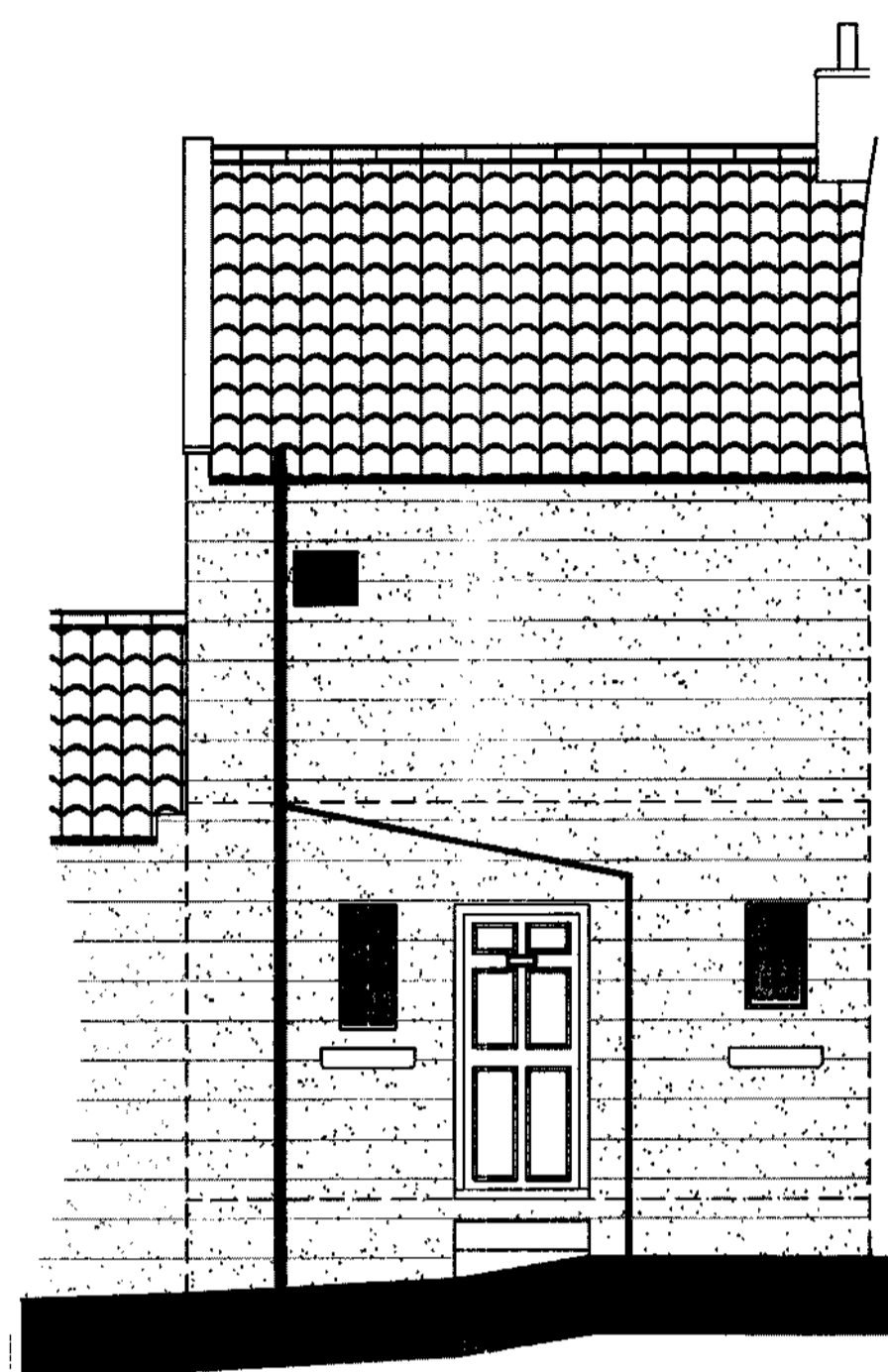
