

SECTION 4 BUSINESS, RETAIL OR OTHER COMMERCIAL USE

18. Proposed use

Which of the following is involved in the development?

Business Retail

Other (please specify)

If industrial, please describe the process

Is the proposal part of a larger scheme? YES / NO (delete as appropriate)

19. Floor space

Please provide the measurements of the following:

Total floor space of all buildings to which this application relates

Industrial floor space

Office floor space

Retail trading floor space

Storage floor space

Warehouse floor space

Other

Existing m² Proposed m²

20. Employment

a) How many staff in total will be employed on the site as a result of the proposed development?

b) How many of the employees will be new staff?

c) If staff are to be transferred from other premises, how many will be affected?

Industrial Other

21. Car parking

How many car parking spaces are to be provided?

22. Traffic

How many vehicles will be visiting the site each day?

23. Hazardous materials

Please read Note 23 in the accompanying booklet. Does the proposal involve use or storage of hazardous materials? YES / NO (delete as appropriate) If YES, please state which materials.

Please go back to Section 5 on page 2

Please send to: The North York Moors National Park, The Old Vicarage, Helmsley, York YO62 8



For office use only

Ref: NYM/ 2007 / 0614/CU

Admin Ref: 07/014

Date valid:

Grid ref:

SECTION 1 YOUR DETAILS

1. Applicant

Name Mad Mrs P. Heaven

Address 44, GAP ROAD, Hunmanby Gap, N Yorks

Post Code YO14 9QP

Tel No

2. Agent

Name M. DALE

Address 76 25, Alma Square Scarborough N. Yorks

Post Code YO11 1JR

Tel No

NYM/ 2007 / 0614/CU

13 JUL 2007

3. Applicant's interest in the land

OWNER

SECTION 2 YOUR PROPOSAL

4. Full postal address or location of the application site

COB FARM (AKA. Wolfeld Tracking Centre) Staintondale Road, Ravensay, N Scarborough

5. Applicant's interest in adjoining land

land area edged Red.

6. Brief description of proposed development

Location of a Mobile Home or Static Van for Owners' Useage within Storage Barn (as living accommodation)

SECTION 3 YOUR APPLICATION

7. Type of application (please tick ONE box only)

- A. Full application including building works
B. Application for change of use (no building works)
C. Outline application
D. Reserved matters application
E. Removal or variation of condition
F. Renewal of temporary permission

go to Question 12
go to Question 12
go to Question 8
go to Question 9
go to Question 10
go to Question 11

8. Outline Application

What is the area of the site?

Please tick those details which you wish the Planning Committee to consider formally at this stage.

- Layout Scale Appearance Access Landscaping None

go to Question 12

9. **Reserved Matters Application**

Date of outline permission _____ Application No _____
 Please tick those details which you wish the Planning Committee to consider formally at this stage.
 Layout Scale Appearance Access Landscaping
 go to Question 12

10. **Removal or variation of condition**

Date condition imposed _____ Application No _____
 Condition No _____
 go to Question 12

11. **Renewal of temporary permission**

Date permission granted _____ Application No _____

12. **Use**

What is the building / land used for at present? Barns for Horses Stabling & Storage
 If it is unused at present, what was its last use? As above
 and on what date did it stop being used for this? (if known) _____

13. **Access**

Does your proposal require new or altered access? YES / NO
 If YES, please tick the relevant boxes:
 New access to a road Vehicular Pedestrian
 Altered access to a road Vehicular Pedestrian
 Even if no alterations or changes are being sought, access arrangements will need to be described in the 'design and access statement'.

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14. **Water Supply and Drainage**

Please state (Please tick one box in each section) the method:
 Water Supply Mains Private existing/~~proposed~~*
 Surface Water Disposal Public Surface Water Sewer River/Stream
 Soakaway Other existing/~~proposed~~*
 Foul Sewage Public Foul Sewer Septic Tank Cesspit Other existing/~~proposed~~*
 *delete as appropriate

Note: If foul drainage is not to be via a public foul sewer, a drainage assessment will be required. Please see Question 14 in the accompanying booklet.

