



North York Moors National Park Planning Application Form

Please read the booklet
How to fill in your Planning Application
before completing this form.

For office use only

Ref: NYM/ 2007 / 0146 / FL
Admin Ref: 07/146
Date valid: _____
Grid ref: _____

PT1

SECTION 1 YOUR DETAILS

1. Applicant

Name MR. S. WORDSWORTH

Address C/O AGENT

Post Code _____

Tel No _____

2. Agent

Name JOHN M. HUNT DipTP MURTP

Address HILLTOP COTTAGE
HOLLINGWORTH LANE
EPWORTH. NTH. Lincs.

Post Code DN9 1EY

Tel No 01427 873466

3. Applicant's interest in the land

OWNER

SECTION 2 YOUR PROPOSAL

4. Full postal address or location of the application site

SLEDGATES, FYLINGTONHOPE IN PA

20 FEB 2007

5. Applicant's interest in adjoining land

OWNER OF LAND TO REAR

6. Brief description of proposed development

ERECTION OF 2 NO. DETACHED HOUSES
WITH GARAGES & FORMATION OF NEW ACCESS

SECTION 3 YOUR APPLICATION

7. Type of application (please tick ONE box only)

- A. Full application including building works
- B. Application for change of use (no building works)
- C. Outline application
- D. Reserved matters application
- E. Removal or variation of condition
- F. Renewal of temporary permission

go to Question 12
go to Question 12
go to Question 8
go to Question 9
go to Question 10
go to Question 11

8. Outline Application

What is the area of the site? _____

Please tick those details which you wish the Planning Committee to consider formally at this stage.

Siting Design External appearance Means of access Landscaping None

go to Question 12

9. Reserved Matters Application

Date of outline permission

Application No

Please tick those details which you wish the Planning Committee to consider formally at this stage.

Siting Design External appearance Means of access Landscaping

go to Question 12

10. Removal or variation of condition

Date condition imposed

Application No

Condition No

go to Question 12

11. Renewal of temporary permission

Date permission granted

Application No

12. Use

What is the building / land used for at present?

If it is unused at present, what was its last use?

and on what date did it stop being used for this? (if known)

AGRICULTURE

13. Access

Does your proposal require new or altered access? YES / ~~NO~~ (delete as appropriate)

If YES, please tick the relevant boxes:

New access to a road: Vehicular, Pedestrian; Altered access to a road: Vehicular, Pedestrian

NYMNP A 20 FEB 2007

14. Water Supply and Drainage

Please state (Please tick one box in each section) the method of:

Water Supply: Mains, Private; Surface Water Disposal: Public Surface Water Sewer, River/Stream, Soakaway, Other; Foul Sewage: Public Foul Sewer, Septic Tank, Cesspit, Other

Note: If foul drainage is not to be via a public foul sewer, a drainage assessment will be required. Please see Question 14 in the accompanying booklet.

15. Trees

Does the application involve: Felling or lopping trees / hedgerows YES / ~~NO~~; Planting trees YES / ~~NO~~

16. Materials

Walls: RECLAIMED STONE (IF SUITABLE TYPE AVAILABLE); Roof: RECLAIMED PAN-TILES (IF SUITABLE TYPE AVAILABLE)

17. Is your application for business, retail or other commercial use?

YES / ~~NO~~ (delete as appropriate); If YES please complete Questions 18 - 23 of Section 4 on page 4 of this form

SECTION 5 WHAT YOU NEED TO INCLUDE WITH YOUR APPLICATION

24. Plans

Please list below the plans which will accompany this application.

FLOOR PLANS, ELEVATIONS, SITE PLAN, SURVEY PLAN, LONGITUDINAL AND CROSS SECTIONS OF SIGHT LINE

25.

Certificate of Ownership and Agricultural Holdings Certificate 2007 / 0146 / F B

You are required by law to complete either Certificate A or Certificate B (Ownership and the Agricultural Holdings Certificate). It is an offence knowingly to make a false declaration.

CERTIFICATE OF OWNERSHIP : A

Complete if you are the owner of the building / land, along with Agricultural Holdings Certificate below.

I certify that: On the 21 days before the date of the accompanying application nobody, except the applicant, was the owner of any part of the land to which this application relates.

Signed: (Agent); On behalf of: (Applicant); Date

CERTIFICATE OF OWNERSHIP : B

Complete if you do not own any or all of the building / land, along with Agricultural Holdings Certificate below.

I certify that: I have /the applicant has given the requisite notice to everyone else who, on the 21 days before the date of the accompanying application, was the owner of any part of the land to which the application relates, as listed below.

Owner's name, Address at which notice served, Date on which notice was served, Signed: (Applicant/Agent); On behalf of: (Applicant); Date

NYMNP A 20 FEB 2007

AGRICULTURAL HOLDINGS CERTIFICATE

This section MUST be completed. Delete either A or B and complete C.

A. I certify that none of the land to which this application relates is, or forms part of, an agricultural holding. B. I have/the applicant has given requisite notice to every person other than myself/himself who, 20 days before the date of the application was a tenant of any agricultural holding any part of which was comprised in the land to which this application relates:

Name of tenant, Address, Date notice was served, C. Signed: (Applicant/Agent); On behalf of: (Applicant); Date

26.

I / ~~we~~ hereby apply for planning permission or approval of reserved matters as described in this application and the accompanying plans. I / ~~we~~ attach:

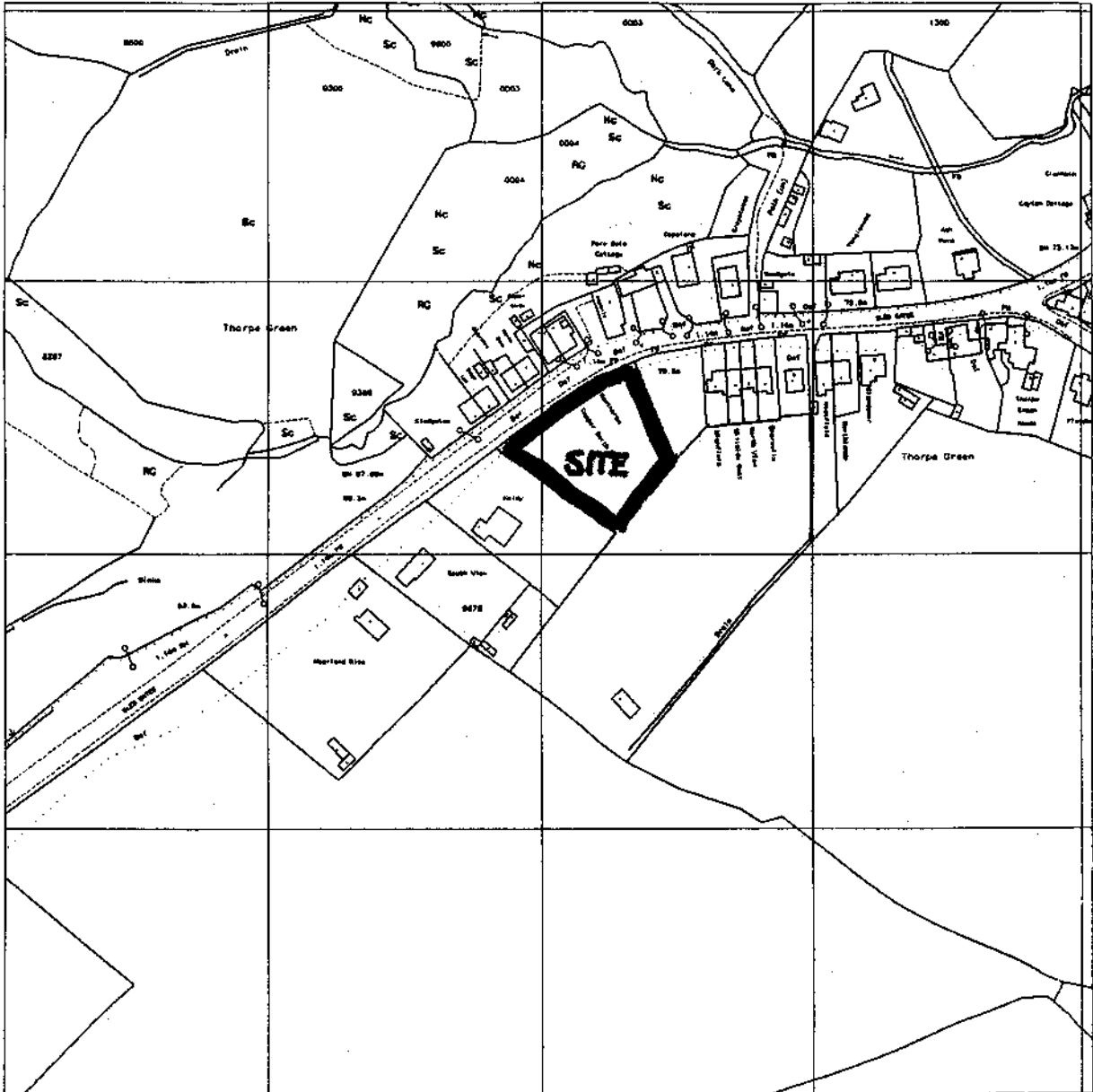
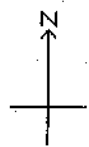
- the necessary plans, numbered JMH / SW / 01, 02, 03, 04, 05, 06, 07
- completed, dated and signed Certificate of Ownership (A or B above)
- completed, dated and signed Agricultural Holdings Certificate
- the fee of £530 by cheque. NO A/R/R/P/W/S/...
Signed: (Applicant/Agent); On behalf of: (Applicant); Date

* delete where appropriate

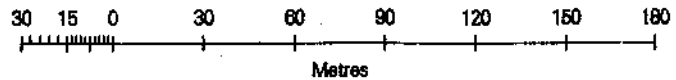


Siteplan®

LOCATION PLAN 1461 FL
 ERECTION OF 2 DETACHED
 HOUSES, SLED GATES
 FYLINGTHORPE for
 MR. S. WORSWORTH 1:2500 Scale



Produced 18 May 2003 from Ordnance Survey digital data and incorporating surveyed revision available at this date. © Crown Copyright 2003.