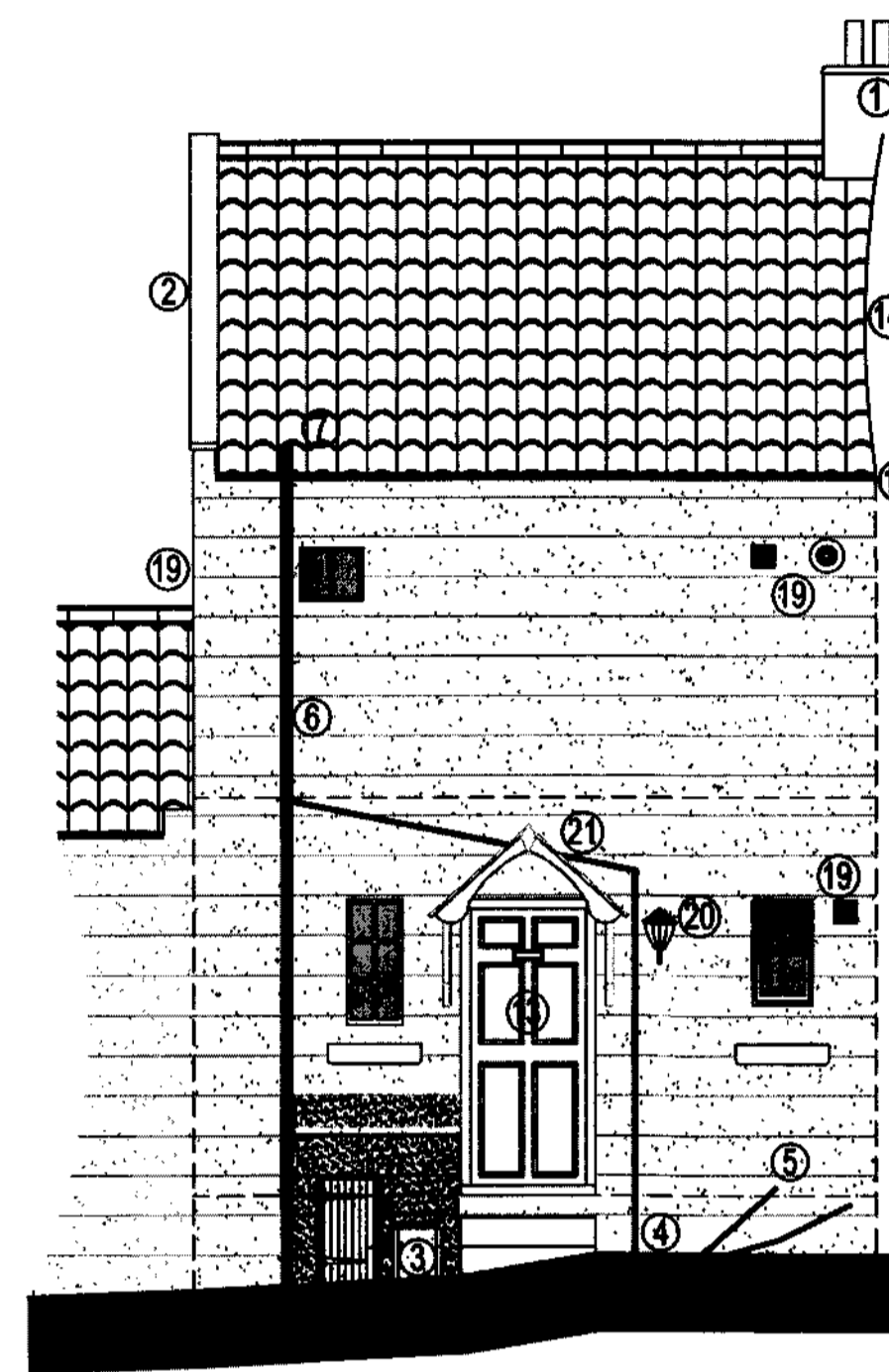