15. **Trees**

Does the application involve: Felling or lopping trees YES / NO (delete as appropriate)
 Planting trees YES / NO (delete as appropriate)
 hedgerows

16. **Materials**

Walls Internal Location for Caravan unit within existing Barn
 Roof _____

17. **Is your application for business, retail or other commercial use?**

YES / NO (delete as appropriate) If YES please complete Questions 18 - 23 of Section 4 on page 4 of this form
 If NO go to Section 5

SECTION 5 WHAT YOU NEED TO INCLUDE WITH YOUR APPLICATION

24. **Plans**

Please list below the plans which will accompany this application.
(1) Location plan 6"=1 statute mile, (2) 1:1250 Block Plan (3) 1:100 General Plan

25. **Certificate of Ownership and Agricultural Holdings Certificate**

You are required by law to complete either Certificate A or Certificate B (Ownership) and the Agricultural Holdings Certificate. It is an offence knowingly to make a false declaration.

CERTIFICATE OF OWNERSHIP : A

Complete if you are the owner of the building / land, along with Agricultural Holdings Certificate below.
 I certify that: On the 21 days before the date of the accompanying application nobody, except the applicant, was the owner of any part of the land to which this application relates.

Signed _____ (Applicant/Agent)
 * On behalf of Mr & Mrs P. Heaven (Applicant)
 Date 13 July 2007

CERTIFICATE OF OWNERSHIP : B

Complete if you do not own any or all of the building / land, along with Agricultural Holdings Certificate below.
 I certify that: I have /the applicant has given the requisite notice to everyone else who, on the 21 days before the date of the accompanying application, was the owner of any part of the land to which the application relates, as listed below.

Owner's name _____
 Address at which notice served _____
 Date on which notice was served _____
 Signed _____ (Applicant/Agent)
 * On behalf of _____ (Applicant)
 Date _____

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AGRICULTURAL HOLDINGS CERTIFICATE

This section MUST be completed. Delete either A or B and complete C.
 A. I certify that none of the land to which this application relates is, or forms part of, an agricultural holding.
 B. I have /the applicant has given requisite notice to every person other than myself/himself who, 20 days before the date of the application was a tenant of any agricultural holding any part of which was comprised in the land to which this application relates:

Name of tenant _____
 Address _____
 Date notice was served _____
 C. Signed _____ (Applicant/Agent)
 On behalf of Mr & Mrs P. Heaven (Applicant)
 Date 13 July 2007

26. **I/WE hereby apply for planning permission or approval of reserved matters as described in this application and the accompanying plans. I / We attach:**

- for rural building conversion, any bat survey or structural engineer's report undertaken.
- the necessary plans numbered:
- 'design and access statement'.
- completed, dated and signed Certificate of Ownership (A or B above).
- completed, dated and signed Agricultural Holdings Certificate.
- Flood risk assessment if the development lies in zone 2/3 of the indicative floodplain map.

- the fee of £ 265/00 by cheque/~~postal order~~
 Signed _____ (Applicant/Agent)
 On behalf of Mr & Mrs P. Heaven (Applicant)
 Date 13 July 2007