Reproduction in whole or in part is prohibited without the prior permission of Ordnance Survey.

Ordnance Survey and the OS symbol are registered trade marks and Siteplan a trade mark of Ordnance Survey, the national mapping agency of Great Britain.

NYMNP
 20 FEB 2007

Centre Coordinates: 494004 504803

National Grid sheet reference at centre of this Siteplan: N29404

Supplied by: Blackwells
 Serial Number: 00003375



DESIGN AND ACCESS STATEMENT

This statement has been prepared to support the planning application referred to below having regard to the provisions of Article 4C of the Town & Country Planning General Development Procedure Order 1995 as amended. This statement is to be read in conjunction with the submitted detailed plans.

Application: The erection of two detached houses with garages and the formation of a new access on approx. 0.3ha of land on the south side of Sledgates, Fylingthorpe

Background

The planning application now submitted follows from two previous applications that were refused respectively in August 2005 and November 2006. The first application proposed, after amendment, to erect two pairs of semi-detached houses with garages and the second application proposed the erection of two detached houses with garages. Both applications involved, as now, the formation of a new access driveway to the standards required by the Highway Authority.

The first application was refused for the harm that it was perceived would be caused to the character and appearance of what was referred to as "...this important gateway site...". The Planning Officer's report accompanying the recommendation for refusal made it clear, as had a previous appeal Inspector's decision letter of 1987, that the site is to be regarded as an "infill" site and that the principal of developing this site for housing accords with current statutory planning policy.

The subsequent application addressed the issue of harm by reducing the number of dwellings proposed and by ensuring that the siting and design of the dwellings was very much in accord with the local vernacular. The access arrangements were changed to reflect the less intense form of development. However, the Highway Authority advised that it had doubts that the necessary sight line standards downhill from the new access could be achieved. As a result the application was again refused but solely on highway grounds.

Following the last refusal further information has been obtained from a new survey which has enabled more detail to be provided in relation to the proposed new access and its necessary sight lines. These details are set out on the submitted plans and represent the only change from the previous application.

Context

Physical – the site is located towards the south western end of Fylingthorpe on the south side of Sledgates – a "C" class road. The site slopes gently down in a north-easterly direction towards the centre of the village and the frontage is defined by a low bank faced with dry stone 'walling' and a low hedge on top. The existing agricultural access is at the south western end. The site has no other defining physical features. The village character is mixed, especially in the vicinity of the site, neither is the area designated in any special way e.g. conservation area.

NYMINPA

20 FEB 2007

Social – the previous applications have given rise to objections from several local residents and various grounds have been cited in support of these objections, some relating to planning issues, many not. Those objections make it obvious that no matter what steps the applicant took local opinions would not be changed. However, it is clear that the proposals do not give rise to any direct loss of amenity to any local resident through for example overlooking or overshadowing or direct loss to any visitor. A valid concern raised related to the access, visibility and general road safety. The current application meets the adopted standards of the Highway Authority. It also not only meets but improves upon the higher ad hoc standard set by the Highways Officer in relation to visibility downhill.

Planning Policy – it has been determined by the Planning Authority that this site falls to be considered in relation to Policy H2 of the adopted Local Plan and is to be judged as an “infill” site. This view is consistent with the findings of an Inspector who determined an earlier appeal on the site. The immediately preceding application has established that in terms of design the proposals are small in scale, make optimum use of the site and respect the character of the area in general and local distinctiveness in particular. The use is compatible with the area and a safe access can be provided. The proposals thus accord with other relevant policies i.e. BE12, GP3 and T7

The Development

Whilst Policy H2 of the Local Plan seeks to achieve the optimum use of the site and encourages smaller houses the previous refusal has indicated that compliance with this approach creates wider harm. As a result further discussions with the Planning Officer determined that the best solution would be the erection of two detached houses. This it is felt will retain a greater degree of openness, such as that associated with the existing dwellings to the west (uphill of the site), and help to balance the denser form of development on the opposite side of the road which tends to give a more urban feel to the locality.

This sense of openness is also enhanced by the fact that the proposed dwellings are set back between 9m and 15m from the road whilst the existing dwellings opposite the site are only 2m to 3m from the road. This very much looser form of development will also protect the opportunity to look ‘through’ the development to the countryside beyond even though this is mainly only achieved from the upper storey windows of the existing dwellings opposite.

The longer term impact of these new proposals on local residents will be minimal although obviously there could be some loss of amenity whilst the building operations are proceeding.

In design terms it was agreed with the Planning Officer that the proposals must reflect the traditional architecture of the National Park examples of which of course exist within Fylingthorpe. The North York Moors National Park Authority does not have any specific design guidance but the applicant was directed to the authoritative publication “Houses of the North York Moors” first published in 1987 by the Royal Commission on the Historical Monuments of England.

NYMNPA

20 FEB 2007

Through sketch proposals the scheme now submitted has been evolved to emulate the traditional style of building. The quality of the design of the two houses is in no small part due to the quality of the Royal Commission's publication and assessment and the justified criticisms of the Planning Officer.

In their overall scale, proportions, fenestration, detailing and materials the proposed houses accurately reflect the 'robust' architectural style evident in the traditional buildings.

In order to make the structures as sustainable as possible reclaimed materials are to be used in their construction as far as practicable.

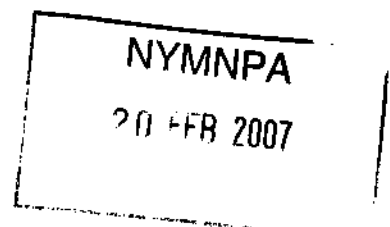
The design and siting of the dwellings and the relatively large curtilages will facilitate the incorporation of the latest viable 'green technologies' to aid the conservation of energy (e.g. solar panels – rear facing, ground source heat pump, rainwater harvesting and grey water recycling) without harming their appearance from the road.

The landscaping of the site's frontage is proposed to be minimal because it is felt important to keep the sense of openness and not impinge on views by the insensitive siting of new and potentially large trees but one or two strategically positioned trees would, it is felt, enhance the scheme. It is also proposed to re-establish a new hedge along the frontage but obviously behind the new sight line. It is proposed that private gardens are defined at the front by low level traditional stone walls with the ground surfaces being largely grassed except for the necessary paved areas.

Access

The new access is based essentially upon the reconstruction and resiting of the existing field access (to be closed) with a finished level such that the required sight line is achieved in accordance with the submitted drawings. The access is designed to provide an adequate shared pedestrian and vehicular driveway to the new dwellings whilst preserving a modified access to the field at the rear which will continue to be cropped. Adequate provision is made for visitors and service vehicles to park and turn within the site.

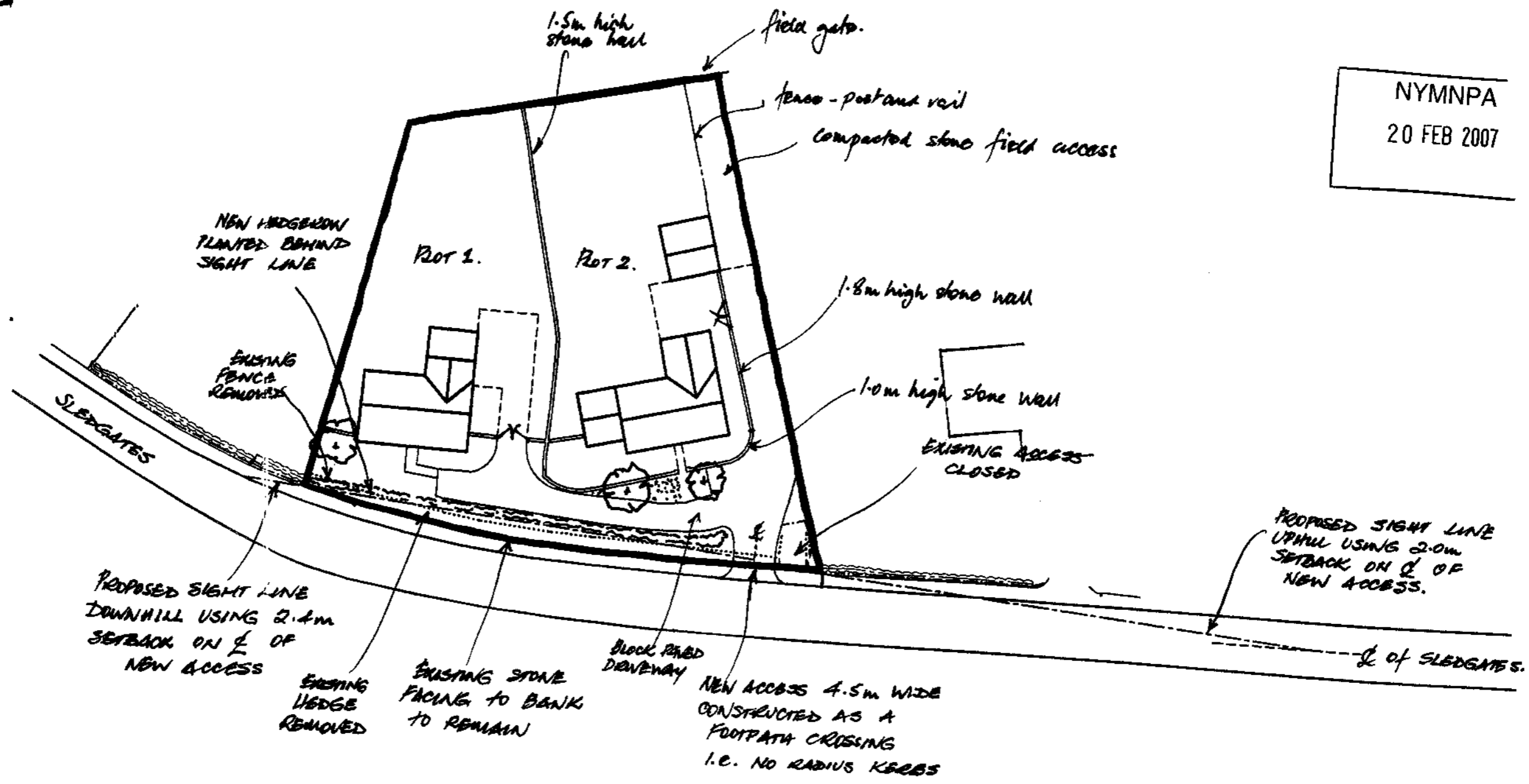
The new dwellings will need to satisfy the requirements of the Building Regulations in terms of access by the disabled and the contouring of the ground adjacent to the houses will accommodate this by ensuring that level access is possible to all doorways.