DO NOT SCALE from this drawing. Only figured dimensions are to be taken from this drawing.
 The Contractor must check all dimensions on site before commencing any work or stop drawings.
 The Contractor must report any discrepancies before commencing work. If this drawing exceeds the quantities taken in any way, the Technician is to be informed before work is started.
 Work under The Construction (Design and Management) Regulations 1994 is not to start until a Health & Safety Plan has been produced. This drawing is Copyright and must not be reproduced without consent of BHD Partnership Ltd

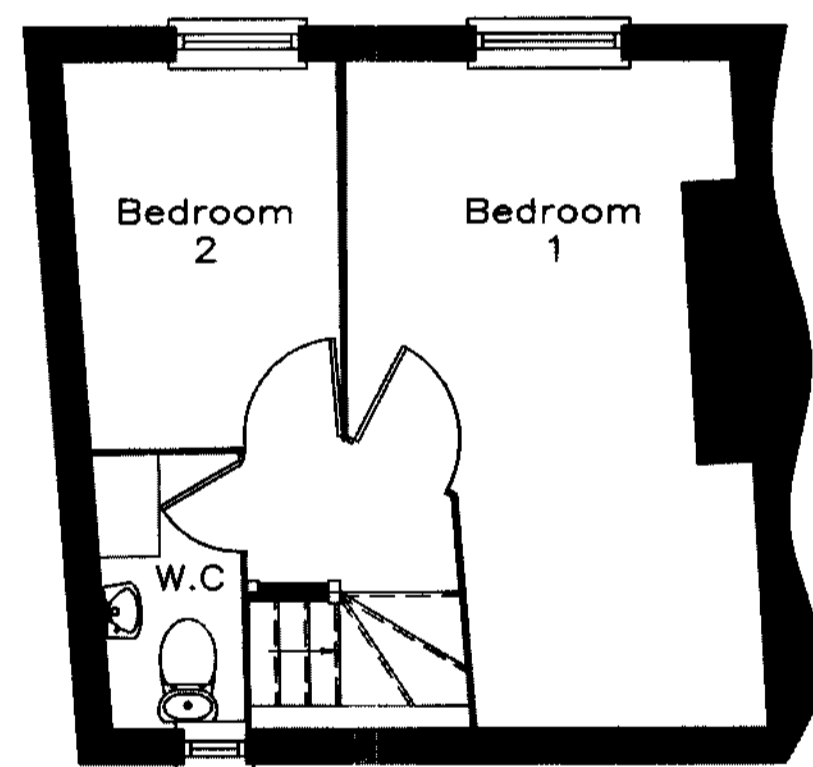
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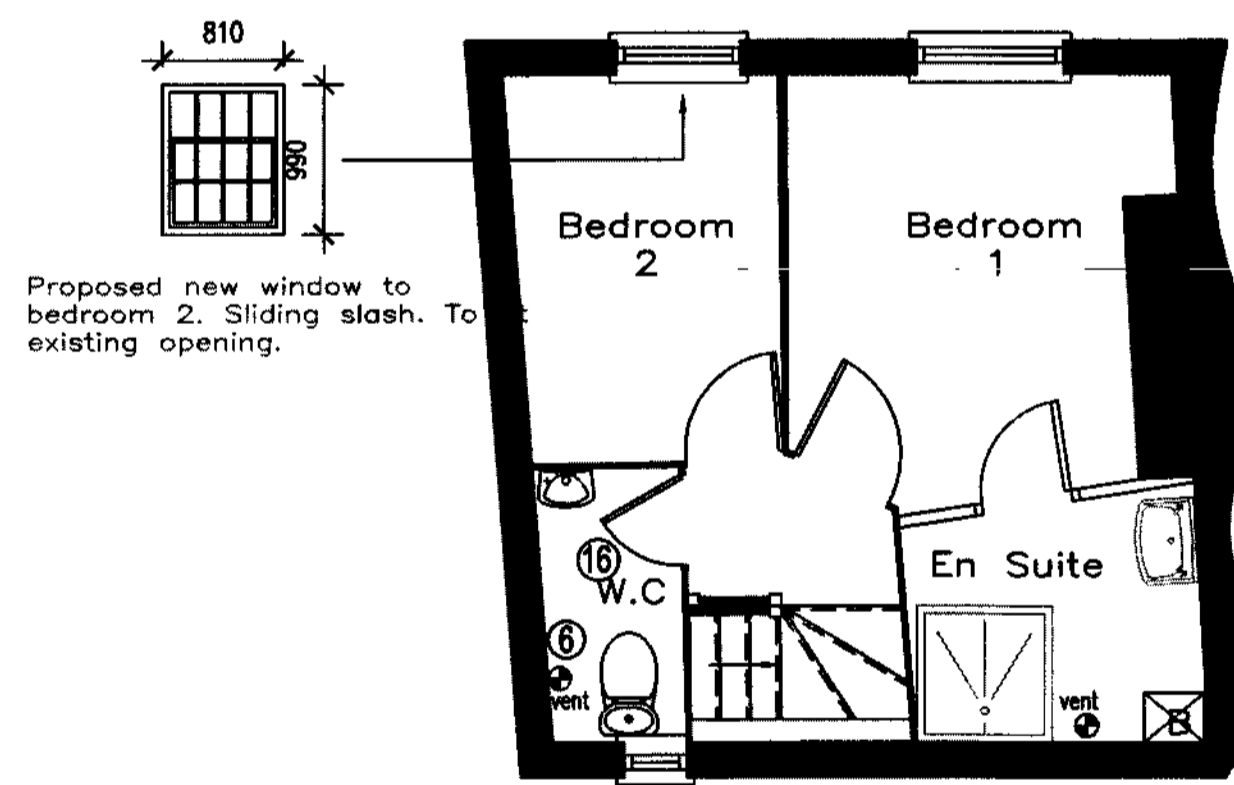
| EXISTING FRONT ELEVATION |