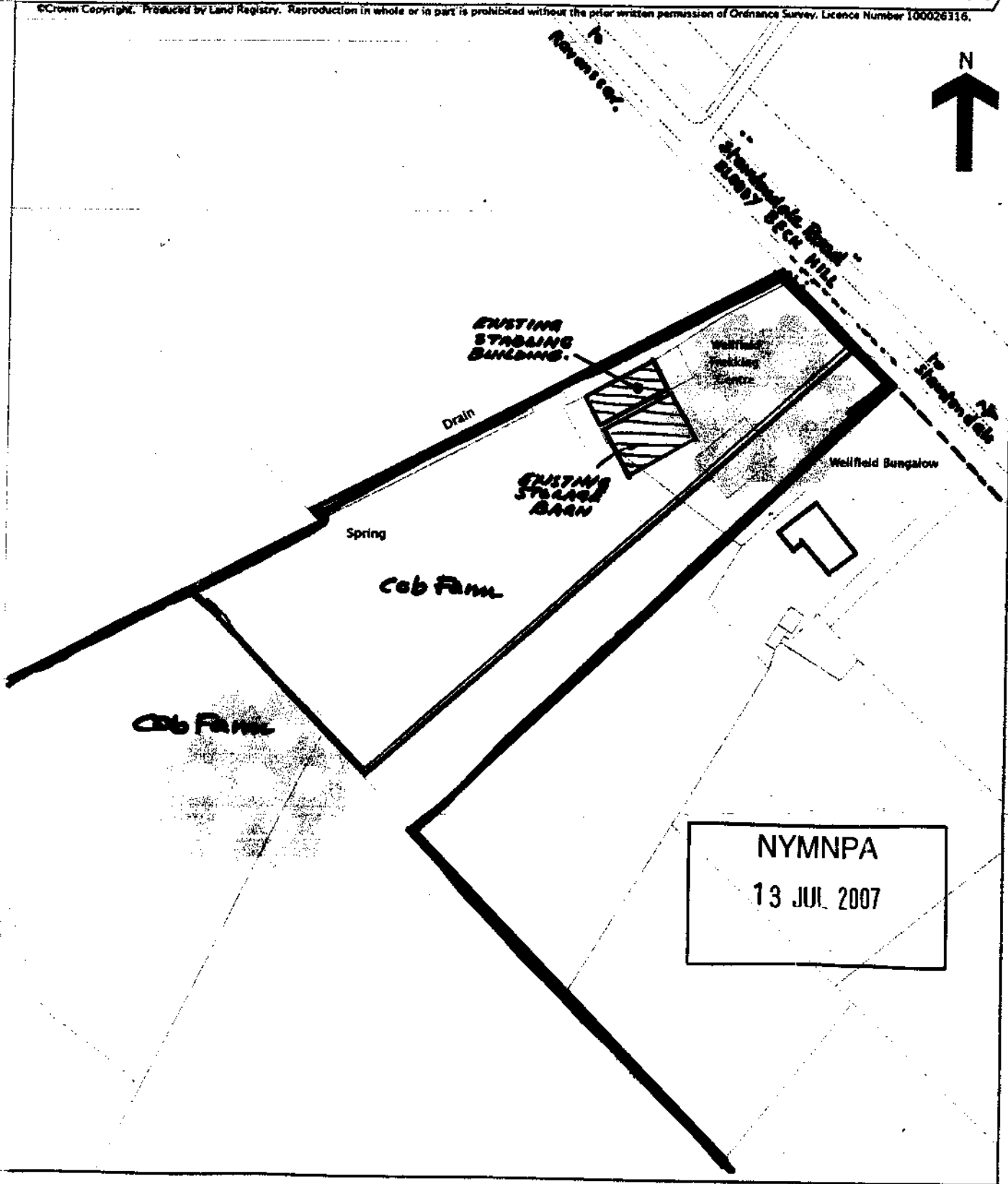
* delete where appropriate

Land Registry
Official copy of
title plan

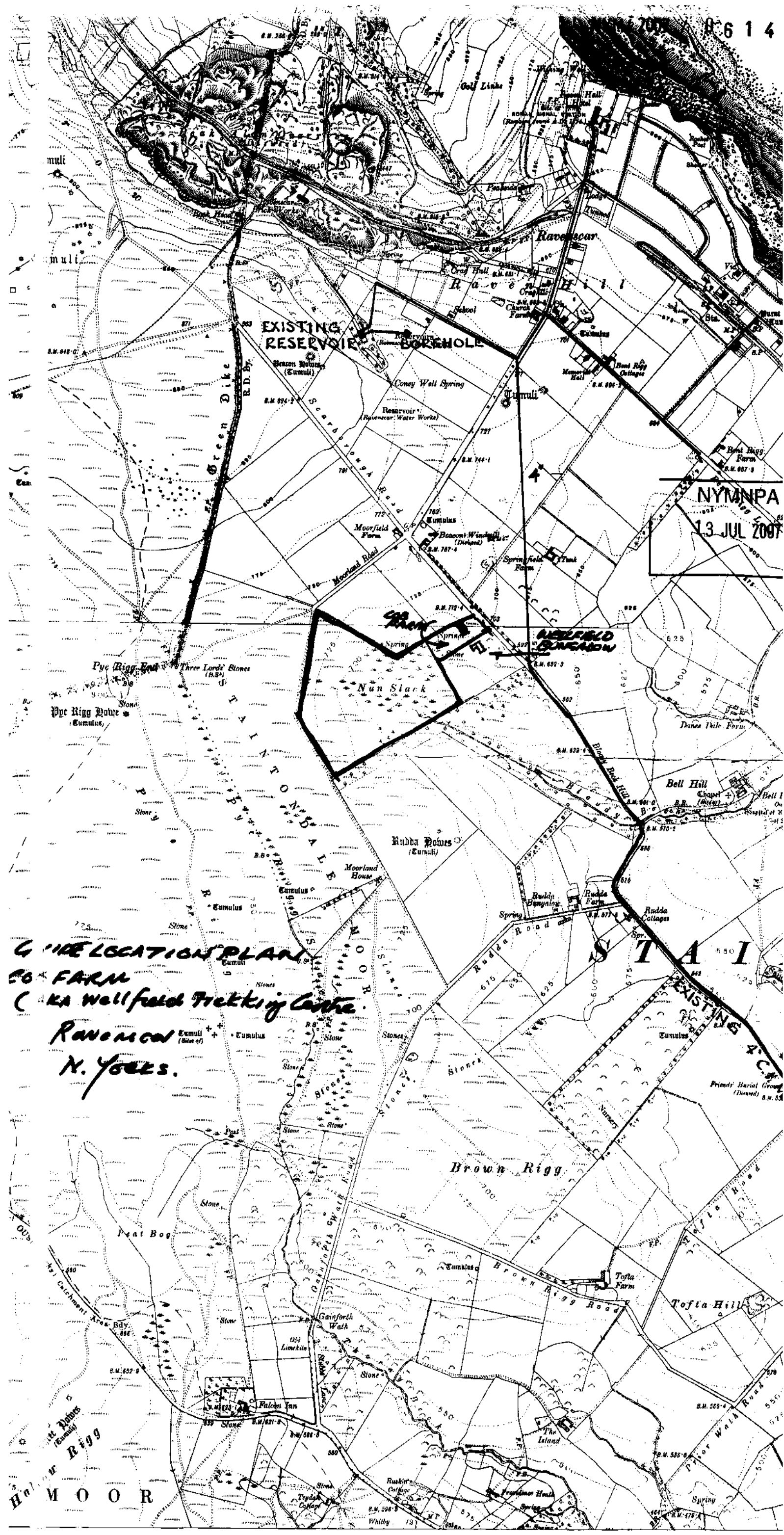
Title number NYK265894
Ordnance Survey map reference NZ9700SE
Scale 1:1250
Administrative area NORTH YORKSHIRE:
SCARBOROUGH



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EXISTING RESERVOIR BOREHOLE

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G.I.R.E. LOCATION PLAN
CO. FARM
 (aka Wellfield Trekking Centre)
Ravenoan
N. Yorks.

EXISTING 2 C.C.

MOOR

PROPOSED SITING OF CARAVAN UNIT FOR DOMESTIC USAGE WITHIN STORAGE BARN UNIT

COB FARM (AKA WELFIELD TREKKING CENTRE) STAINTONDALE ROAD, RAVENSCAR, NR SCARBOROUGH.

