
1. To allow for age of timber thus reduced stress.  
2. To minimise harm to historic fabric.  
3. Minimum realistic to maintain headroom.  
(equivalent to above door top rail).

Serial size: 152 x 152 x 37kg UC.  
Size for detailing & installation depth 161.8mm width 154.4mm.  
Fire protection 15mm Fermacell board.  
Where exposed in Sitting Room apply 15mm timber board  
panels with rounded moulding to bottom panel edges.

Second Floor Level

Floor boards

Floor joists

Ceiling board

Panel fascia board.

Panelling see  
Appendix E of  
Heritage Statement.

Serial size: 152 x 152 x 37kg UC.  
Size for detailing & installation depth 161.8mm width 154.4mm.  
Fire protection 15mm Fermacell board.  
Painted finish.

F I R S T F L O O R  
B E A M D E T A I L

S E C O N D F L O O R  
B E A M D E T A I L

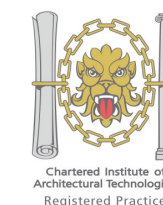
Proposed:

ALTERATIONS to  
SHIRLEY HOUSE  
SUNNY PLACE  
ROBIN HOOD'S BAY

Drawing:  
FIRST & SECOND FLOOR  
BEAM INSTALLATION.

Drawing No. 190/18  
Date: SEPTEMBER 2017  
Scale: 1/5

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