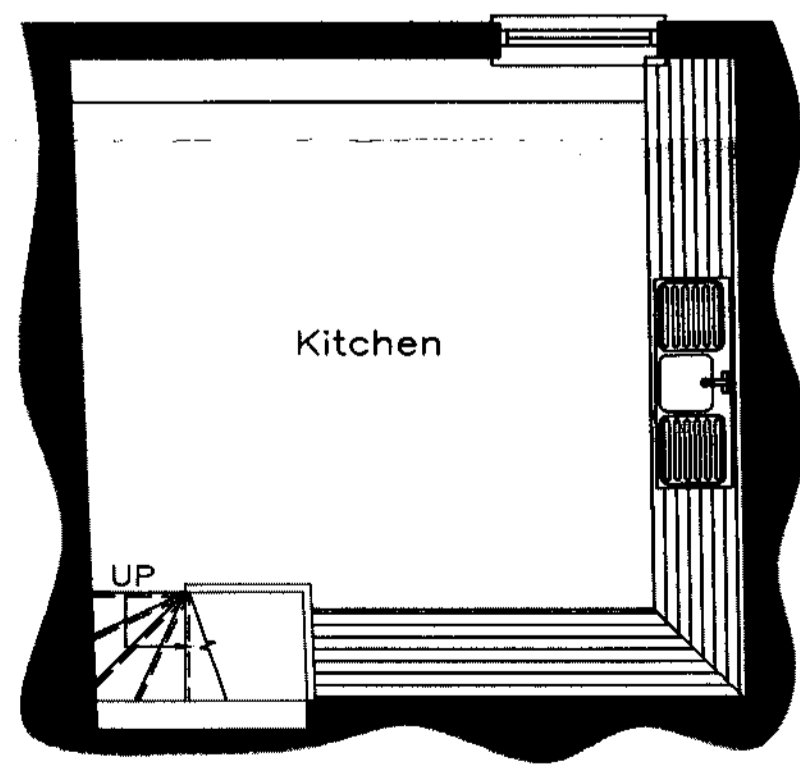
| PROPOSED FRONT ELEVATION |



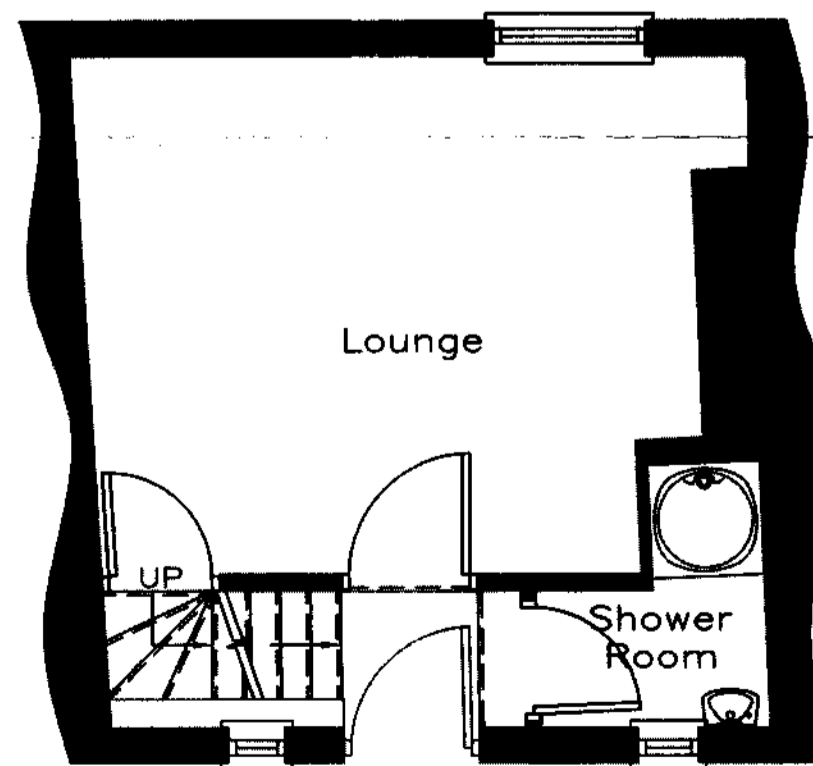
| EXISTING FIRST FLOOR PLAN |



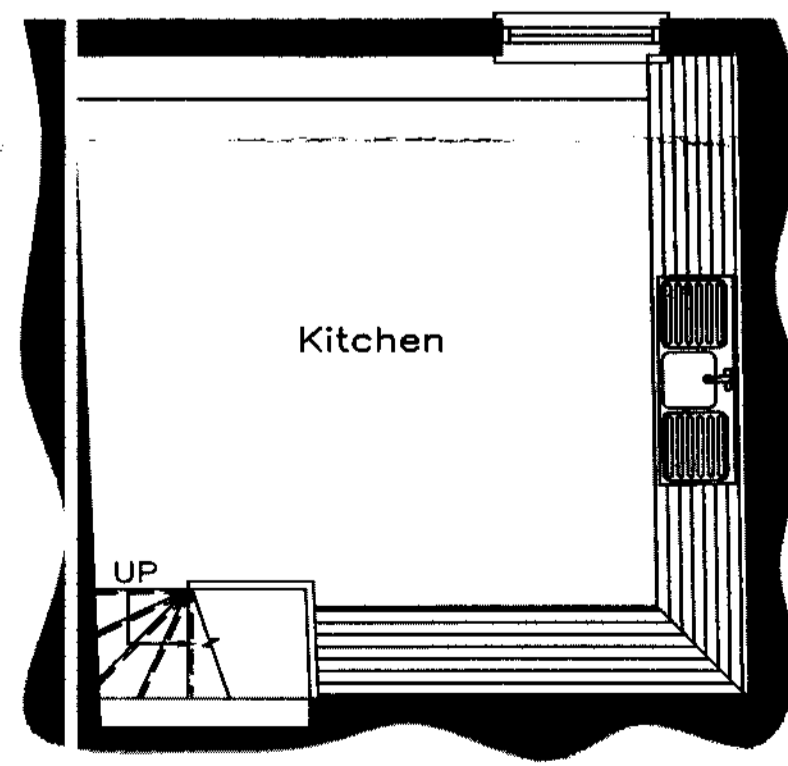
| PROPOSED FIRST FLOOR PLAN |



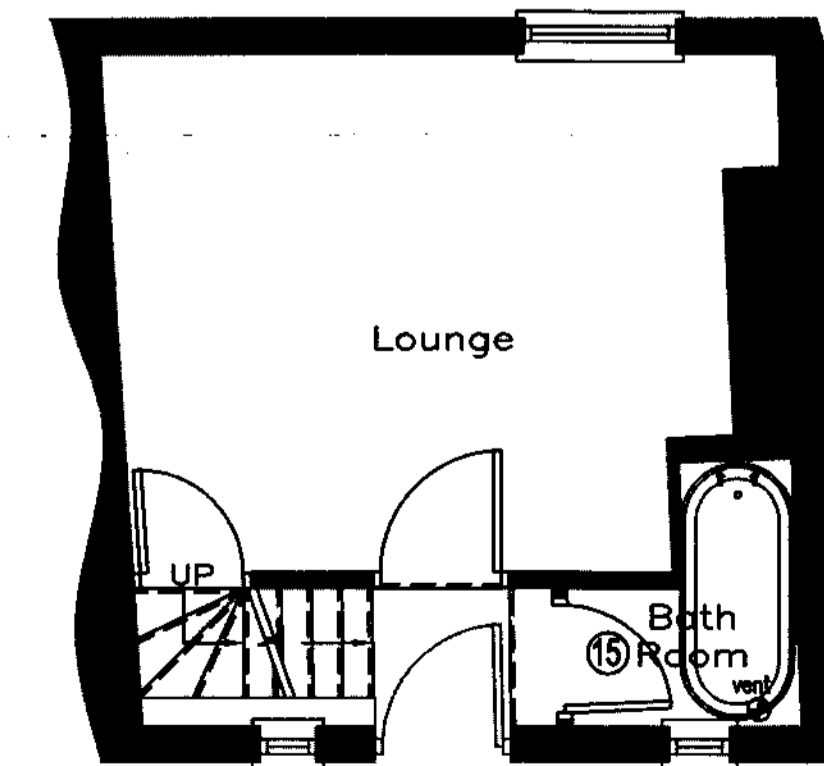
| EXISTING BASEMENT PLAN |



| EXISTING GROUND FLOOR PLAN |



| PROPOSED BASEMENT PLAN |



| PROPOSED GROUND FLOOR PLAN |

- Roof Space
 18 Fix Ridge Pole & Purlin as attached - Bell Snoxell 24th March 06.
 Insulate
 Remove cold water tank
- Outside
 1 Render chimney with two coat waterproof render, fitting new lead flashings between chimney & roof (cost to be split with next door). If required reset and haunch pots along with all anti seagull nesting metalwork. Fit elephants feet or similar to unused flues.
 2 Repair if necessary coping stones bedding/pointing on gable end of house & any work to gable end flashing before pointing.
 3 Build coal bunker, render in same style as cottage inc. putting lines on to match cottage. Include in it provision for gas meter. Seal house to ground & damp proof wall before building bunker. See detail drawing.
 4 Stop penetrating damp on Brig Garth side by sealing house to ground joint & damp proof injection in wall along length of wall. Repair gully to right of front door & seal steps to ground so water cannot go underneath.
 5 Remove & tidy rendering where pipes comes through wall at Brig Garth side of cottage. Fix rainwater pipe that comes through house.
 6 Repair waste pipe from loo handbasin.
 7 Fit cage to top of soil pipe.
 8 Strip off all paint on all windows, repair then point all with primer, undercoat & one gloss coat. Renew cords in all sash windows.
