

### Amendments/Additional Information

- Amended layout of buildings/outside areas
- Additional background information
- Amended design
- Revised access arrangements
- Change of description of proposed development
- Change in site boundaries
- Other (as specified below)

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**From:** [Hilary Saunders](#)  
**To:** [Planning](#)  
**Subject:** FW: NYM/2017/0781/FL  
**Date:** 07 December 2017 15:18:07  
**Attachments:** [PD238-01-B.pdf](#)  
[PD238-02-B.pdf](#)  
[PD238-03-A.pdf](#)

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**From:** Richard Webster  
**Sent:** 07 December 2017 15:16  
**To:** Hilary Saunders  
**Subject:** RE: NYM/2017/0781/FL

Afternoon Hilary,

Please find attached revised drawings following your letter dated 24<sup>th</sup> November 2017.

I believe the amended drawings address your concerns;

1. The depth of the dwelling has been reduced by 1m with the length increased by 0.25m. This has created a more rectangular footprint.
2. The first floor windows have been reduced in size from the previous scheme.
3. The brickwork detailing has been removed and replaced with stone.
4. A centralized front door has been added to the front (south) elevation.
5. The window layout to the North elevation has been amended.

I hope these amendments are sufficient for a positive outcome, but should you have any further issues please don't hesitate to contact me.

