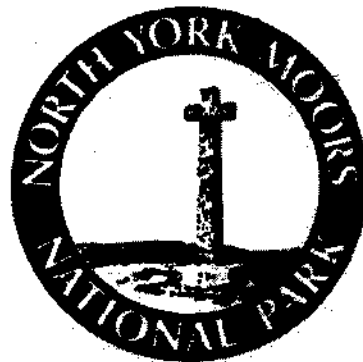


Householder Application

PTT. 07/615



A1. Applicant Details

Organisation

Name

Title	Forename	Surname
Mr	T	Richardson

A1.1 Address Details

Name or flat number

Property number or name

Street

Locality

Town

County

Postal Town

Postcode

A1.2 Communication Details

Telephone No.

Telephone No.	Extn No.
<input type="text" value="REDACTED"/>	<input type="text"/>

Daytime Telephone No.

<input type="text"/>	<input type="text"/>
----------------------	----------------------

Fax No.

<input type="text"/>	<input type="text"/>
----------------------	----------------------

Email Address

DX Number

NYMNPA
13 JUL 2007

A2. Agent Details

Organisation

BHD Partnership

Name

Title	Forename	Surname
Mr	Neil	Duffield

A2.1 Address Details

Name or flat number

Property number or name

Airy Hill Manor

Street

Waterstead Lane

Locality

Airy Hill

Town

Whitby

County

North Yorkshire

Postal Town

Postcode

YO21 1QB

A2.2 Communication Details

Telephone No.

Telephone No.	Extn No.
01947604871	

Daytime Telephone No.

--	--

Fax No.

01947600010	
-------------	--

Email Address

kong.hoang@bhdpartnership.com

DX Number

<p>NYMNPA</p> <p>13 JUL 2007</p>
--

1. Site Address Details

1.1 Address Details

Name or flat number	
Property number or name	New House next to Manor House Farm
Street	Newholm High Street
Locality	Newholm
Town	Whitby
County	
Postal Town	
Postcode	YO21 3QX
UPRN	0
Location	Land adjacent to manor House, Newholm

2. Description of the Proposed Development

Development Description

Erection of single storey store room & Alteration to Conservatory/Garden Room

3. Access

Is existing access affected?	Pedestrian	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
	Vehicular	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Is a new access type proposed?	Pedestrian	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
	Vehicular	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

Disability Access

N/A

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4. Other Information

Does the proposal involve the lopping or topping of trees or the removal of trees, shrubs or hedges? Yes No

5. Public Rights Of Way

Do you propose to alter or divert a Public Right of Way? Yes No
 Is the site adjacent to a Public Right Of Way? Yes No

Describe the proposed alteration of the Public Right of Way

[Empty text box]

6. Materials

Walls

Natural Stone

Roof

Clay Pan tile

Site boundaries (fences, walls, etc.), driveways, paved areas and other hard surfaced areas

N/A

7. Floor Space

Please state the existing floorspace of the building

290

sq.m

Please state the proposed new floorspace

11.5

sq.m

Signature

Electronically submitted; no signature required.

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Certificate B

I certify that:

I have/The applicant has given the requisite notice (Notice No.1) to everyone else who, on the day 21 days before the date of the accompanying application, was the owner of any part of the building/land to which the application relates, as listed below. (Complete and print Notice No.1).

Owner Details

Organisation

Trustees of Mildred Anne Dent

Owner's Name

Title	Forename	Surname
Mr	John Harvey	Richardson

Address at which notice was served

Name or flat number

Property number or name

c/o North Yorkshire Law

Street

Baxtergate

Locality

Town

Whitby

County

North Yorks

Postal Town

Postcode

Date notice was served
(yyyy-mm-dd)

13/07/07

Signatory

Signatory

Title	Forename	Surname
Mr	Neil	Duffield

Signature

Electronically submitted; no signature required.

Date (yyyy-mm-dd)

2007-07-13

Under the provisions of the Planning Acts, if any person issues a certificate which purports to comply with the requirements of this Act and contains a statement which he knows to be false or misleading in a material particular, he shall be guilty of an offence.

Please ensure that the information you have provided is accurate.