SITE PLAN

NYM/ 2007 / 0146 / FL

N.B. FOR MORE DETAIL OF
SIGHT LINES SEE
DRAWING Nos:
JMH / SW / 04, 05, 06 & 07



NYMNPA
20 FEB 2007

ERECTION OF 2 NO. DETACHED TWO STOREY
DWELLINGS WITH GARAGES,
SLEDGATES, FYLINGTHORPE FOR MR. S. WORDSWORTH

Scale: 1/500
Feb. 2007

DRAWING No. JMH/SW/03

John Hunt
LAND PLANNING CONSULTANT
Hoop Cottage
38 Tollingsworth Lane
Egworth
BN9 1EY
Tel / fax: 01427 873466
Mob: 07836 200744

NYMNPA
20 FEB 2007



SIDE ELEVATION (uphill)

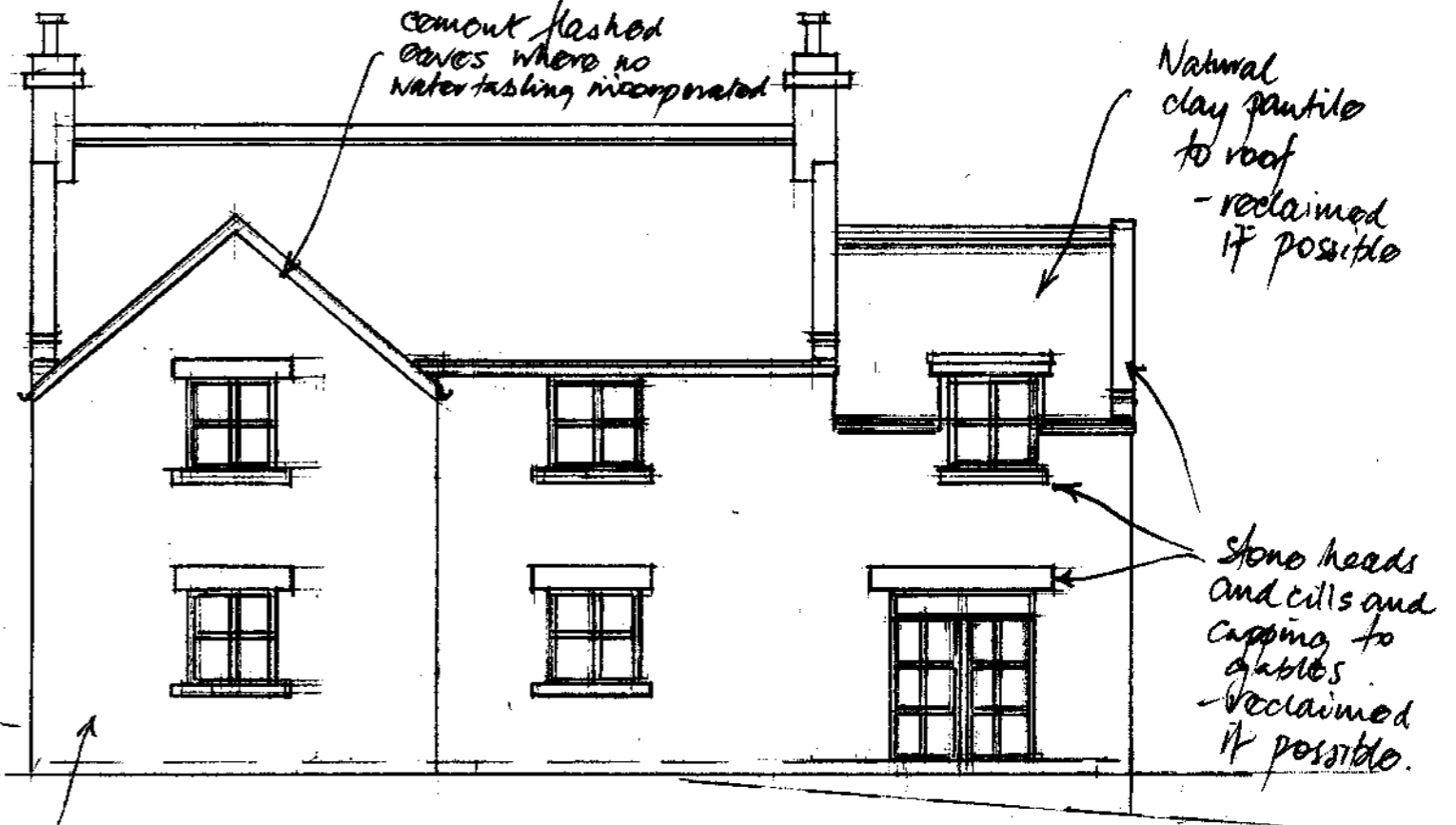


SIDE ELEVATION (downhill)