 9 Reputy all windows as necessary. Replace any broken glass in the process.
 10 On casement window remove & refurbish hinged sections & refit using all brass hinges, fittings & screws.
 11 Paint gulleys inside & out first with Galvaloid or similar agreed.
 12 Paint outside three walls with two coats of Bradite DP25 Masonry Paint.
 13 Paint door & frame.
 14 Fit new TV aerial & down lead.
 15 Proposed vents.
 20 New light.
 21 Traditional style canopy, max depth 300mm.
- Bathroom
 15 Remove hand basin and associated cupboard. Install white non metal 8mm thick bath after removal of shower base. Reinstall/leave electric shower above bath on current electric cable. Retile bathroom in area of bath with new white dimple finish tiles, add colour tiles as directed by Ann. (Three and a half sides bath to ceiling) Install shower curtain along side of bath. Install vent to outside on when light on. Install wetroom floor with drain away with floor covering like in a café kitchen.
- Loo
 16 Remove Airing Cupboard and hot water tank. Install as big as poss white handbasin on bedroom wall. Tiles around handbasin same as in bathroom. Install vertical timber to match existing. Install vent on when light on to go out through gable end.
- Main Bedroom
 17 Install white en suite of 1m square shower base, shower connected to main hot water system from boiler, shower screen and handbasin. Complete with all white tiling and ready to use. Install vent on when light on. Reposition door. Build bed base for current mattress with storage under. Build head board for bed next to door. Repair water damaged plaster.