<p>NYMNPA</p> <p>13 JUL 2007</p>

**Town and Country Planning (General Permitted Development Procedure) Order 1995
NOTICE UNDER ARTICLE 6
APPLICATION FOR PLANNING PERMISSION**

(Notice 1: This notice is to be printed and served on individuals if Certificate B or C is completed)

Proposed Development at:

Name or flat number

Property number or name

Street

Locality

Town

County

Postal Town

Postcode

Take notice that application is being made by

Organisation

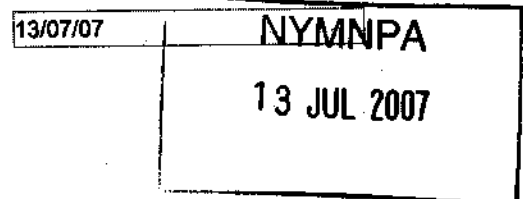
Title	Forename	Surname
Mr	T	Richardson

For planning permission to:

Description of Proposed Development

Local Planning Authority to whom the application is being submitted

Any owner of the land or tenant who wishes to make representations about this application, should write to the Council within 21 days of the date of this notice:



Signatory

	Title	Forename	Surname
Signatory	Mr	Neil	Duffield

Signature

Date (yyyy-mm-dd)

Statement of owners' rights: The grant of planning permission does not affect owners' rights to retain or dispose of their property, unless there is some provision to the contrary in an agreement or lease.

Agricultural Holdings Certificate

None of the land to which the application relates is, or is part of, an agricultural holding. I have/the applicant has given the requisite notice to every person other than my/him/herself who, on the day 21 days before the date of this application was a tenant of an agricultural holding on all or part of the land to which the application relates as follows:

Signatory

	Title	Forename	Surname
Signatory	Mr	Neil	Duffield
Signature	Electronically submitted; no signature required.		
Date (yyyy-mm-dd)	2007-07-13		

Under the provisions of the Planning Acts, if any person issues a certificate which purports to comply with the requirements of this Act and contains a statement which he knows to be false or misleading in a material particular, he shall be guilty of an offence. Please ensure that the information you have provided is accurate.

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Statement of agricultural tenants' rights: The grant of planning permission for non-agricultural development may affect agricultural tenants' security of tenure. Once completed this form needs to be served on the owner(s)

**NYMNPA
13 JUL 2007**

NYMNPA

13 JUL 2007

DESIGN & ACCESS STATEMENT

Additional Store & Revised Garden Room, Manor House Farm, Newholm, Whitby

for

Mr. & Mrs. Richardson

b h d partnership ltd

Airy Hill Manor, Whitby, North Yorkshire, YO21 1QB

Tel: 01947 604871

Fax: 01947 600010

general@bhdpartnership.com

www.bhdpartnership.com

1.0 **DESIGN**

1.0 **Context**

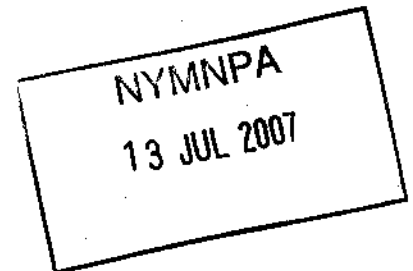
The existing property is a substantial detached two storey dwelling adjacent to Manor House Farm, Newholm.

The proposal consists of a single storey store room to the west, and an altered sun room facing north.

The design of the proposed store room and alterations to the sunroom is relatively traditional and matches that of the main dwelling.

The proposals are considered to satisfy the following policies:-

- E.14 Extension and Alterations to Existing Buildings.
- E.22 Development in Conservation Areas.
- E.23 Detailing in Conservation Areas.
- H.10 Protection of Residential Amenity.



2.0 **Amount of Development**

The store room extension is proposed as being 3.25m long and 3.1m wide which is 10m² in area.

The existing area of the conservatory is 9.6m² and this will be increased to 11.1m²

As a result the total area of the proposed development is 11.5m².

3.0 **Layout**

The proposed store room to the west is stepped back 1.9m from the main building and will be accessed externally from the utility room in the main house. This reflects the position of an existing store room to the north east corner of the building adjacent to the living room.

The door to the store room has been positioned so that there good access from the main house and also from the existing garage. The extension will not form part of the habitable enclosure of the building, and will only be used for storage of gardening equipment.

All the windows and glazed doors will be double glazed and will incorporate quality locks on all windows and 5 level mortice locks and bolts on the doors.

4.0 Scale

The scale of the store room extension is slightly smaller than the existing store room to the north east of the building, therefore it is considered that size of the extension is not out of keeping with the rest of the building. The store has been designed to be subservient to the main house.

Although the area of the new sunroom is larger than the existing conservatory, the physical length and width of the building has not changed. This is because the previous design had an angled bay, and the new design has simply filled in the angle to form a square. Therefore the height of the sunroom will remain the same as the existing conservatory.

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13 JUL 2007

5.0 Landscaping

Due to the small scale of the proposals there is no formal landscaping scheme.