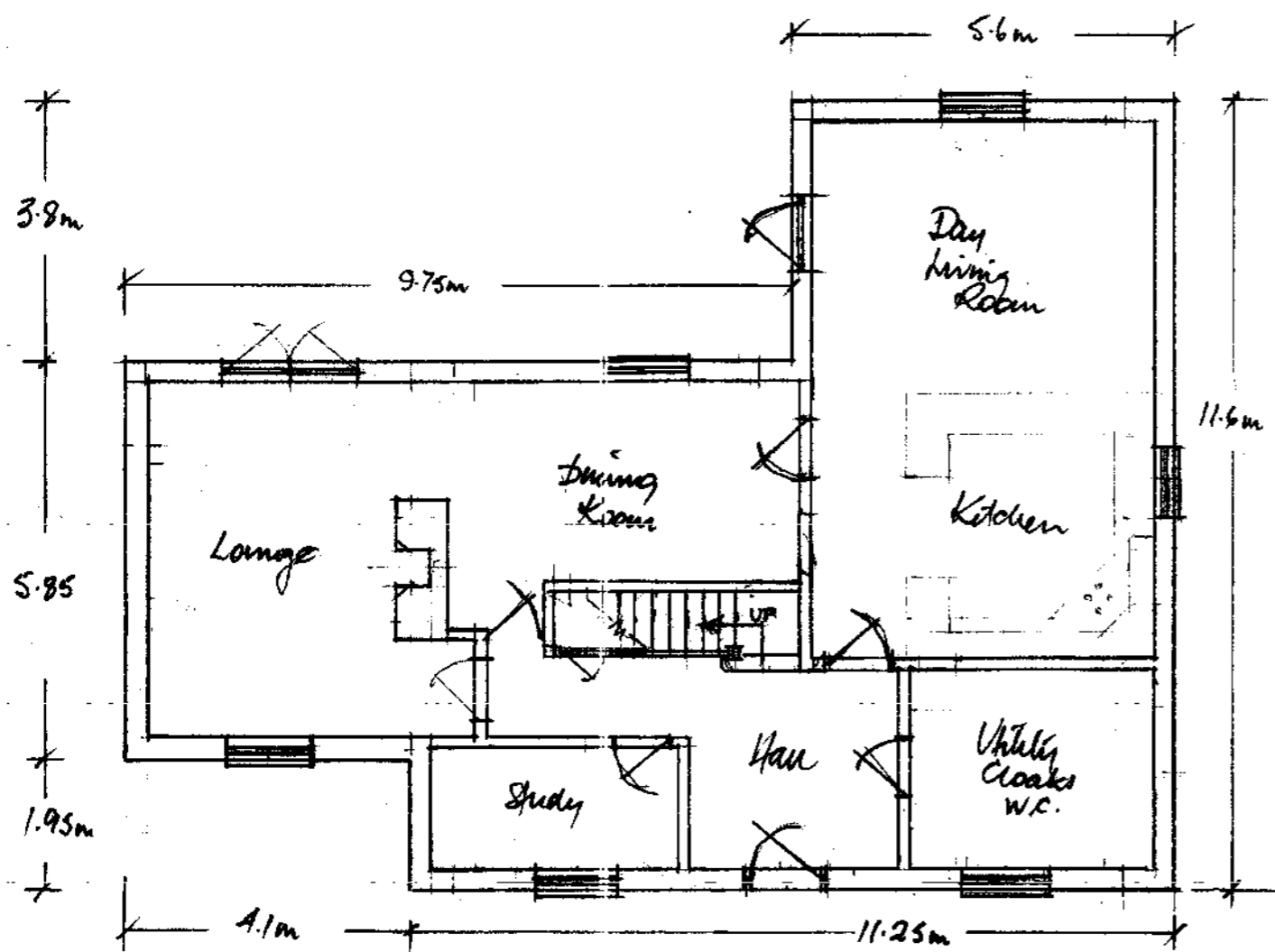
FRONT ELEVATION

Wood casement windows painted white

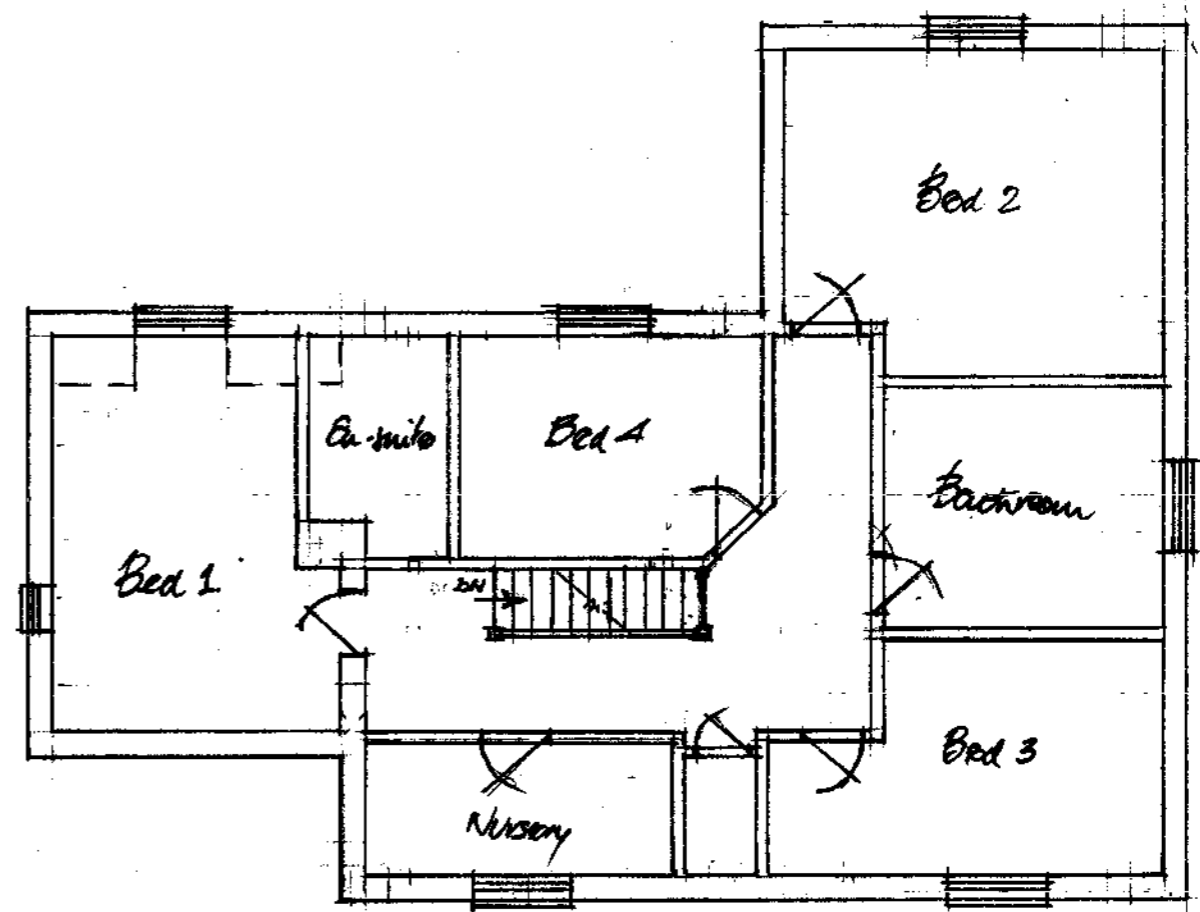


REAR ELEVATION

Buff brown sandstone with herringbone tooling - reclaimed if possible



GROUND FLOOR

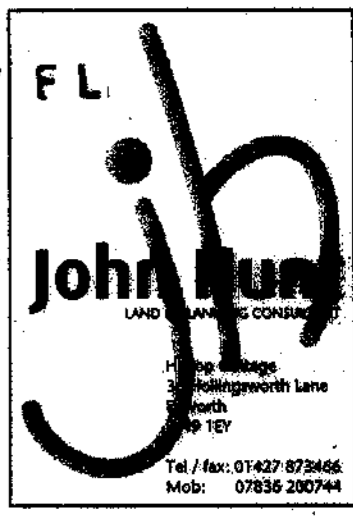


FIRST FLOOR

PROPOSED DETACHED HOUSE (PLOT 2)
SLEDGATES, FYLINGTONHORPE
for MR. S. WORDSWORTH
Scale 1:100