COAL BUNKER AND METER CUPBOARD

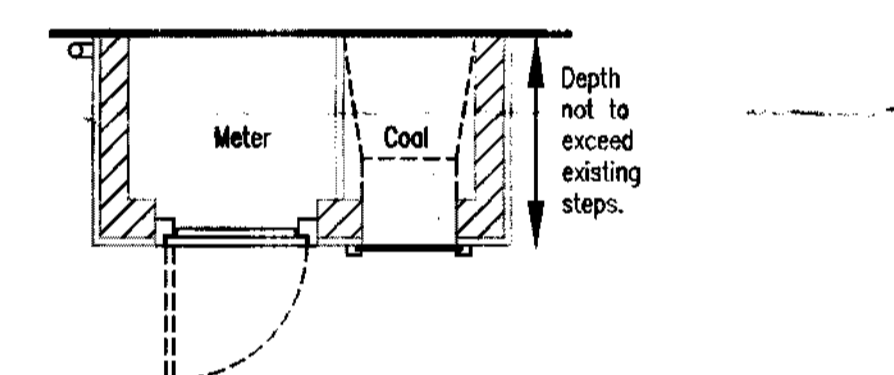
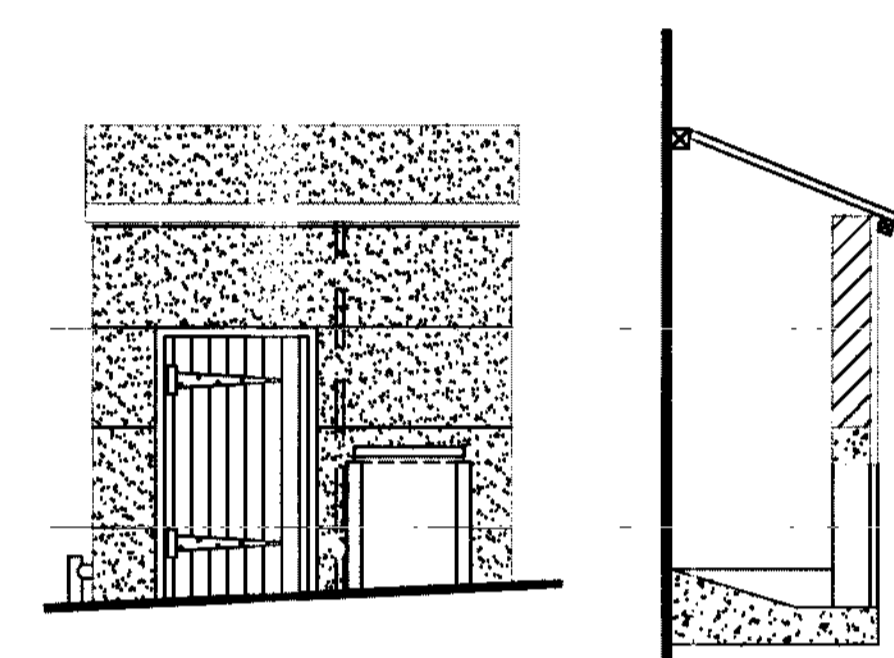
Form base using concrete slab. Min thickness 100, etc but conc within the bunker is laid to falls as shown

Build up walls using 75 solid conc blockwork, finished with 2 coat waterproof render. Include horizontal dpc, conc lintel over two openings resting to the existing structure. Internal wall to be 18mm ply.

Form door to meter store 700 high. Treated batten floor, ledged and braced with band hinges and sneek lock/latch

Form horizontal sliding bunker hatch using 12mm exterior quality ply in 25x38 fin rebated runners.

Lid to be formed using 22 exterior grade ply finished with fully bonded mineral felt. Fix to 75x50 wall beam with 3 stainless steel 100mm x 40mm L's with ex 50x50 timber.



Central Heating & Hot Water
 Install central heating with Bosch Greenstar 28i Junior combi boiler with DT20RF thermostat with twin channel programmer. With one radiator in each of:
 1 Small Bedroom
 2 Big Bedroom
 3 Loo
 4 Lounge
 5 Bathroom (CH heated towelrail with electric heating element all connected)
 6 Kitchen
 7 Reconnect hot water system to new boiler
 NB: Run some pipes through cupboard under stairs in bottom floor