Kind regards,

Richard Webster BSc (Hons) Arch Tech

Prospect Design  
24 Orchard Road  
Malton

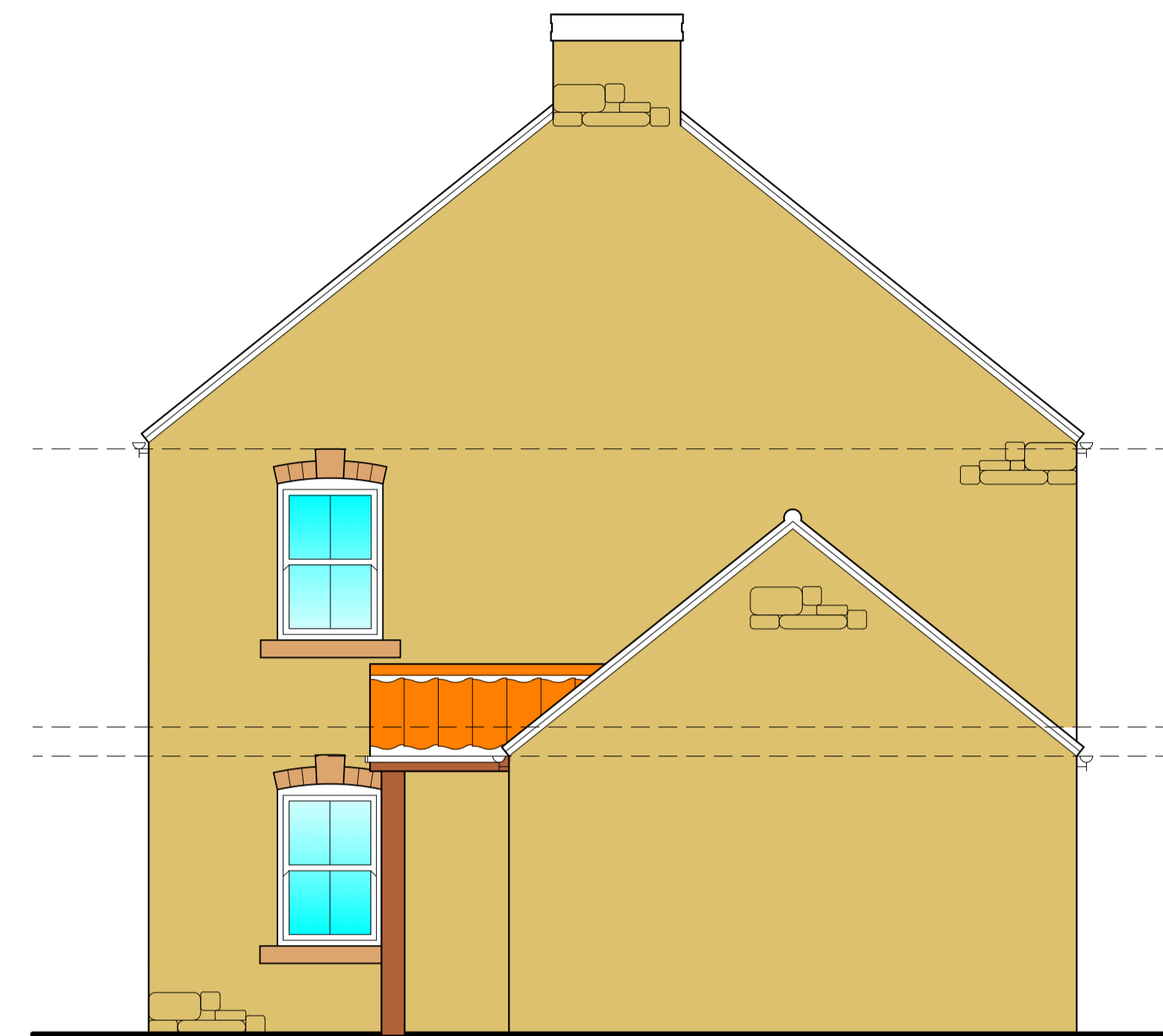
AMENDED

NYMNPA

07/12/2017



**AS PROPOSED NORTH ELEVATION**  
(Scale 1:50)



**AS PROPOSED EAST ELEVATION**  
(Scale 1:50)



**AS PROPOSED SOUTH ELEVATION**  
(Scale 1:50)



**AS PROPOSED WEST ELEVATION**  
(Scale 1:50)

**Notes**

Do not scale from this drawing or consider any dimension to be accurate.

In the event of any discrepancy being found, these should be brought to the attention of the Prospect Design for further instruction.

This drawing is for Planning purposes only and is not to be considered a construction or setting out drawing.

North Point shown approximately.

The proposed layouts are subject to the following, although not exhaustive;

1. Structural Engineers Requirements.
2. Mechanical and Electrical Engineers Requirements.
3. Drainage Requirements.
4. Planning approvals.
5. Building Regulations approvals.

B	Amended following client comments	R.W.	07.11.17
A	Amended following planning officer comments	R.W.	28.11.17
REV	AMENDMENT	DRAWN	DATE