6.0 Appearance

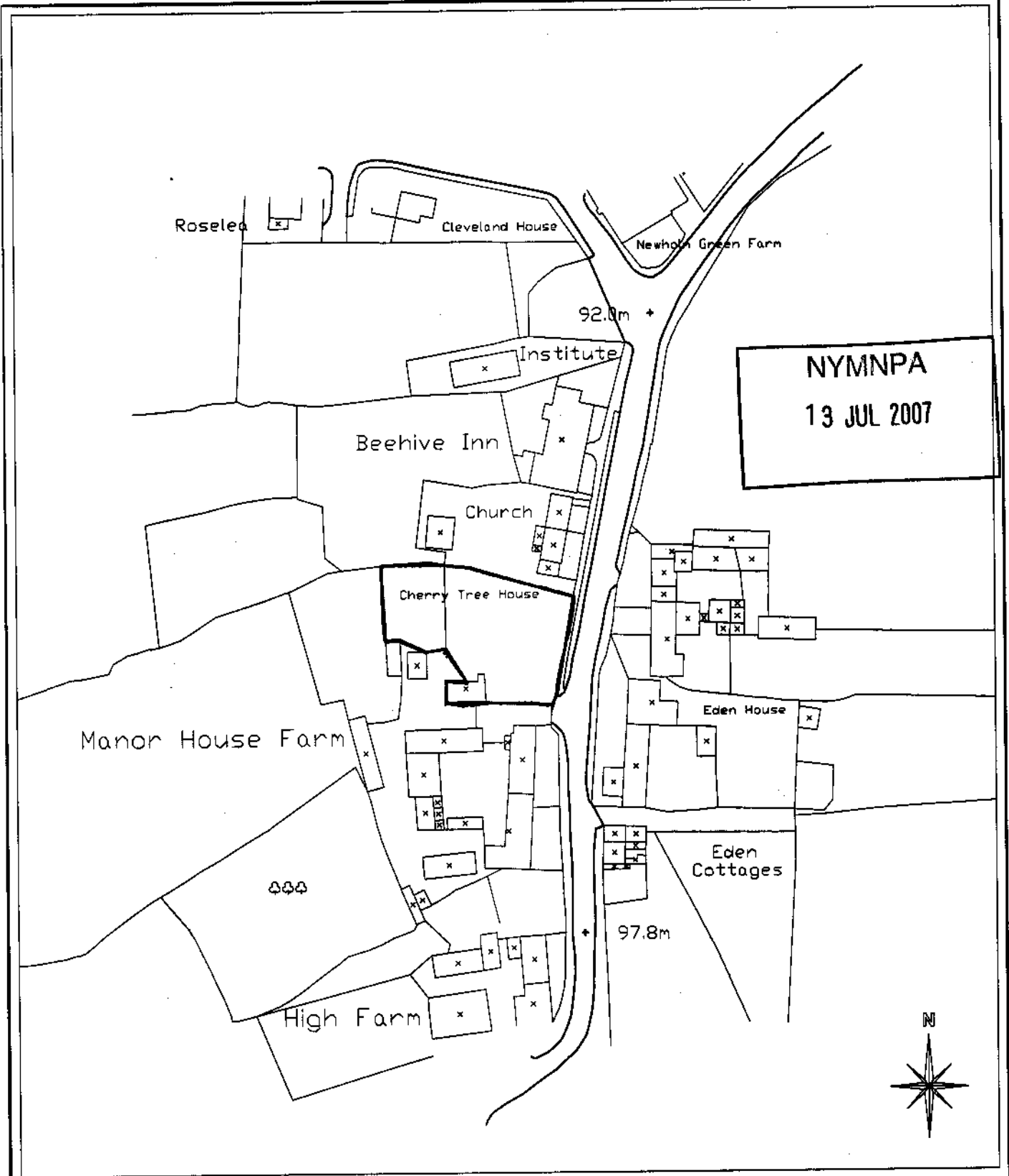
The appearance of the new store room will match the existing store, with stone walls and pan tiled roof, and a solid external timber panelled door will be inserted. The door will incorporate security locks. The sun room will use the same materials as the existing conservatory, which are stone, clay pan tile and timber windows and doors.

7.0 ACCESS

The floor level of the new sunroom will match the existing floor level of the house. The double doors into the sun room will have clear opening of 1500mm.

The door to the store room to the garage to the store room will have a clear opening of 1m. This allows for wheelchair access if necessary.

All switches and sockets in the sunroom will be at an accessible height between 450 and 1050 of finished floor level.