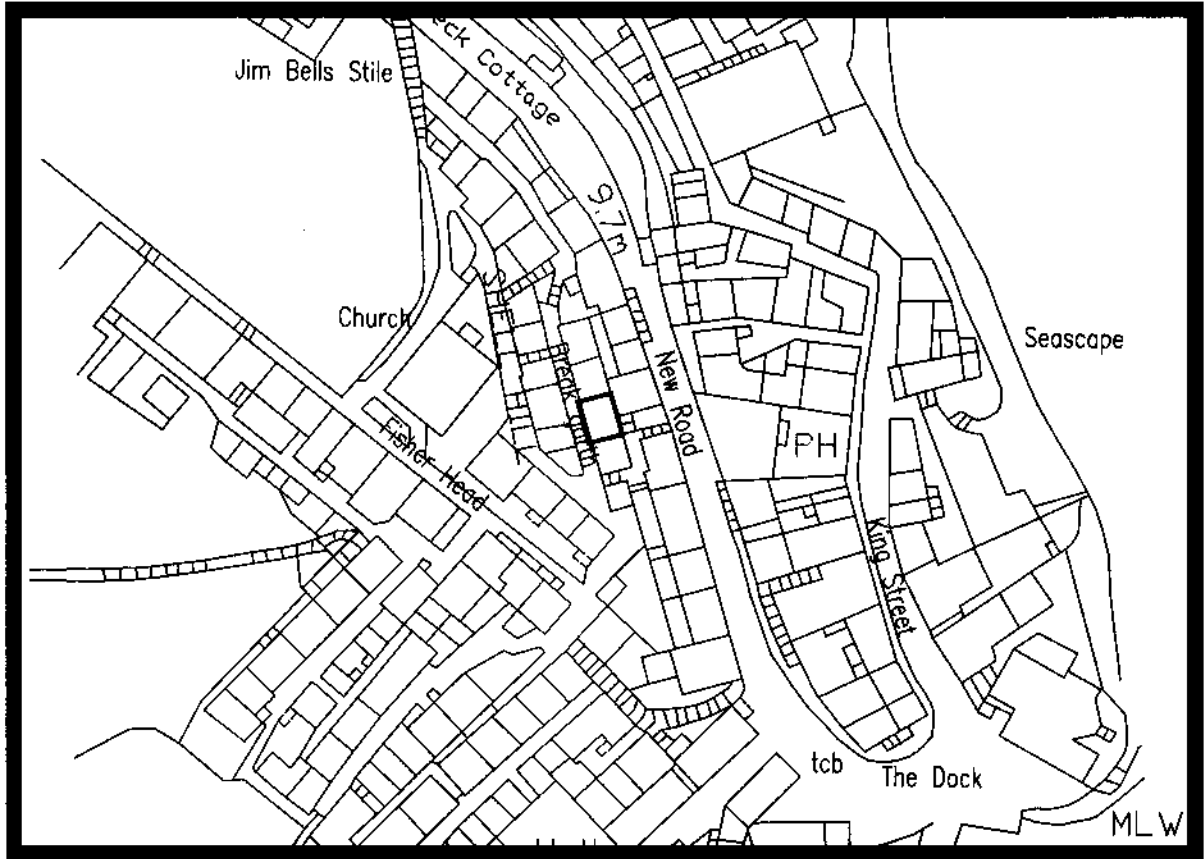
Electrics
 Install new MK Sentry Split Consumer Unit with mcbs. Replace meter tails in 25mm² wire. Remove storage heaters and all redundant fuse spurs, wiring and fuse boxes. Use wiring from storage heaters on top two floors to turn the radial feeds into rings. Install new 12V tungstone lighting in bathroom ceiling. Install extract fans that come on when lights are on in bathroom and loo both vented to outside. Loo vent to be through gable end wall. Install extract fan in kitchen that comes on for 15 mins every 6 hours vented to outside next to window. Install three mains connected smoke detectors on all three floors to comply with Regs to rent cottages. Install all earthing wiring needed for all equipotential and supplementary bonding required

REV	DATE	BY	AMENDMENT	CHKD	APPD
B	26/01/07	CE	ALTERED TO SUIT CLIENT		
A	15th JAN 07	CSB	ISSUED FOR CLIENT COMMENT		

b h d partnership
 Airy Hill Manor, Whitby, North Yorkshire, UK, YO21 1QB.
 Tel: 01947-604871 Fax: 01947-600010
 general@bhdpartnership.com www.bhdpartnership.com

DISCIPLINE:	ARCHITECTURAL		
CLIENT:	MR IAN COOK		
PROJECT:	ROMA COTTAGE, BREAK GARTH, RHB		
TITLE:	MINOR ALTERATIONS EXISTING & PROPOSED PLANS & ELEVATIONS		
DRAWN:	CSB	CHECKED:	APPROVED:
SCALE & SIZE:	1:50 @ A1	DATE:	15th JAN 07
DRAWING STATUS:	PRELIMINARY		REV: B
DRAWING No:	D8799-01		

NYM/ 2007 / 0 1 5 / L B



location plan
1:1000

NYMNPA
22 FEB 2007

b h d partnership <small>Any Hill Manor, Waffry, North Yorkshire, UK YO21 1QB. Tel: 01947-604871 Fax: 01947-600010 general@bhdpartnership.com www.bhdpartnership.com</small>		CLIENT: Mr I Cook		DRAWING TITLE: Location Plan	
		PROJECT: Refurbishment of Roma Cottage Break Garth Robin Hoods Bay		A4	DRN: NID
				SCALE: 1:1000	ISSUE: PROVISIONAL
A	12.02.07	NID	ISSUED FOR APPROVAL	DRAWING NR: D8799-02	
REV	DATE	BY	AMENDMENT	CHKD	APVD
					REV: A



PH

North York Moors National Park

Listed Building Consent
Application Form

Please read the leaflet *How to fill in your Listed Building Consent Application Form* before completing this form.

For office use only	
Ref:	071154
Date Received:	
Grid ref:	NT 98266 04917

SECTION 1 YOUR DETAILS

1. Applicant	2. Agent
Name <u>Ian Cook</u>	Name <u>Bhd partnership Ltd</u>
Address <u>11 Fforedd Cwys</u>	Address <u>Airy Hill Manor</u>
<u>Bangor</u>	<u>Whitby</u>
<u>Wales</u>	
Post Code <u>LL57 2NT</u>	Post Code <u>YO21 1QB</u>
Tel No	Tel No <u>01947 604871</u>

3. Full postal address of the building(s) for which consent is being sought

Roma Cottage

Break Garth

Robin Hoods Bay

YO22 4SS

NYMNP
22 FEB 2007

4. Existing use of buildings

Residential

SECTION 2 YOUR PROPOSAL

5. Brief description of the proposed works

Refurbishment to cottage

See drawing DB799-01B for details

6. Type of application (please tick at least one box)

- A. Application for works including partial or total demolition of a Listed Building.
- B. Application for alteration ~~or extension~~ of a Listed Building.
- C. Application for works to the interior only of a Grade II (unstarred) Listed Building.
- D. Application for variation or discharge of conditions of an existing Listed Building Consent.