FOR MR. & MRS. P. HEAVEN - Scheme Plan. To replace current Caravan within Barn area with increased depth Mobile Home or Static Caravan for use by Applicants. To allow them to live on site so as to be in close proximity to the horses which they care for, to bring the horses back to a good health standard & allow the R.R.C.A to pass them on.

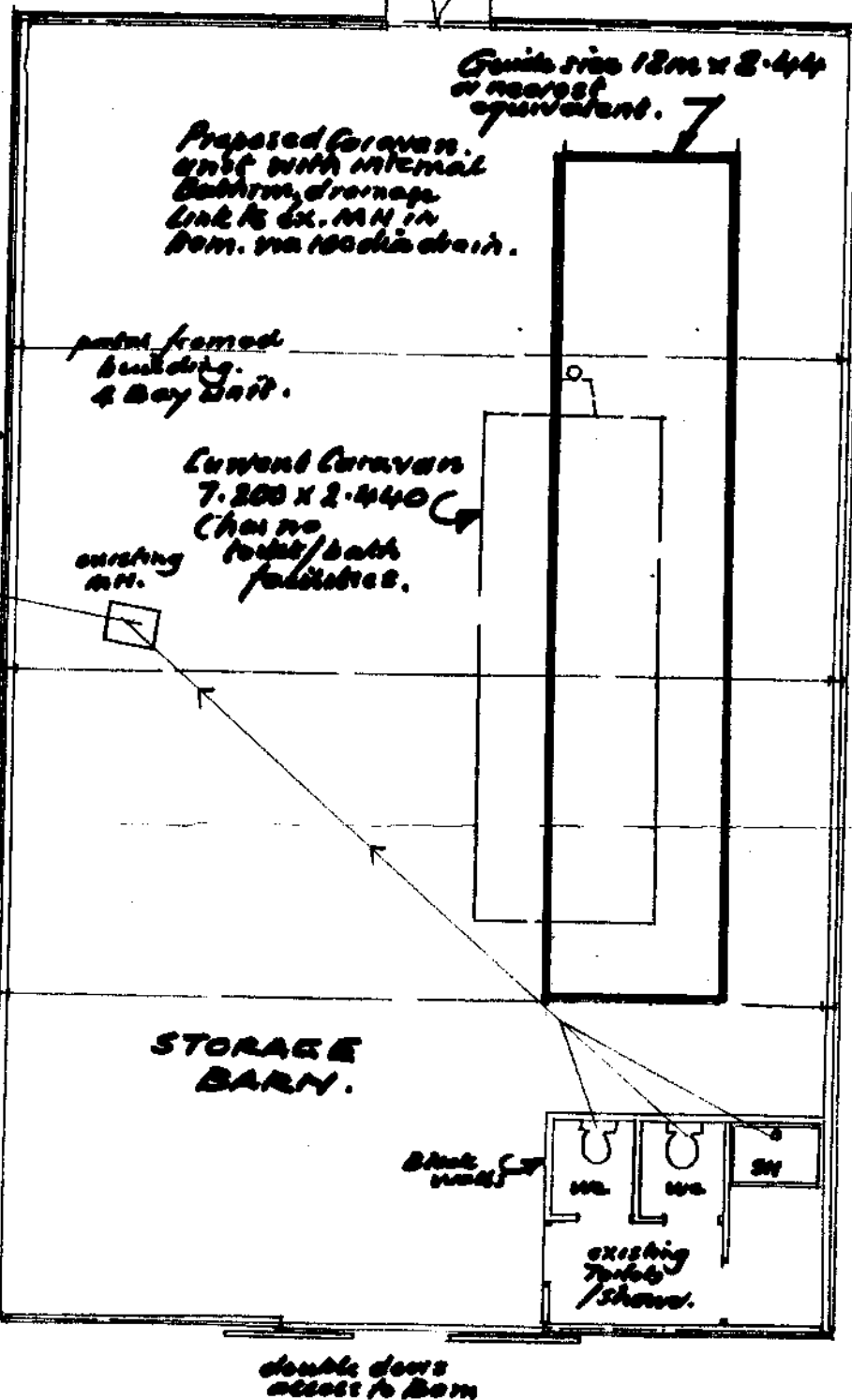
SCALE 1: 100 metric.