DRAWING No. JMH / SW / 03

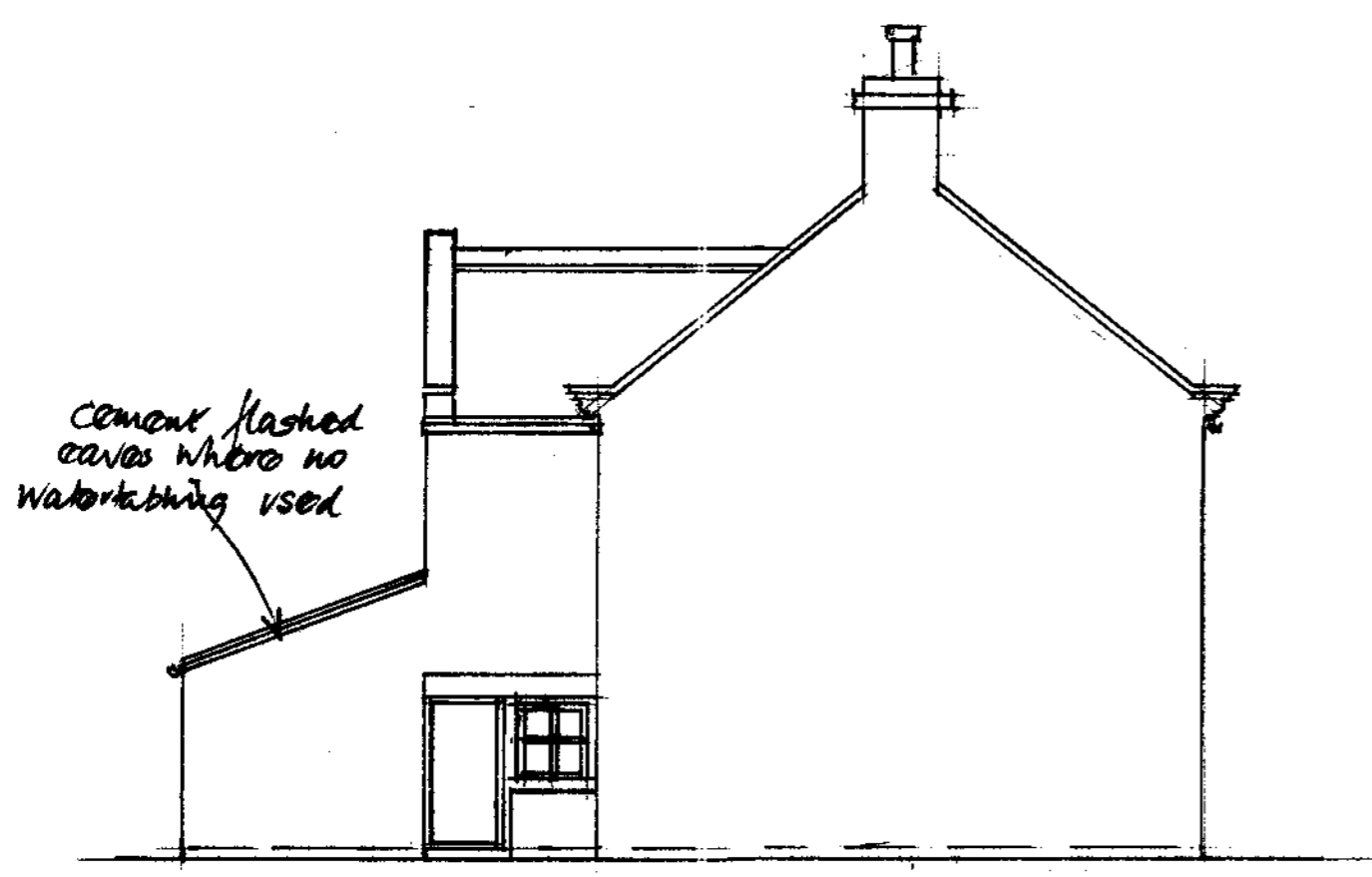




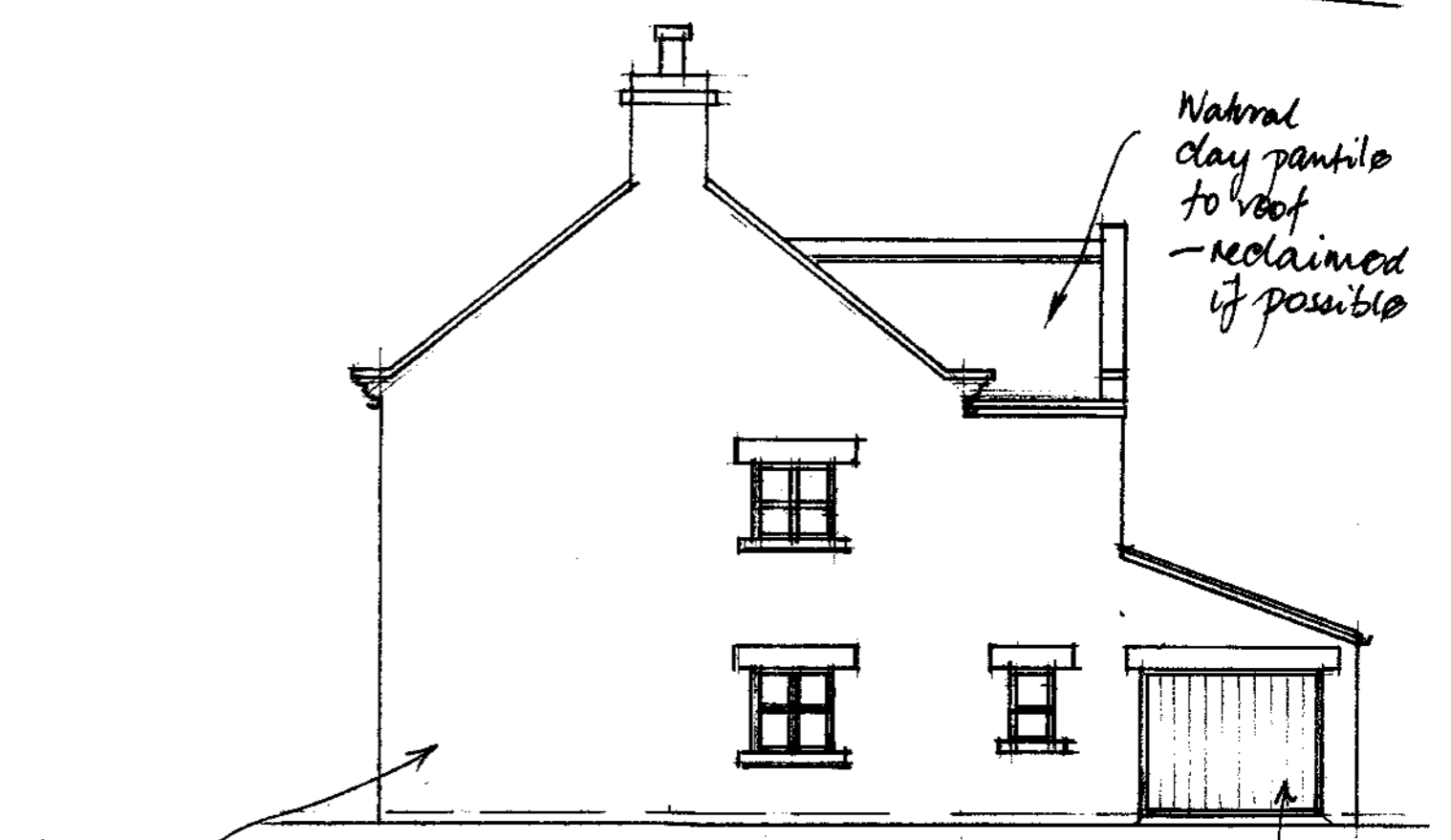
PROPOSED DETACHED HOUSE (PLOT 1)
SLEDGATES, FYLINGSTHORPE
for MR. S. WORKSWORTH
Scale 1:100

Drawing No. JMH/SW/02

NYMIPA
20 FEB 2007



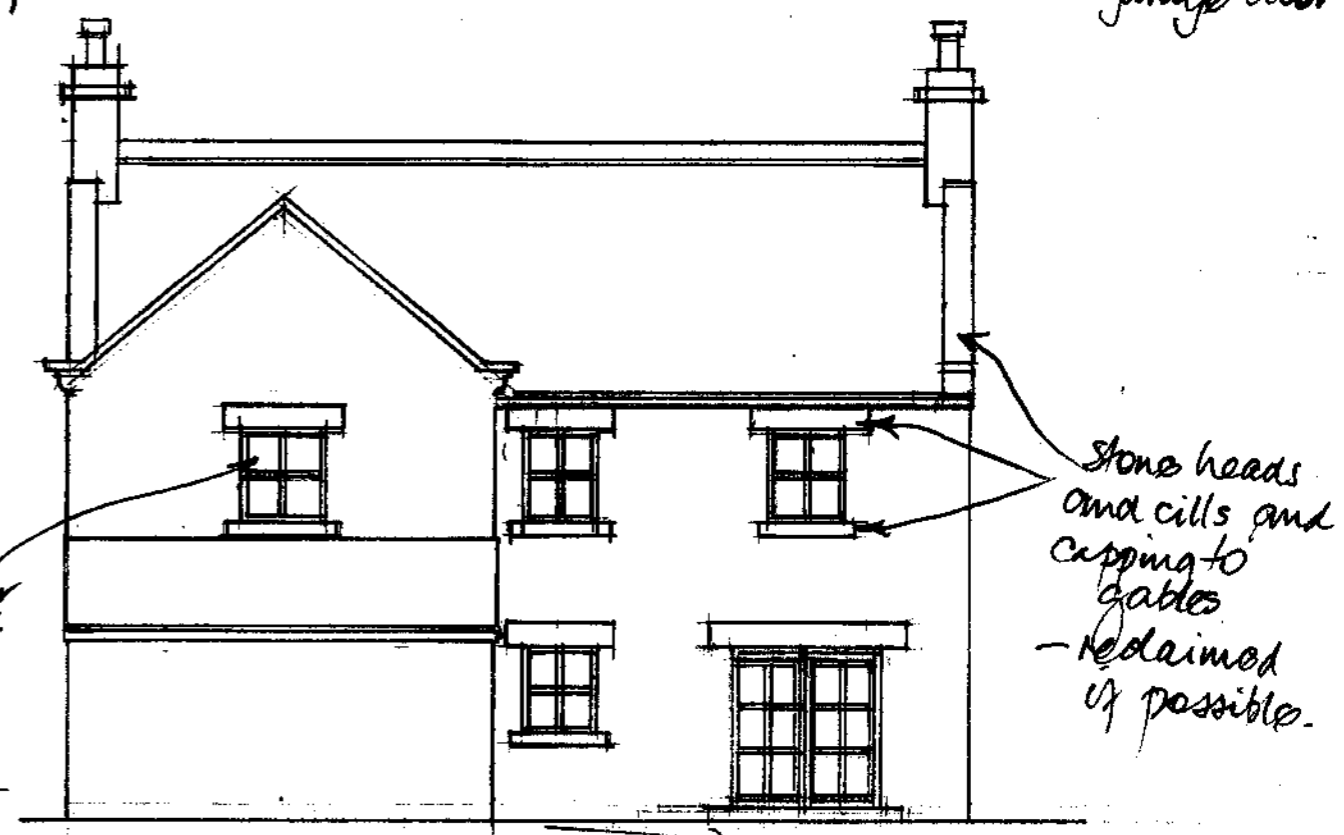
SIDE ELEVATION (downhill)



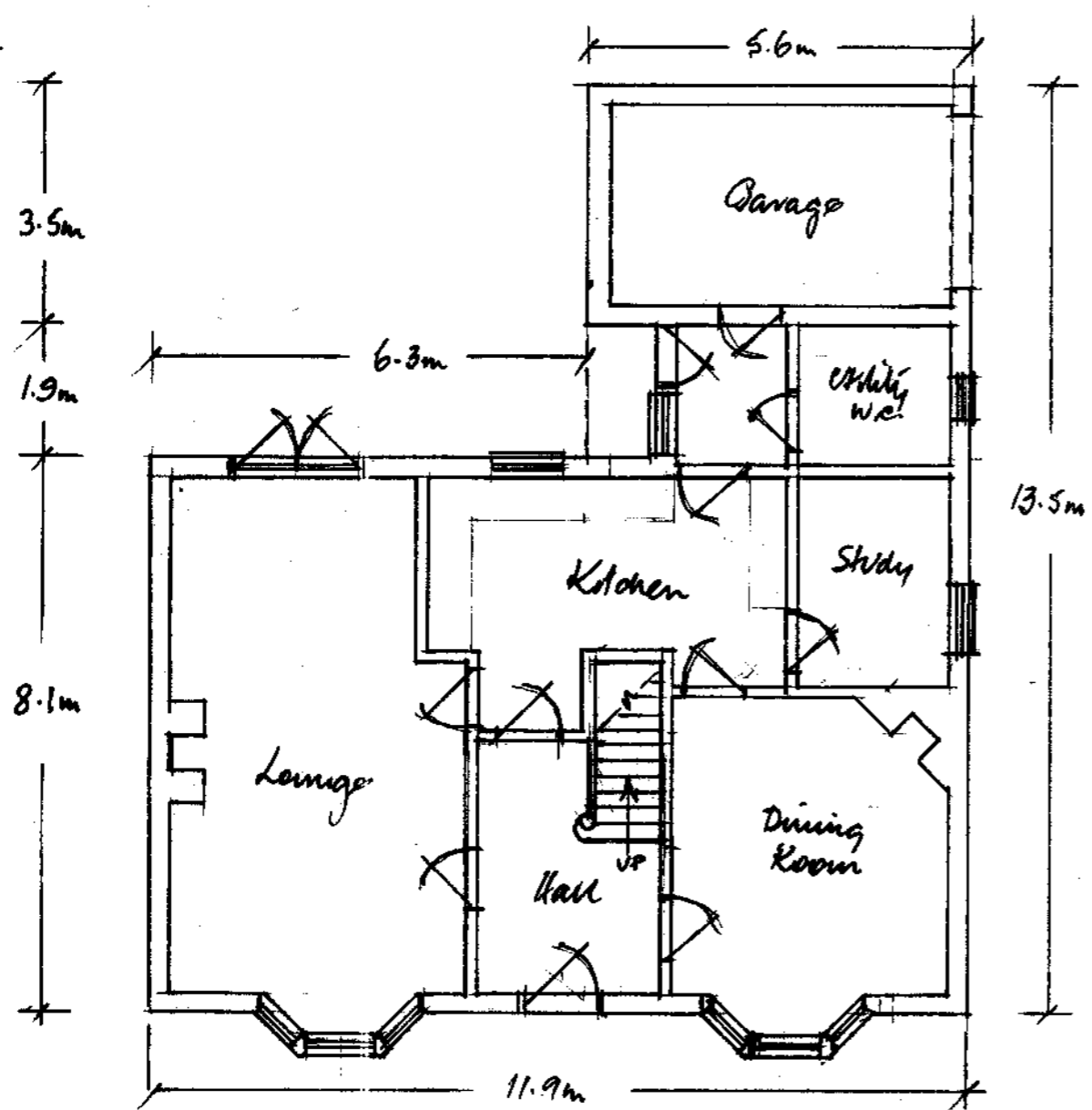
SIDE ELEVATION (uphill)