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS

**PROSPECT DESIGN**  
Architectural Services

64 Newbiggin, Malton, N Yorks, YO17 7JF

Client  
LOW PASTURE VILLA FARM  
PASTURE ROAD  
LOCKTON  
PICKERING, YO18 7NU

Job Title  
PROPOSED NEW AGRICULTURAL  
WORKERS DWELLING

Drawing Title  
AS PROPOSED ELEVATIONS

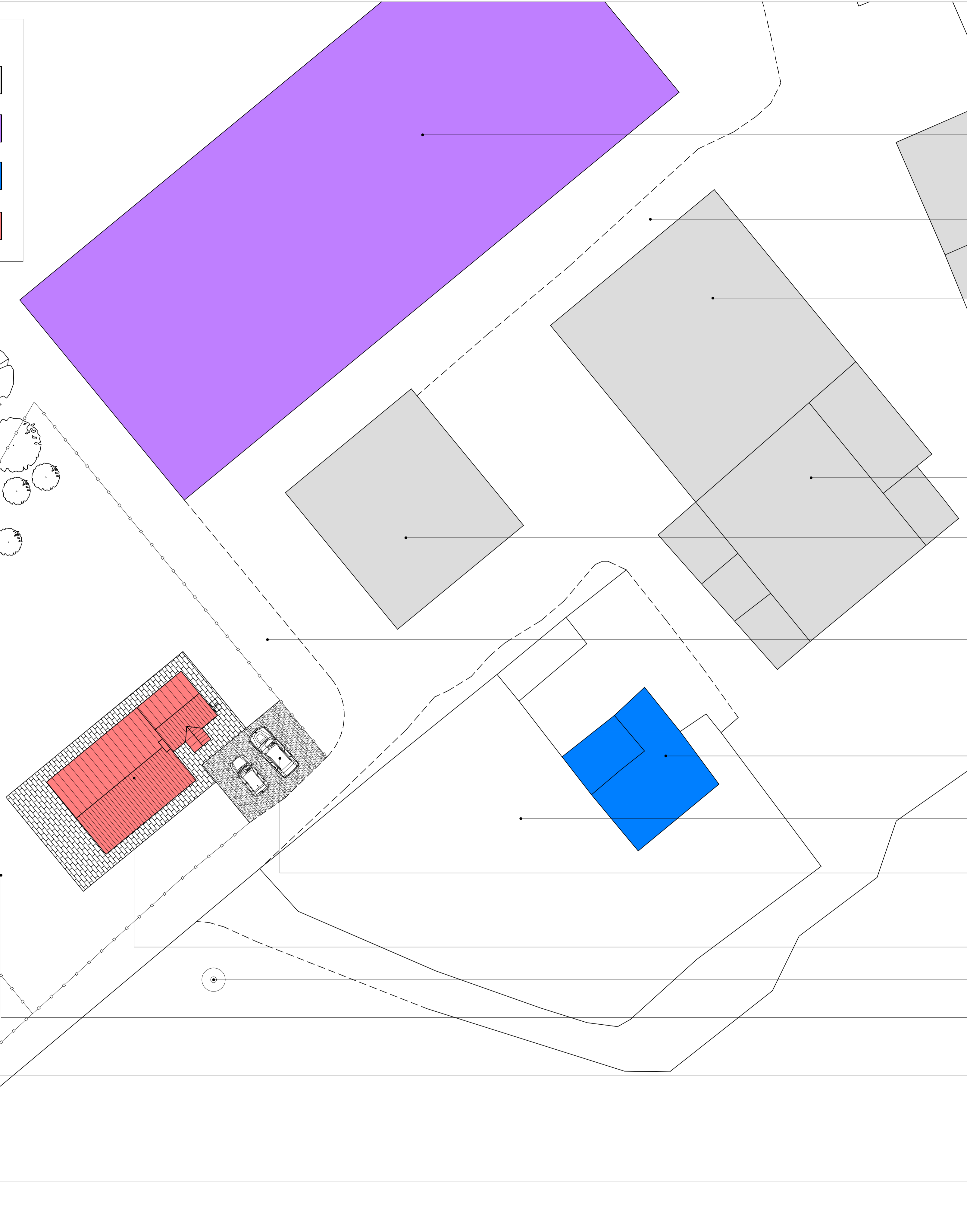
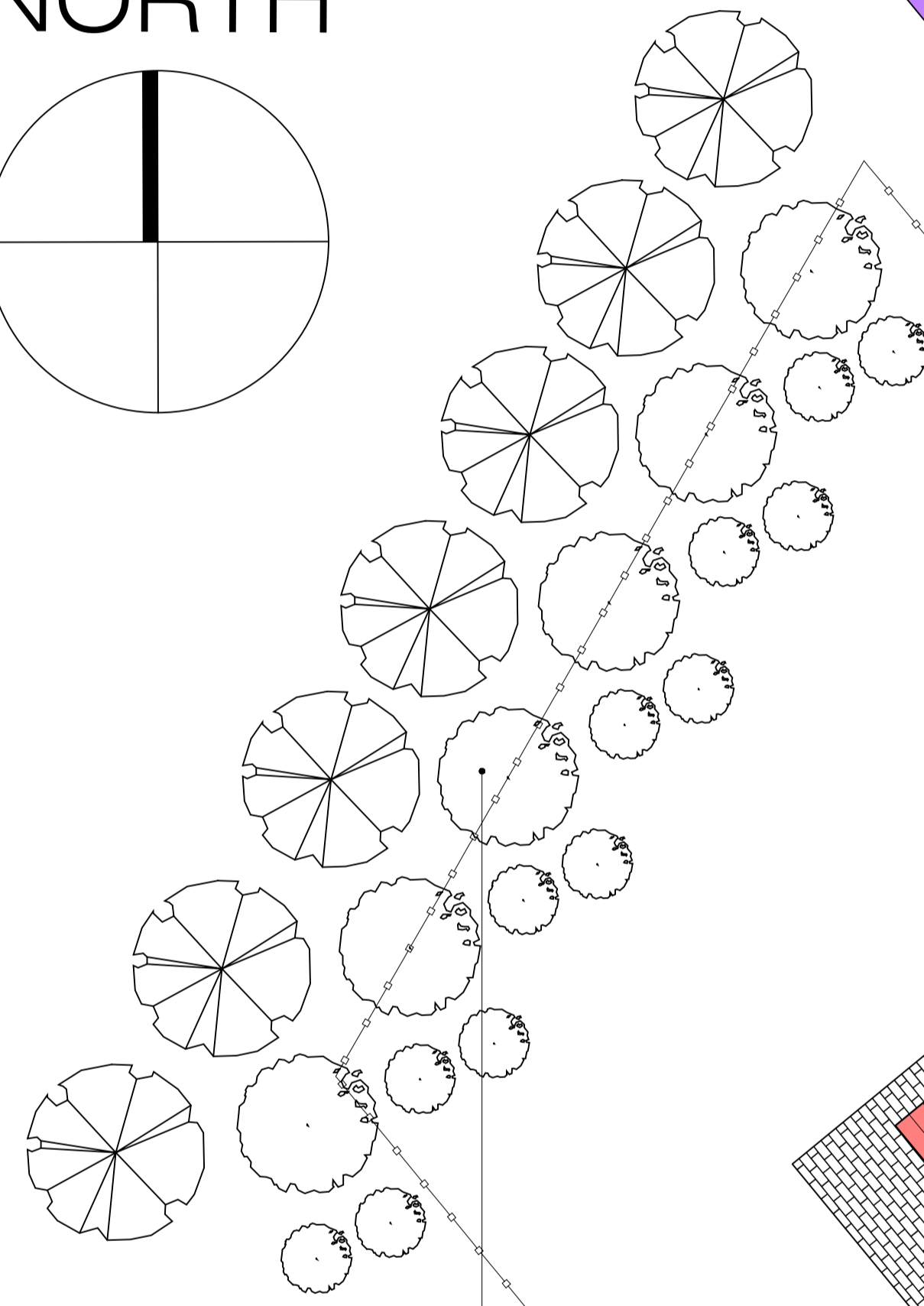
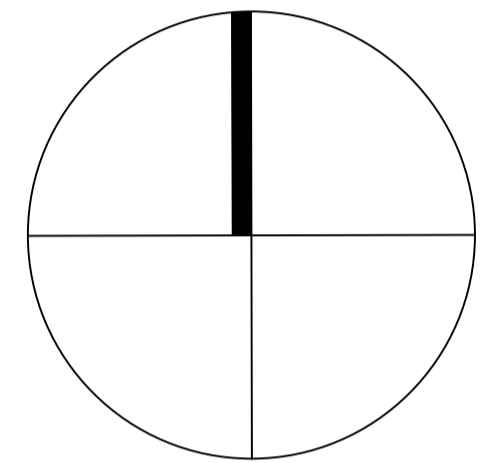
Scale	1:50 @ A1	Drawn	R.W.
Date	30.10.2017	Checked	--