NYMNP
13 JUL 2007

h d partnership
 43ry Hill Manor, Whiteby, North Yorkshire, UK YO21 1QB.
 Tel: 01947-494971 Fax: 01947-490016
 www.hdpartnership.com

CLIENT:
Mr. T. Richardson

PROJECT:
**New Store & Alt. to Garden Rm,
Manor House Frm, Newholm**

DRAWING TITLE:
Location Plan

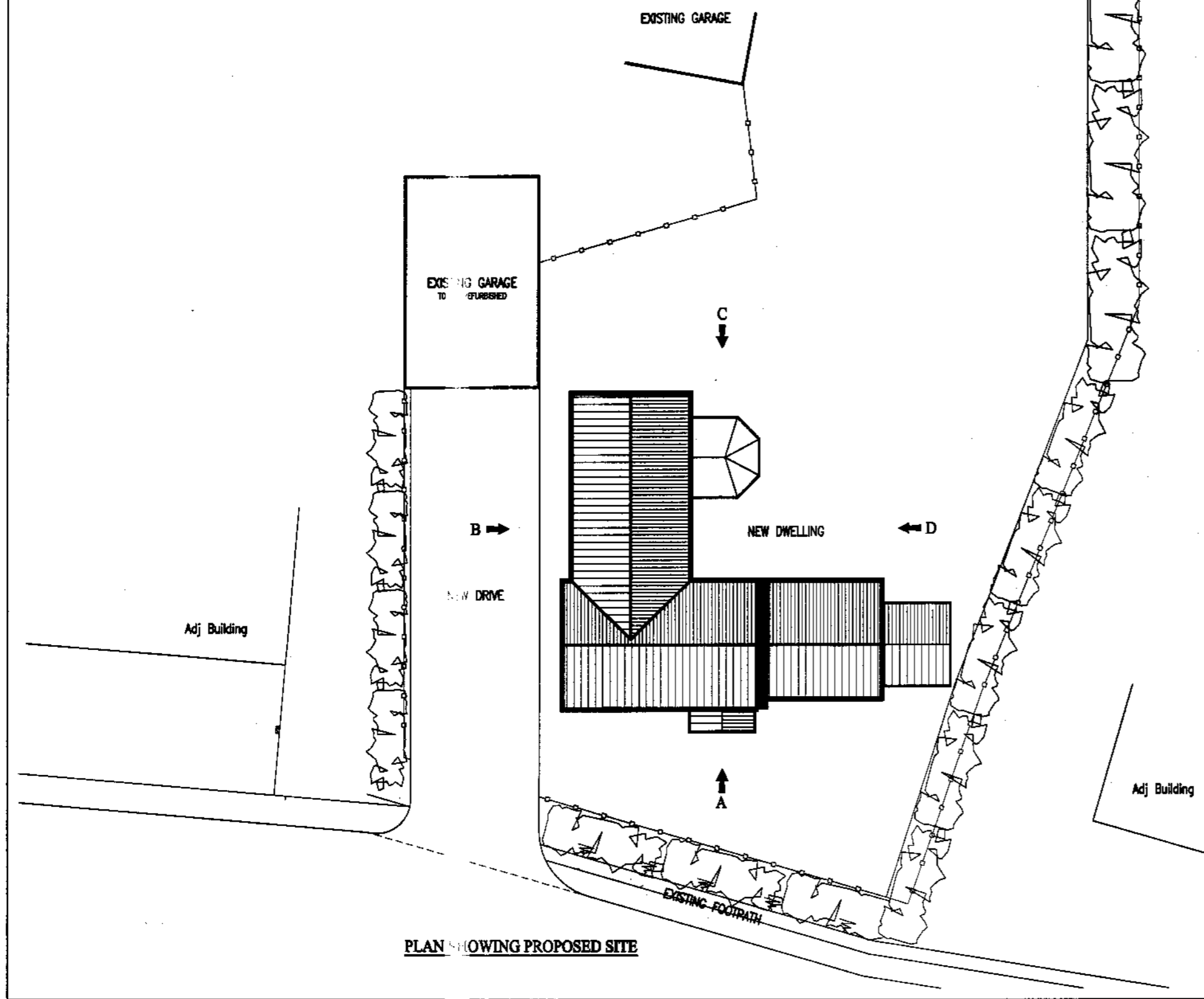
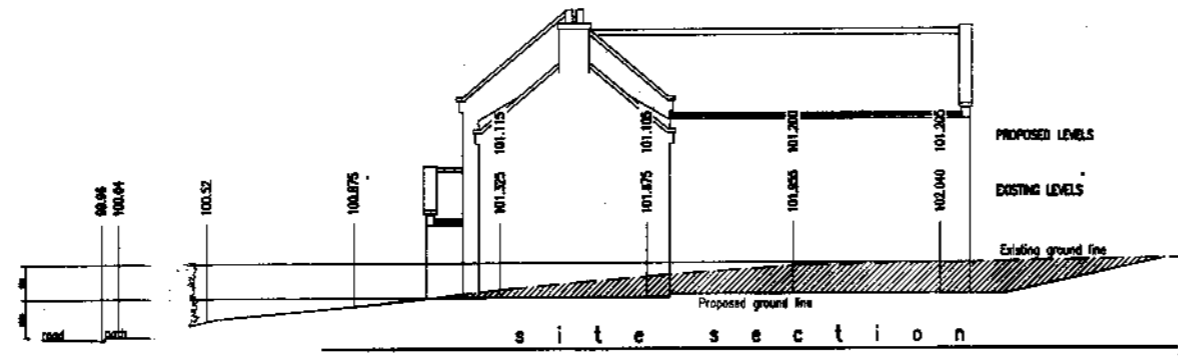
A4	DRN: KH	DATE: JUL 07
SCALE: 1/1250	ISSUE: PRELIM	