Land Area in conjunction with Cob Farm guide Average about 18 acres.

Vertical timber stabling treatment over concrete slabs wall

to existing fully operational septic Tank.

Top paddock area.



NYMNP 13 JUL 20

EXISTING STABLING BUILDING FOR HORSES.

Forced approval

GENERAL LAYOUT PLAN: EXISTING BARNES.

Mobilo J...

North Yorks Moors National Park,
Planning Department.
The Vicarage
Bandyate,
Helmsley.
N. Yorks YO62 5BP.

NYM/2007 / U 6 1 4 1 C U A
M. Sale
% 25 Alma Square
Scarborough.
YO11 1JR.

Design and Access Statement.

Ref. Mobile Home or Static Van. Siting within Storage Barn.
(for domestic use/Living Accommodation).
"Cob Farm". Stauntondale Road, Ravenscar.
NE Scarborough.
For Mr & Mrs. P. Heaven.

The scheme is to provide a possible area (within a Static or Mobile Caravan) as living accommodation for the time being; sited within the current Storage Barn at Cob Farm.

Technically there is no actual design element involved and the current access onto the Stauntondale - Ravenscar Road will be retained.

The proposal is sited within the existing Barn structure to exclude any impact on the overall open landscape effect currently existing at Cob Farm (Aka. Wellfield Training Centre).

Yours faithfully

~~Signature~~

11th July 2007.

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NYM/2007 / 0614 / ~~10~~ HEAVEN D.

PLANNING APPLICATION FOR STATIC / MOBILE
CARRAVAN AT COB FARM RAVENSCAR.

144 GAP ROAD
HUNMANBY GAP
NR FIFEY
NORTH YORKSHIRE
YO14 9QP

13TH July 2007.

Dear Sir or Madam,

FURTHER TO THE CONSTRUCTIVE VISIT OF MRS SAUNDERS
ON THE 19TH JUNE 2007. I AM WRITING TO INFORM THE PLANNING DEPARTMENT
OF THE REASON FOR MY APPLICATION.

OUR MAIN INTENTION IS TO PROVIDE A SECURE AND SAFE HAVEN FOR OUR ANIMALS,
THE LAND IS IDEAL FOR KEEPING HORSES OF WHICH WE HAVE SEVEN. THE MAIN
CONCERN OF MY WIFE AND MYSELF IS THE HORSES WELFARE (SECURE AND SAFETY) WE
HAVE ALREADY HAD ONE INCIDENT WHICH ONE OF THE HORSES HAS BEEN SERIOUSLY
BEEN INJURED, IF WE HAD BEEN LIVING ON THE LAND IN MY OPINION THIS INCIDENT
WOULD NOT HAVE OCCURED AND IF IT HAD WE WOULD HAVE RESPONDED RESULTING
IN LESS SUFFERING OF THE HORSE.

WE ALSO INTENDED TO PROVIDE A SAFE HAVEN FOR HORSES THAT SADLY HAVE BEEN
MISREATED OR ABUSED TO GIVE THEM LOVE AND HAPPINESS ON THEIR ROAD TO RECOVER,
AND THEN GIVE BACK TO THE ANIMAL WELFARE/R.S.P.C.A. FOR RE-HOMING.

MY FAMILY HAVE THIS GREAT OPPORTUNITY TO LIVE A LIFE IN A AREA WE
HAVE BEEN LOOKING AT SINCE I GOT OUT OF ARMY 7 YEARS AGO.

LASTLY I HOPE THIS SHORT LETTER ENLIGHTENS YOU OF OUR INTENTIONS AND LOOK FORWARD
TO A FAVOURABLE RESPONSE

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HEALTH AND HAPPINESS



PAUL HEAVEN.