Drawing Number  
PD229-02-B

**KEY**

- Existing buildings
- Buildings approved under application YM/2017/0329/FL
- Existing farmhouse
- Proposed agricultural workers dwelling

**NORTH**



- New livestock building currently under construction refer to planning application; NYM/2017/0329/FL
- Existing access road
- Existing farm buildings
- Existing farm buildings
- Existing farm buildings
- Existing farm buildings
- Proposed access road to new livestock building
- Existing farmhouse
- Existing farmhouse amenity space
- Car parking for new agricultural workers dwelling
- Proposed new agricultural workers dwelling
- Notional location of septic tank (TBC with building control on site)
- Amenity space for proposed new agricultural workers dwelling
- Trees planted to provide screening
- Agricultural grazing

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 64 Newbiggin, Malton, N Yorks, YO17 7JF

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**LOW PASTURE VILLA FARM**  
 PASTURE ROAD  
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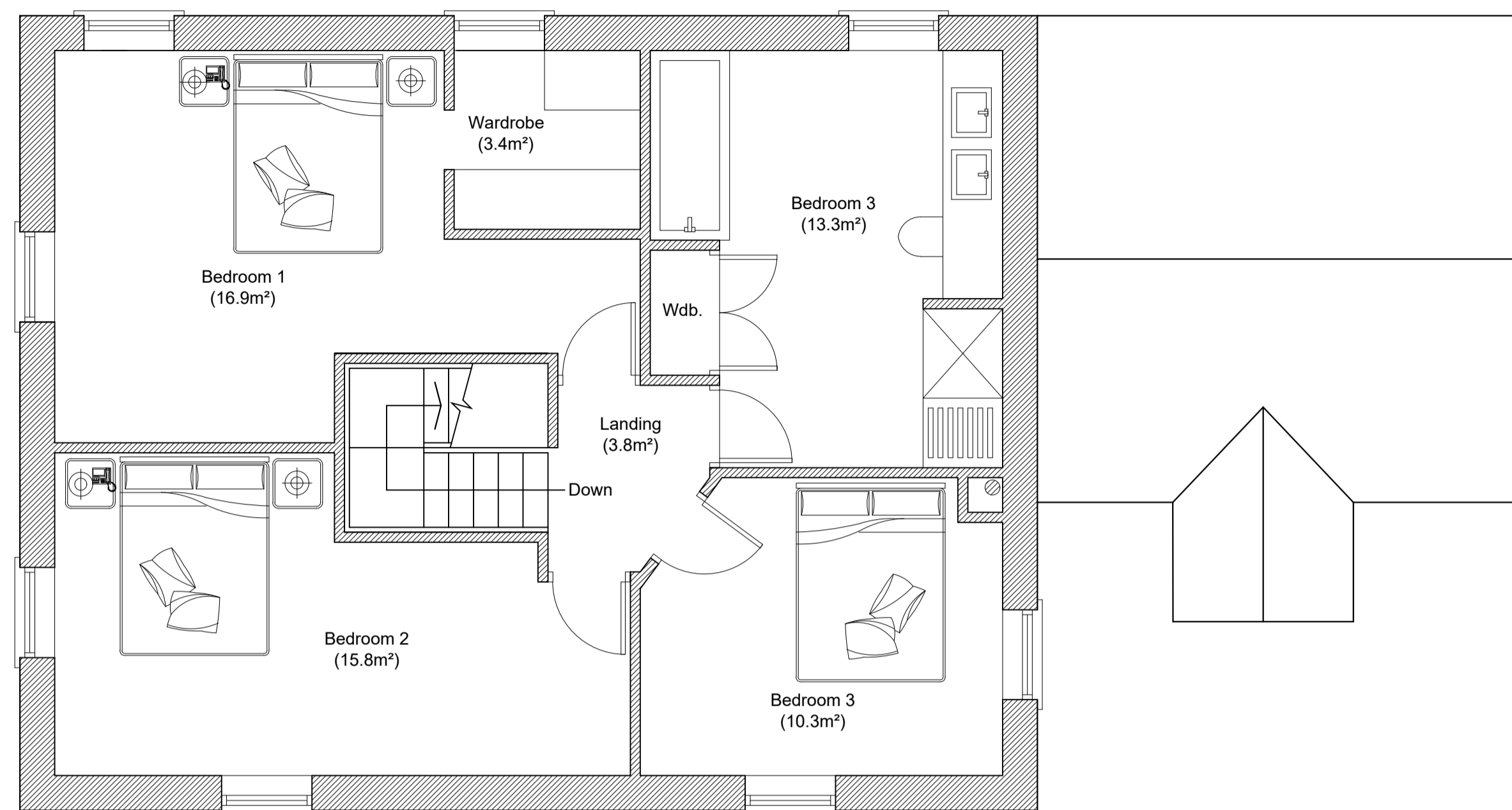
Job Title  
**PROPOSED NEW AGRICULTURAL WORKERS DWELLING**