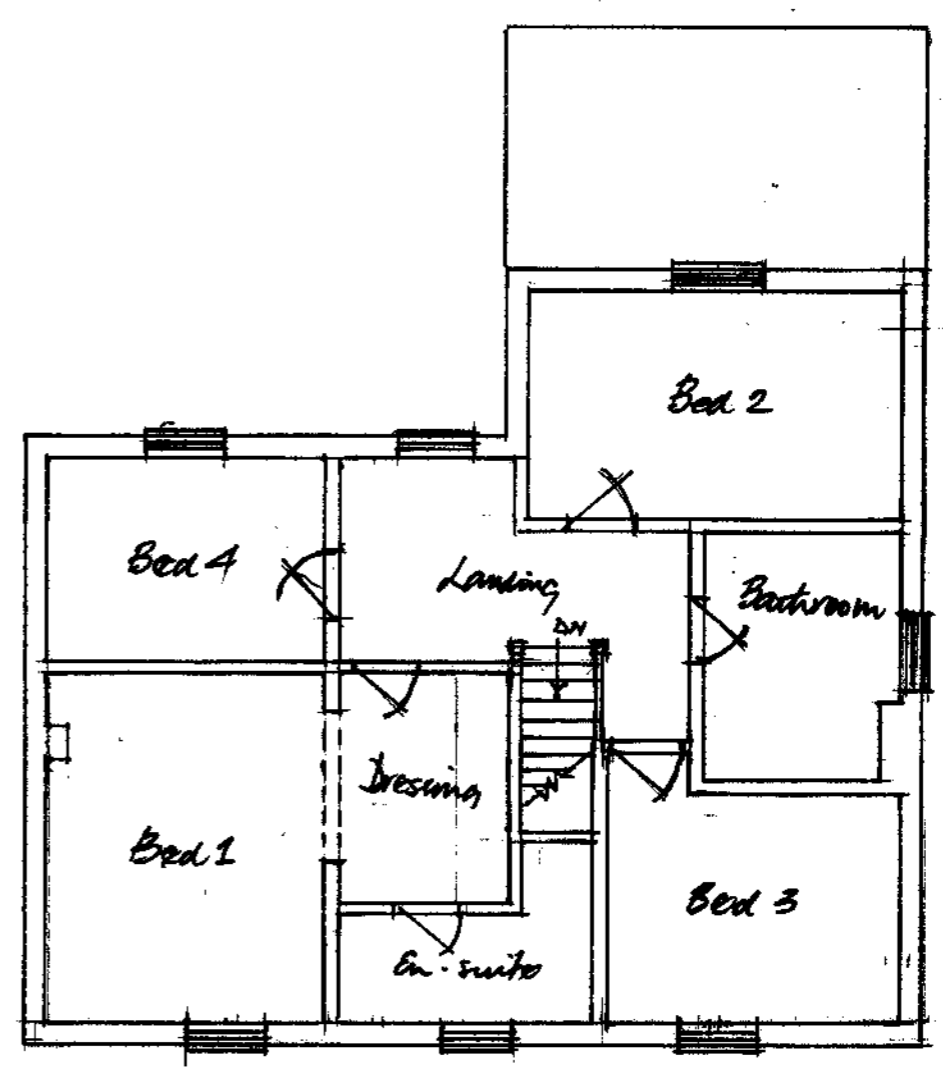
FRONT ELEVATION



REAR ELEVATION

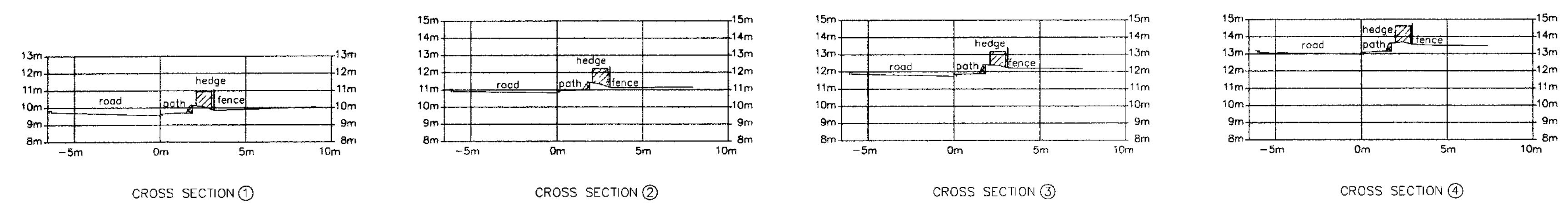
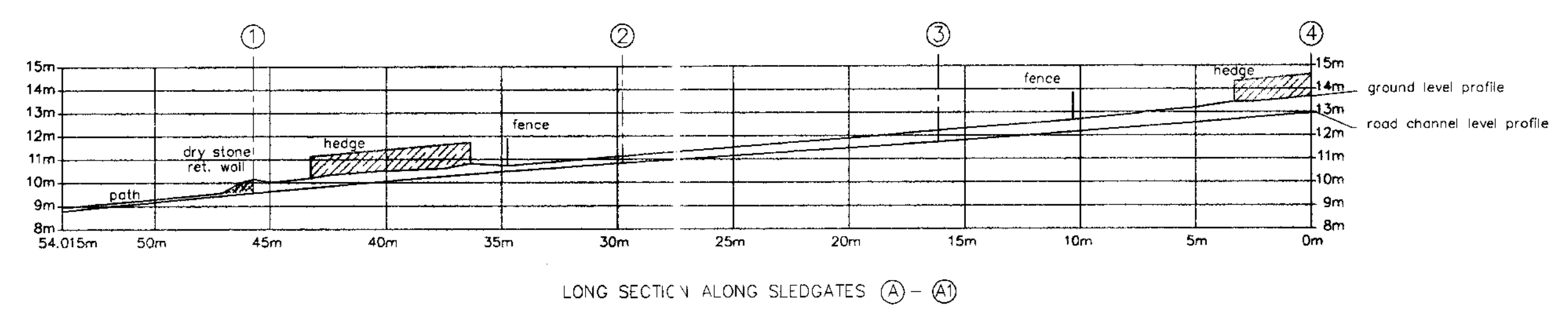
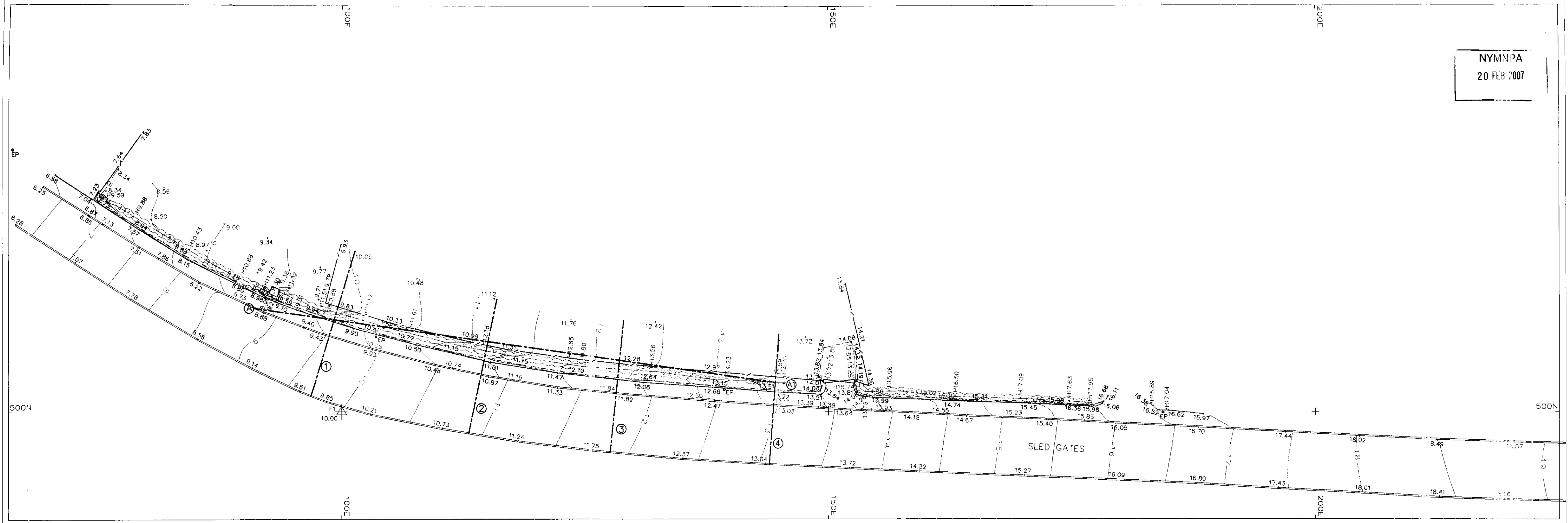