7. Full description of the proposed works

See D8799-01B

8. Details of materials for construction and finishes

	Existing	Proposed
Chimneys	_____	<u>Render</u>
Roof finish	<u>Pantiles</u>	<u>-</u>
Rainwater goods	<u>Cast</u>	<u>-</u>
Walls	<u>Render</u>	<u>-</u>
Windows	<u>Timber</u>	<u>-</u>
Doors	<u>Timber</u>	<u>-</u>
Shop front	_____	_____
Internal features	_____	_____

SECTION 3 WHAT YOU NEED TO INCLUDE WITH YOUR APPLICATION

9. Plans

Please list below the plans, sections, elevations, photographs, schedules etc. which are included with this application.

D 8799-01B & location plan

NYMNP A
22 FEB 2007

10. Declaration

I/We* hereby apply for Listed Building Consent in accordance with the above details and the accompanying information. (*delete as necessary)

Signed: bhd partnership Ltd W/D (Applicant/Agent*)

On behalf of: Mr I Cook (Applicant)

Date: 12.02.07

11. Certificates

You are required to complete an ownership certificate, usually either Certificate A or Certificate B. Please cross out the one which does not apply.

Please note that it is an offence knowingly to make a false declaration.

CERTIFICATE A

I hereby certify that:

No person other than myself/the applicant* was an owner† of the building(s) to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

Signed: bhd partnership Ltd N/D
* On behalf of: Mr I Cook
Date: 12.02.07
*delete where inappropriate

CERTIFICATE B

I hereby certify that:

I have/the owner has* given the requisite notice to all persons other than myself/the applicant* who, 21 days ending with the date of the accompanying application were owners of the building to which the application relates, viz.

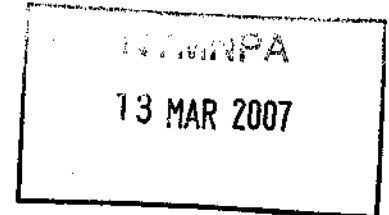
Owner's name: _____
Address: _____

Date on which notice was served: _____
Signed: _____
* On behalf of: _____
Date: _____

NYMNPA
22 FEB 2007

* delete where inappropriate
† 'owner' means a person having a freehold interest or a leasehold interest the unexpired term of which is not less than 7 years.

DESIGN & ACCESS STATEMENT
MAINTAINANCE AND REFURBISHMENT OF
ROMA COTTAGE, BREAK GARTH, ROBIN HOODS BAY
FOR
MR. I. COOK



b h d partnership ltd

Airy Hill Manor, Whitby, North Yorkshire, YO21 1QB
Tel: 01947 604871 **Fax: 01947 600010**
general@bhdpartnership.com **www.bhdpartnership.com**

1.0 DESIGN

1.1 Context

Roma Cottage is a small traditional dwelling situated on Break Garth in Robin Hoods Bay. The limited access along narrow alleys is typical of a large number of properties in this area.

As the property is Listed alterations however small must be seriously considered to ensure no negative affect on the special Historian nature of Roma Cottage and the surrounding conservation area.

You will see in 1.2 that this application includes a series of minor works with no large changes to the building proposed. This will ensure the original layout and proportions are retained.

1.2 Amount of Development

The amount of work is listed on D8799-01 Rev B and annotated on the Plans and Elevations of the property to avoid any confusion of location or extent of the works.

The larger elements of the work include a refurbishment of the ground floor bathroom and provision of a first floor en-suite.

Whilst being very small the ground floor bathroom retains its existing walls to ensure minimal alteration. The first floor en-suite is to be formed at the end of a bedroom. This is the only required change to the layout of the property.

Externally it is proposed to provide a coal bunker and canopy.

The coal bunker will satisfy a number of requirements. It will conceal a gas meter, ensure removal of temporary galvanised steel bunker and of course provide fuel storage.

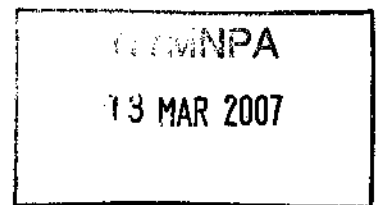
The canopy is a feature prevalent throughout Robin Hoods Bay on many similar cottages.

1.3 Scale

The scale of the works is minimal.

1.4 Landscaping

Due to the limited nature of the site landscaping is nil.



1.5 Appearance

The external envelope of the cottage is to remain as close to the existing as possible whilst recognising that progress and evolution of habitation of dwellings will inevitably demand change.

The alterations previously mentioned have received serious consideration and measures to reduce impact have been incorporated during the design process.

The coal bunker described in 1.2 will satisfy a number of roles. The materials chosen for construction i.e. render and mineral felt finish are both subtle and low key to avoid conflict with the main cottage

The canopy above the front door will follow the traditional design apparent throughout Robin Hoods Bay and therefore appears natural in its setting.

New vent grills have been kept to a minimum and will be painted to blend into the background material.

2.0 ACCESS

2.1 Access remains as existing. No alteration is practical or desirable in this situation.