REV	DATE	BY	AMENDMENT	CHKD	APVD
	JUL 07	KH	issued for planning		

DRAWING NR: D8908-09	REV: A
--------------------------------	------------------

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 • The Contractor must report any discrepancies before commencing work. If the drawing exceeds the quantities before it is any way, the Contractor is to be informed before work is started.
 • This drawing is the Contractor's (Design and Management) Responsibility 1994 is not to be used as a Health & Safety Plan for any project. This drawing is Copyright and must not be reproduced without consent of BHD Partnership Ltd

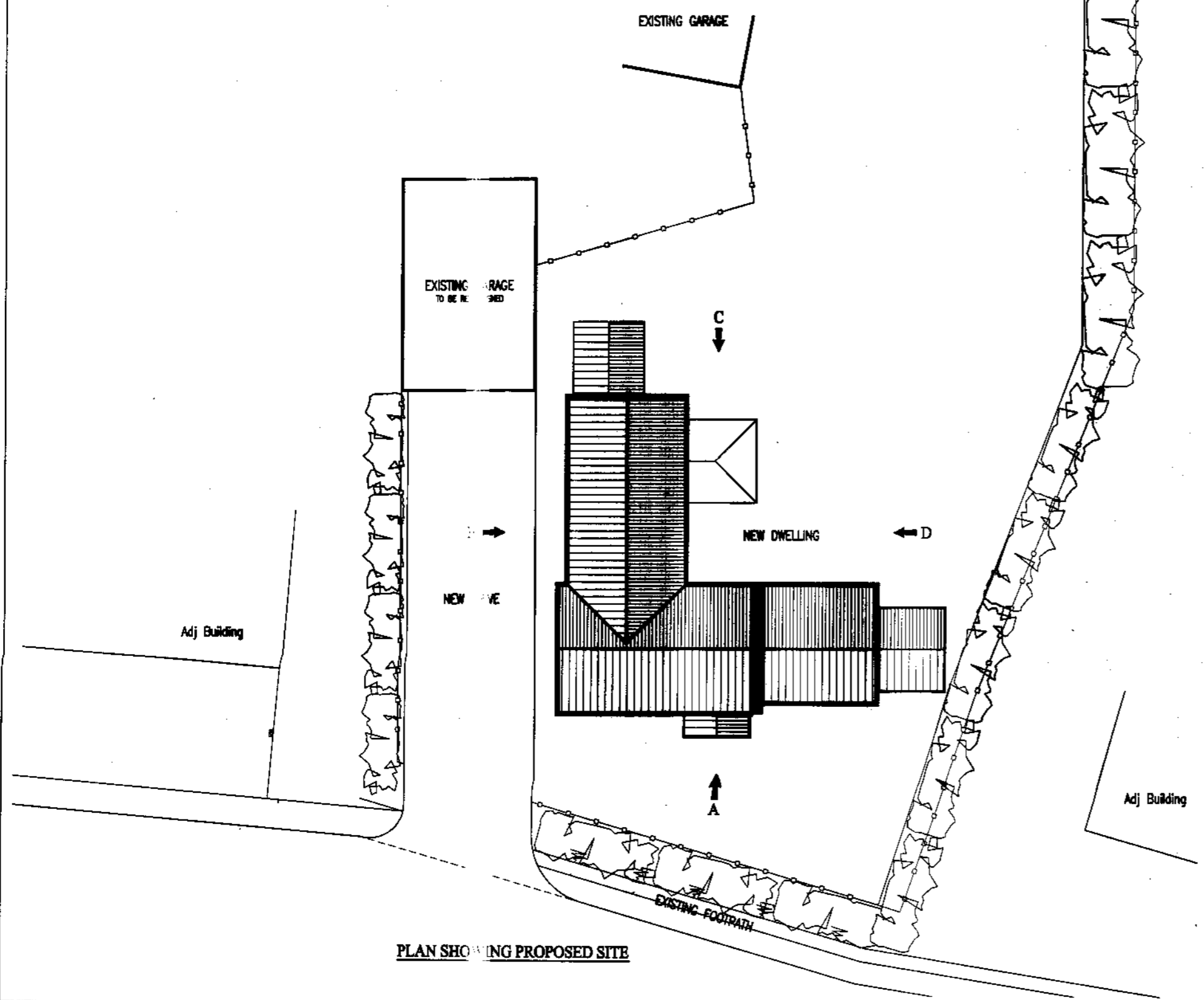
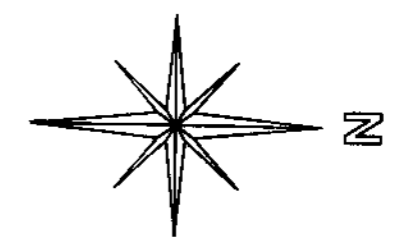
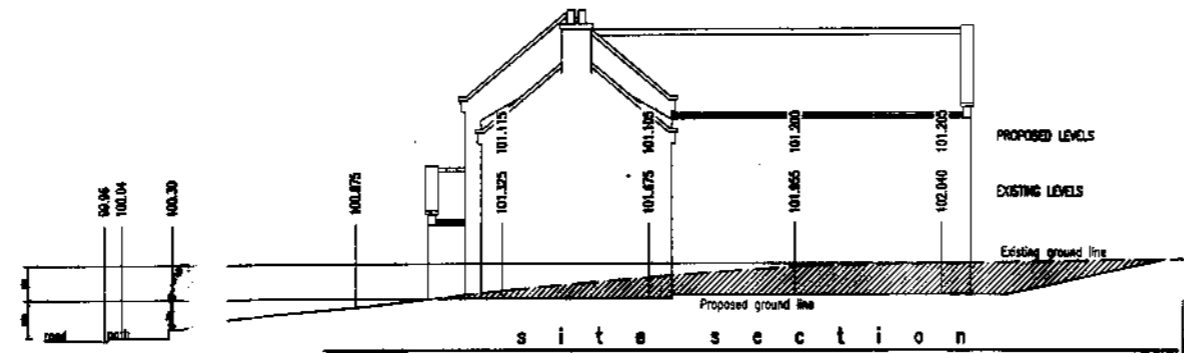
NYMNP
 13 JUL 2007



NO	DATE	BY	CHKD	DESCRIPTION
A	24/02/07	HD	HD	SEND FOR APPROVAL
b h d partnership				
<small> Alty Hill Manor, Widdow, North Yorkshire, UK, YO21 1QR TEL: 01947-004071 FAX: 01947-000010 general@bhdpartnership.com www.bhdpartnership.com </small>				
ARCHITECTURAL				
MR. & MRS. RICHARDSON				
NEW DWELLING MANOR HOUSE FARM, NEWHOLM				
EXISTING SITE PLAN				
N. DUFFIELD	N. DUFFIELD			
1:100 @ A1/ 1:200 @ A3	Feb 2007			PRELIMINARY
D8908-06				A

* DO NOT SCALE from this drawing. Only Approved dimensions are to be taken from this drawing.
 * The Contractor must verify all dimensions on site before commencing any work or any drainage.
 * The Contractor must report any discrepancies before commencing work. If this drawing contains the quantities taken in any way, the Contractor is to be allowed before work is allowed.
 * This drawing is for construction purposes only and is not to be used for any other purpose. This drawing is Copyright and must not be reproduced without consent of bhd Partnership Ltd.