Drawing Title  
**AS PROPOSED SITE BLOCK PLAN**

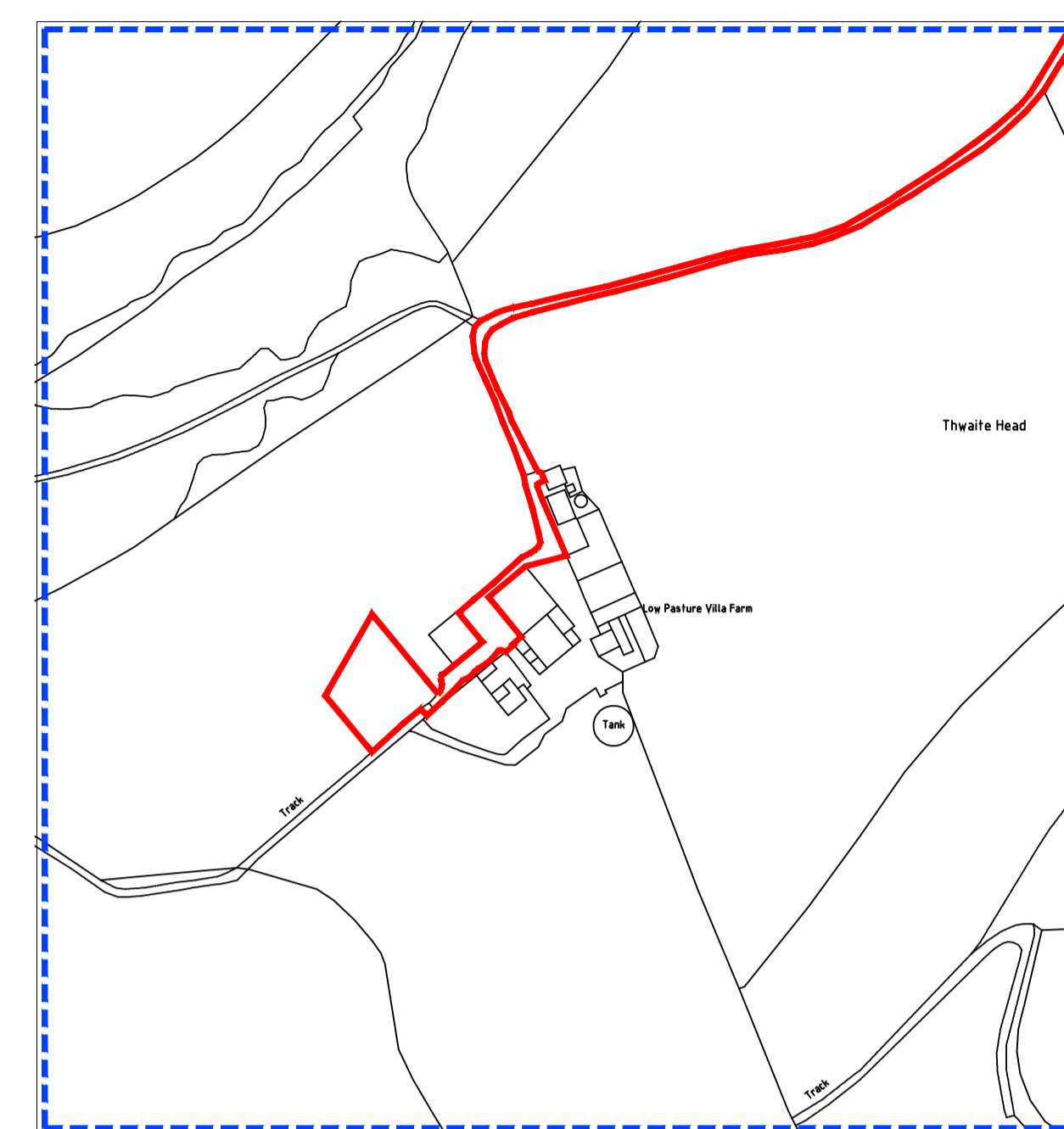
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Date	30.10.2017	Checked	--