GROUND FLOOR



FIRST FLOOR

NYMIPA
20 FEB 2007



Legend

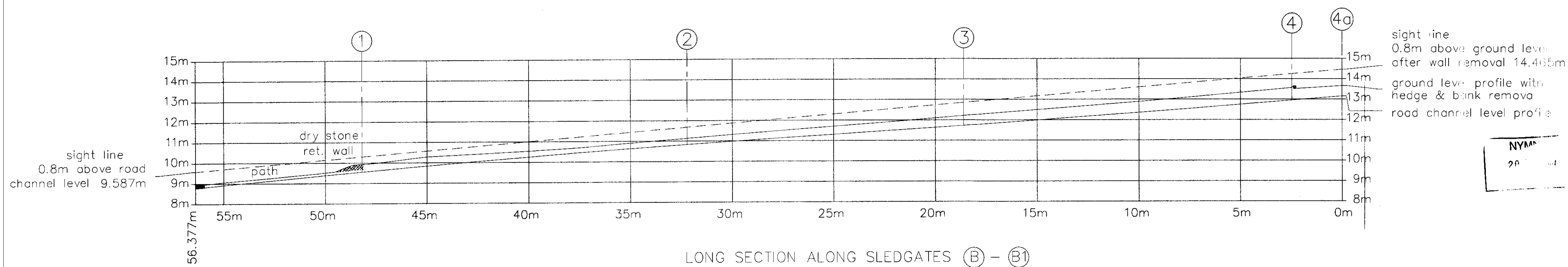
— 0.5m —	level contour @ 0.5m interval	*3.85	detail point and level
— — —	fence	CL 3.75	manhole cover level
— — —	building	IL 2.25	manhole or pipe invert level
— — —	kerb	R19.25	ridge level
— — —	verge/ path	1.1H	wall/ fence height
— — —	wall	C	gully
— — —	top of bank	MH	manhole
— — —	bottom of bank	E	electric manhole
— — —	foliage line	w	water
— — —	hedge	FH	fire hydrant
— — —	tree to scale & size of bole	sv	stop valve
— — —	gate	m	meter, manhole
— — —	survey station	LP	lamp post
		TP	telegraph pole
		EP	electricity pole
		BT	telecom manhole
		box	electricity box
		SP	sign post
		s	stay
		conc.	concrete
		FP	fence post
		blgd.	building

NOTE
All values are in metres unless noted otherwise.

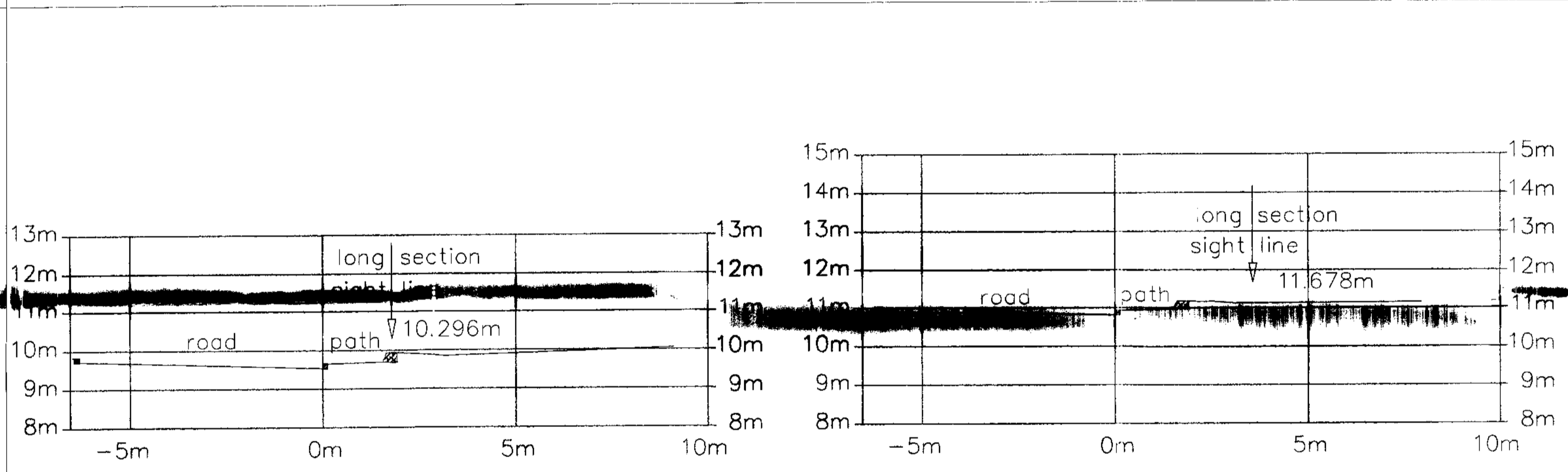
HIRST SURVEY & ENGINEERING ASSOCIATES
Cedcol Office, Somersby Avenue
Sprotbrough, Doncaster DN5 8HD
Tel. 01302 390422

Client SI. WORDSWORTH LIMITED	Title PARTIAL TOPOGRAPHICAL SURVEY OF LAND AT SLED GATES, FLYINGHORPE. Surveyed 10/01/2007			
Grid control LOCAL	Levels are related to LOCAL Survey station F1=10.000m			
Scale 1 : 200	Date 22/01/07	Job No JH/07/11	Dwg No 01	Rev.
Surveyor T.Hirst	PLAN SCALE LONG & CROSS SECTION SCALES 1:200 1:200, V2 1:200			

DRAWING NO. JMH/SW/04

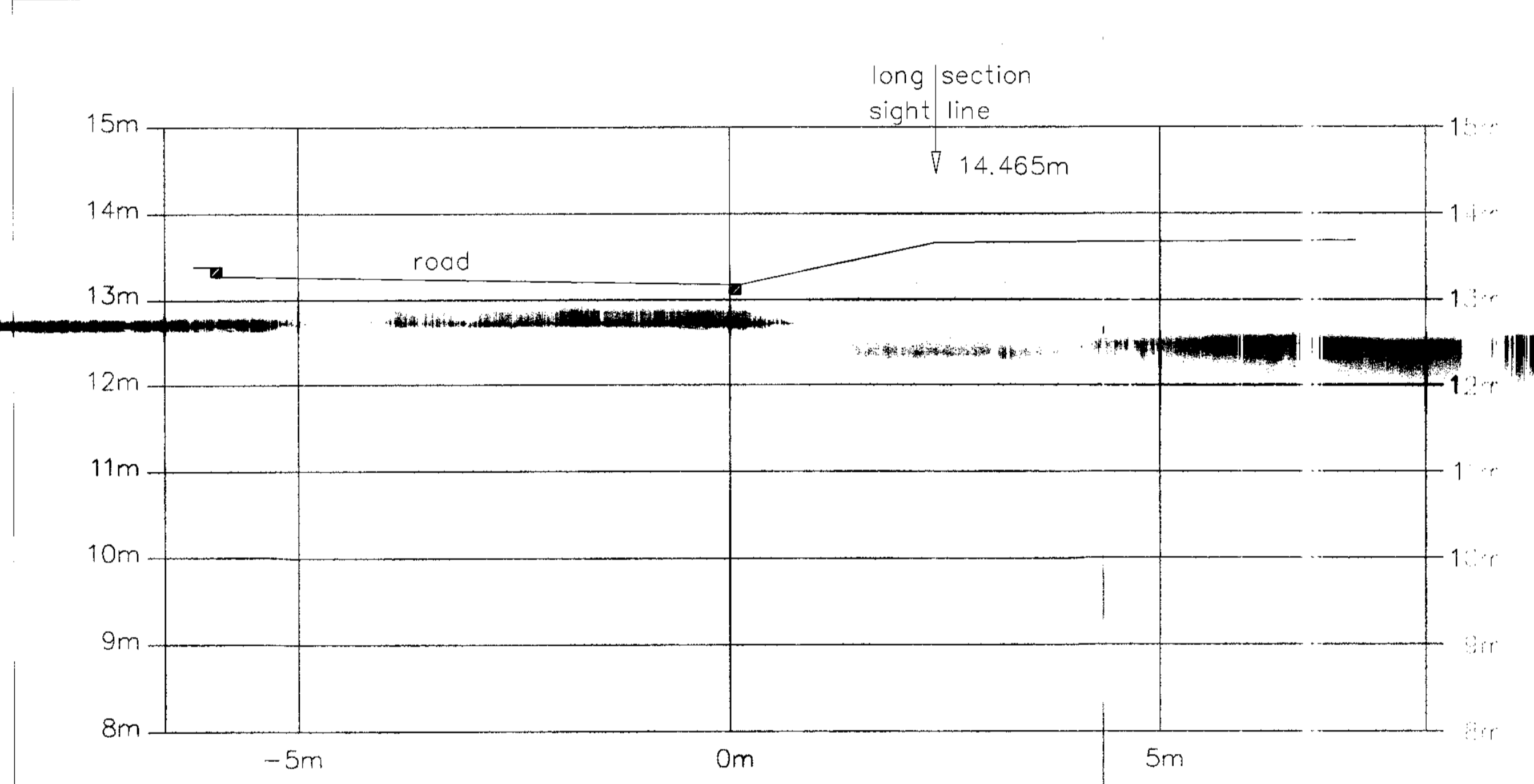


LONG SECTION ALONG SLEDGATES (B) - (B1)
(with hedge & bank removal)
Scale Hz 1:100, Vz 1:100