13 JUL 2007



PLAN SHOWING PROPOSED SITE

DATE	13/07/07	BY	...
DATE	13/07/07	BY	...
DATE	13/07/07	BY	...

bhd partnership
 Aly Hill Manor, Whiby, North Yorkshire, UK, YO21 1QR.
 Tel: 01947-604771 Fax: 01947-600819
 general@bhdpartnership.com www.bhdpartnership.com

ARCHITECTURAL

MR. & MRS. RICHARDSON

NEW DWELLING
 MANOR HOUSE FARM, NEWHOLM

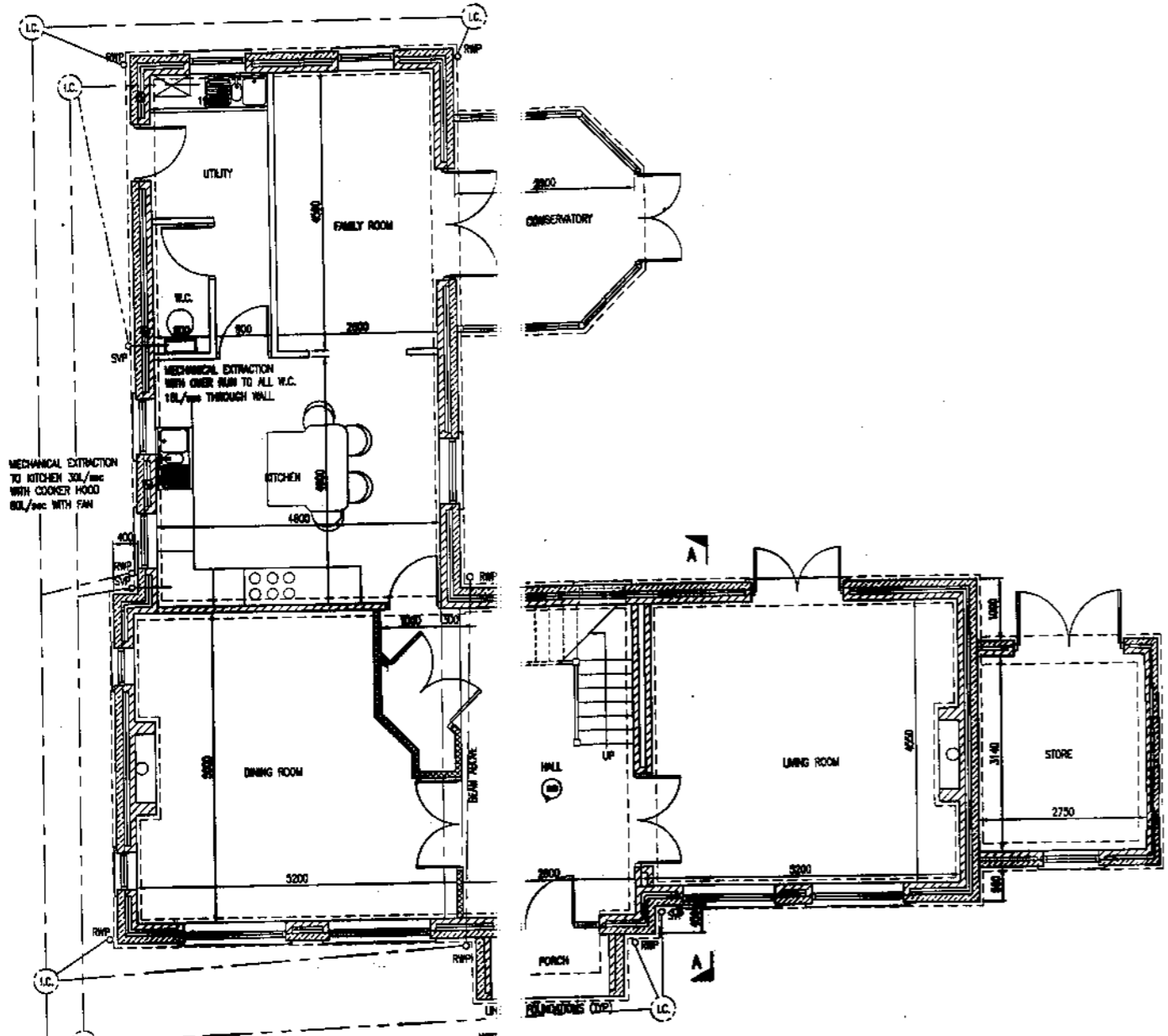
PROPOSED SITE PLAN

N. DUFFIELD	N. DUFFIELD
1:100 @ A1 / 1:200 @ A2	Feb 2007
FIELDINARY	

D8908-01 C

• DO NOT SCALE from this drawing. Only agreed dimensions are to be taken from this drawing.