Drawing Number **PD229-03-A**

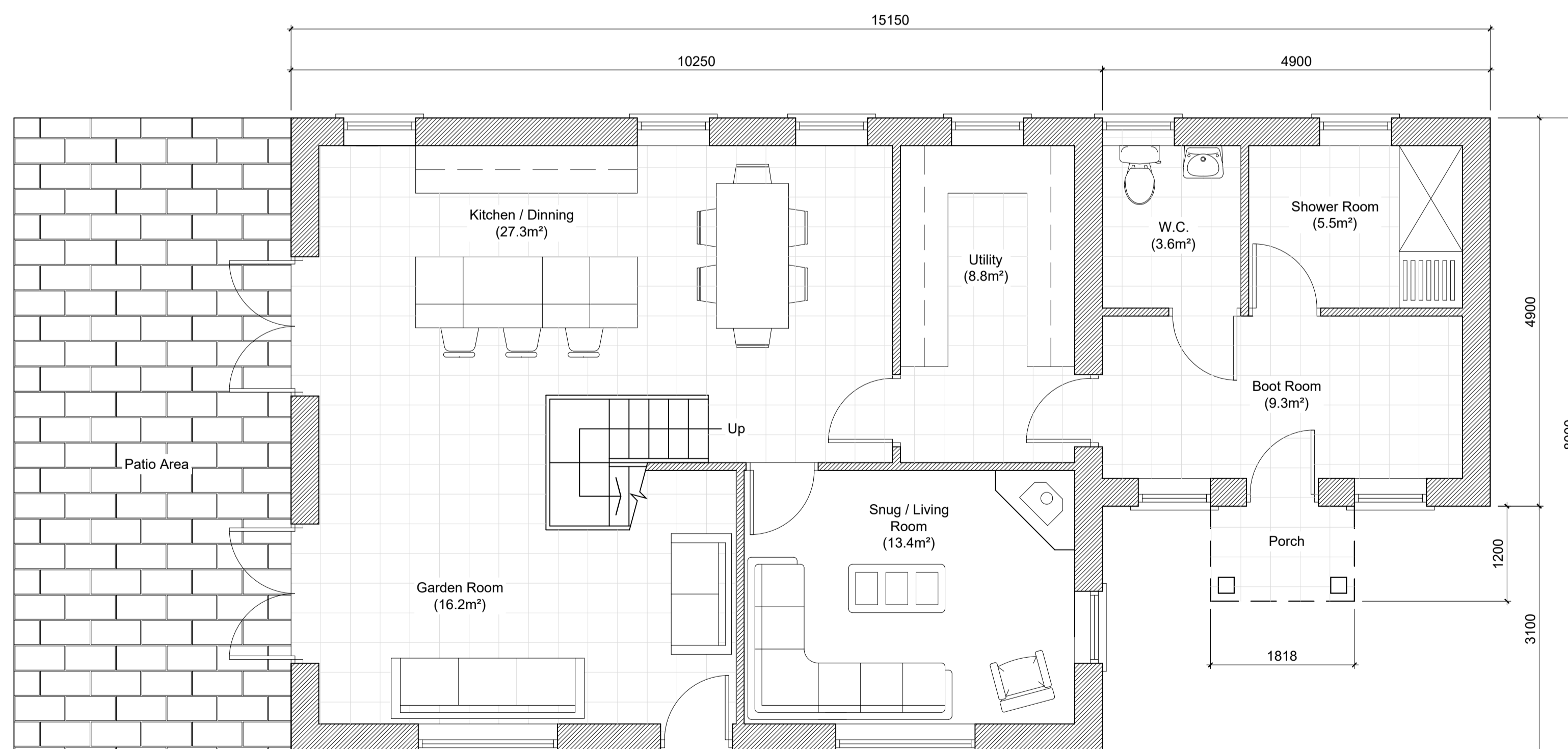
**SITE BLOCK PLAN**  
 (Scale 1:200)



**AS PROPOSED FIRST FLOOR PLAN**  
(Scale 1:50)



**OS SITE LOCATION PLAN**  
(Scale 1:2500)



**AS PROPOSED GROUND FLOOR PLAN**  
(Scale 1:50)

**NOTES**

PROPOSED NEW DWELLING  
FOOTPRINT = 106m<sup>2</sup>

PROPOSED GROSS INTERNAL  
FLOOR SPACE = 160m<sup>2</sup>

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LOCKTON  
PICKERING, YO18 7NU

Job Title  
PROPOSED NEW AGRICULTURAL  
WORKERS DWELLING

Drawing Title  
**AS PROPOSED FLOOR PLANS**

Scale	1:50 @ A1	Drawn	R.W.
Date	30.10.2017	Checked	--

Drawing Number  
**PD229-01-B**