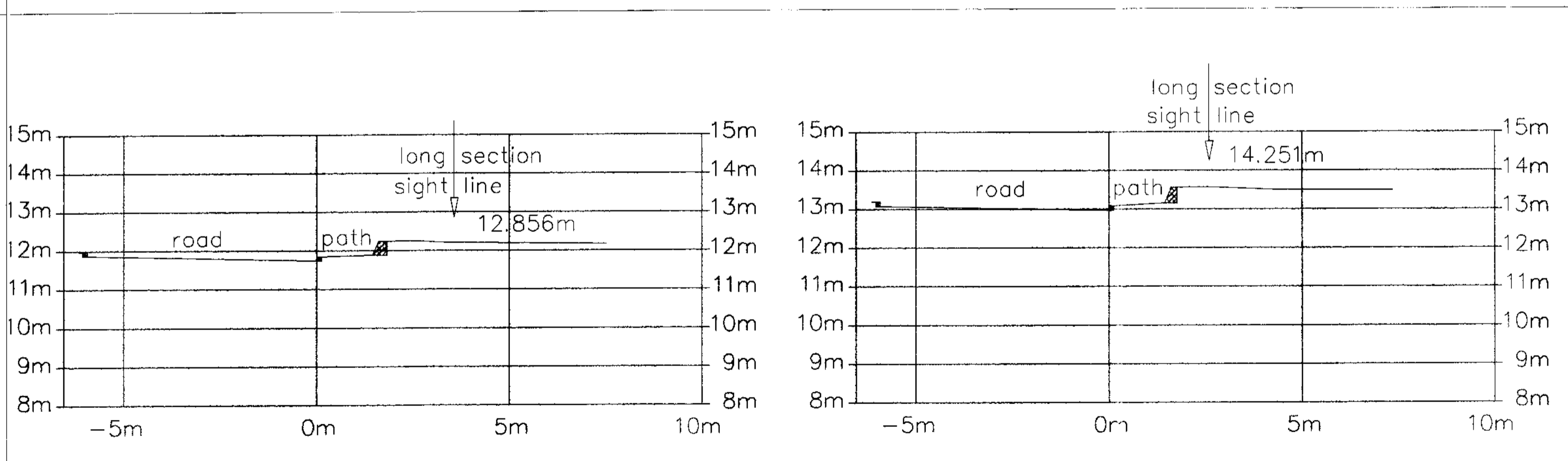


CROSS SECTION ①
Scale Hz 1:100, Vz 1:100

CROSS SECTION ②
Scale Hz 1:100, Vz 1:100



CROSS SECTION ④a
Scale Hz 1:50, Vz 1:50
CENTRE OF ROAD ACCESS



CROSS SECTION ③
Scale Hz 1:100, Vz 1:100

CROSS SECTION ④
Scale Hz 1:100, Vz 1:100

sight line
0.8m above ground level
after wall removal 14.465m
ground level profile with
hedge & bank removal
road channel level profile

NYMA
2007

NOTE
All values are in metres
unless noted otherwise.

HIRST SURVEY & ENGINEERING ASSOCIATES Cedard Office, Somerby Avenue Sprotbrough, Doncaster DN5 8HD Tel. 01302 390422			
Client S.I. WORDSWORTH LIMITED	Title PARTIAL TOPOGRAPHICAL SURVEY OF LAND AT SLED GATES, FYLINGTHORPE. Surveyed 16/01/2007		
Grid control LOCAL	Levels are related to Survey station F1=10.000m		
Scale	Date	Job No	Dwg No
As labeled	30/01/07	JH/07/11	02
Surveyor T.Hirst	SECTIONS WITH PROPOSED BUILDING LAYOUT AND FENCE, HEDGE, BANK REMOVAL		

DRAWING No. JMH/SW/05

Legend	
	level contour @ 0.5m interval
	fence
	building
	kerb
	verge/ path
	wall
	top of bank
	bottom of bank
	folage line
	hedge
	tree to scale & size of bole
	gate
	survey station
	*3.85 CL 3.75 IL 2.25 R19.25
	1.1H G MH E W FH sv m LP TP EP BT box SP s conc. FP bldg.
	detail point and manhole cover level manhole or pipe level ridge level wall/ fence height gully manhole electric manhole water fire hydrant stop valve meter, manhole lamp post telegraph pole electricity pole telecom manhole electricity box sign post stay concrete fence post building

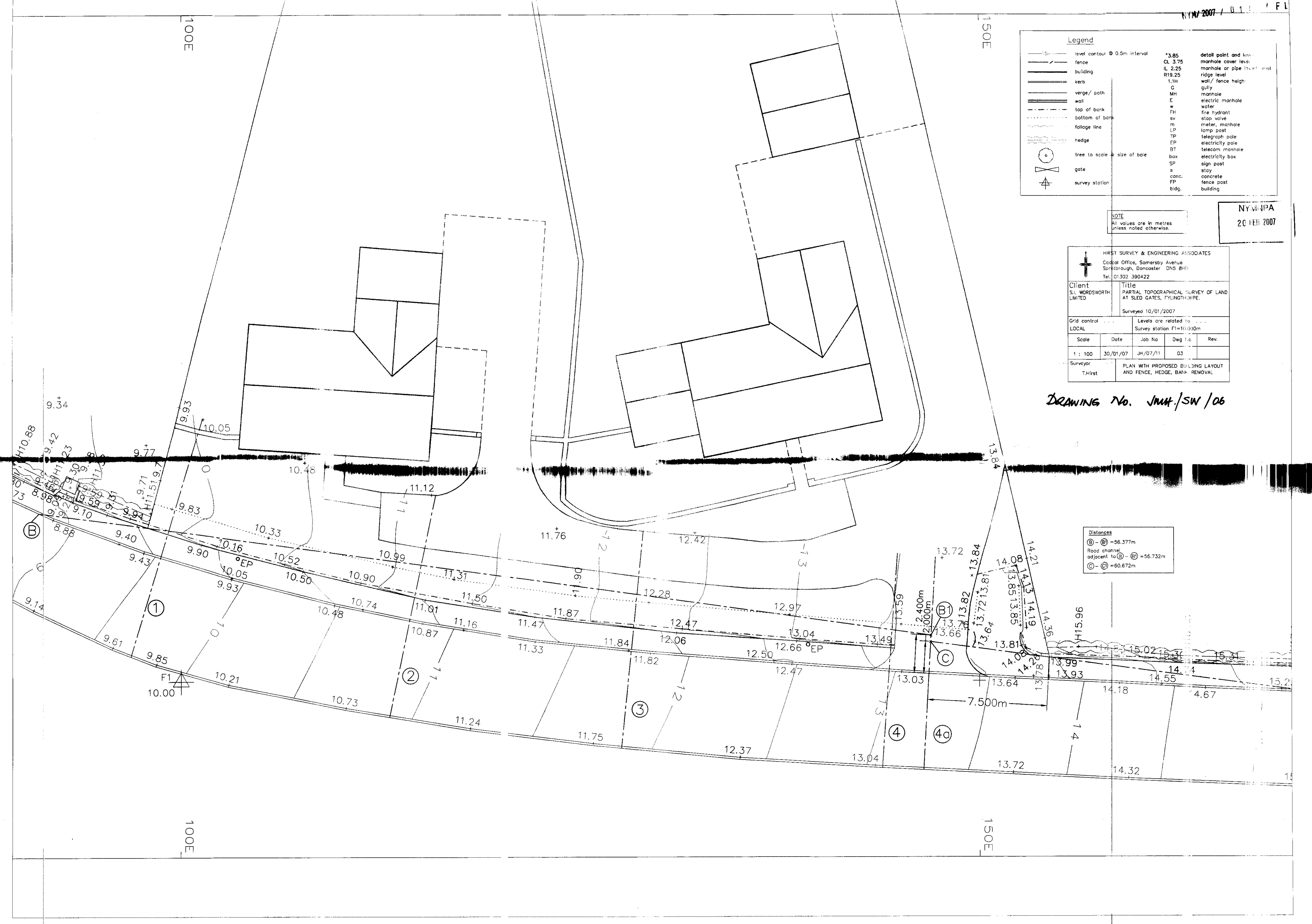
NOTE
All values are in metres
Unless noted otherwise.

NYM/PA
20 FEB 2007

 HIRST SURVEY & ENGINEERING ASSOCIATES Cadoc Office, Somersby Avenue Spenborough, Doncaster DN5 8HH Tel: 01302 390422				
Client	Title			
S.I. WORDSWORTH LIMITED	PARTIAL TOPOGRAPHICAL SURVEY OF LAND AT SLED GATES, FYLINGTHORPE.			
	Surveyed 10/01/2007			
Grid control	Levels are related to			
LOCAL	Survey station F1=10.000m			
Scale	Date	Job No	Dwg No	Rev.
1 : 100	30/01/07	JH/07/11	03	
Surveyor	PLAN WITH PROPOSED BUILDING LAYOUT AND FENCE, HEDGE, BANK REMOVAL			
T.Hirst				

DRAWING No. JMH/SW/06

Distances	
ⓑ - ⓑ	=56.377m
Road channel adjacent to ⓑ - ⓑ	=56.732m
ⓒ - ⓒ	=60.672m



Legend		
—15—	level contour @ 0.5m interval	*3.85 detail point and level
—/—/—	fence	CL 3.75 manhole cover level
▬▬▬▬	building	IL 2.25 manhole or pipe inlet level
▬▬▬▬	kerb	R19.25 ridge level
▬▬▬▬	verge/ path	1.1H wall/ fence height
▬▬▬▬	wall	G gully
▬▬▬▬	top of bank	MH manhole
▬▬▬▬	bottom of bank	E electric manhole
▬▬▬▬	follage line	W water
▬▬▬▬	hedge	FH fire hydrant
○	tree to scale & size of bole	sv stop valve
⊗	gate	m meter, manhole
▲	survey station	LP lamp post
		TP telegraph pole
		EP electricity pole
		BT telecom manhole
		box electricity box
		SP sign post
		a stoy
		conc concrete
		FP fence post
		bdg building

NOTE
All values are in metres unless noted otherwise.

NYM/2007
20 Feb 2007

HIRST SURVEY & ENGINEERING ASSOCIATES Cadcol Office, Somersby Avenue Sprotborough, Doncaster DN5 8HD Tel. 01302 390422	
Client S.L. WORDSWORTH LIMITED	Title PARTIAL TOPOGRAPHICAL SURVEY OF LAND AT SLED GATES, FYLINGHORPE. Surveyed 10/01/2007
Grid control LOCAL	Levels are related to Survey station F1=0.000m
Scale 1 : 100	Date 06/02/07
Job No JH/07/11	Dwg No 04
Surveyor T.Hirst	PLAN WITH PROPOSED BUILDING LAYOUT AND FENCE, HEDGE, BANK REMOVAL

DRAWING NO. JH4/SW/07

Distances	
⊕ - ⊕	= 56.377m
Road channel adjacent to ⊕ - ⊕	= 56.732m
⊙ - ⊙	= 60.672m