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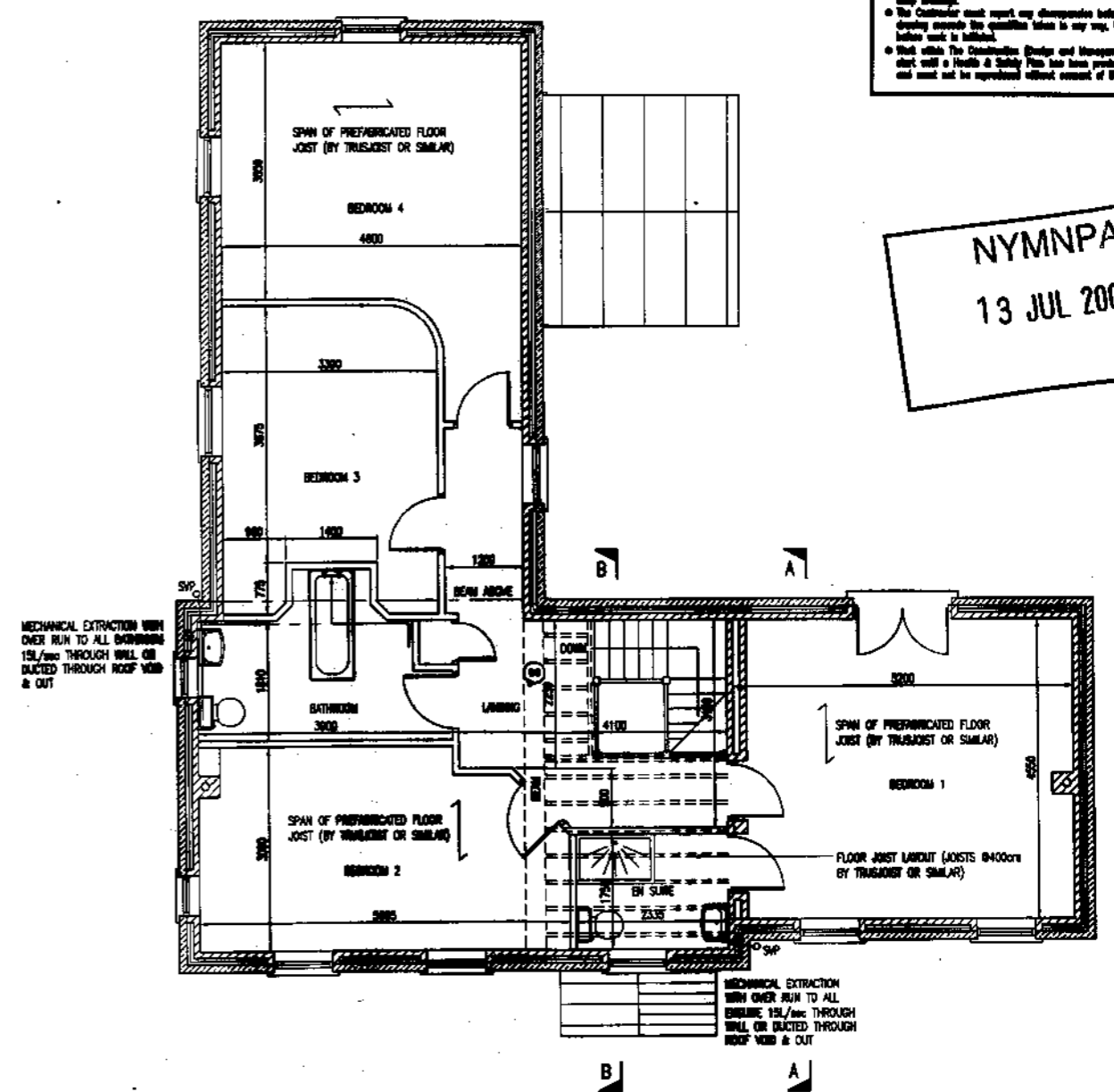
NYMNP
 13 JUL 2007



GROUND FLOOR PLAN

NOTE: CONTRACTOR TO VERIFY & DETERMINE SUITABILITY FOR EXISTING NEW DRAINAGE INTO EXISTING SEWER, DETERMINE FUTURE RUNS & MAKE NECESSARY CONSULTANTS

NOTE: CONTRACTOR TO BE AWARE OF ANY UNDERGROUND SERVICES & INVESTIGATE SITE PRIOR TO EXCAVATION BEING THE NECESSARY ACTION WITH ANY PUBLIC AGENCIES TO DETERMINE SUITABILITY FOR CONVEYING INTO/RE-USE



FIRST FLOOR PLAN

DRAINAGE KEY:
 - - - - DENOTES SURFACE WATER
 - - - - DENOTES FOUL WATER

WALL TYPE KEY:
 [Pattern] 120mm FACING STONE
 [Pattern] 100mm SOLID CONCRETE BLOCKWALL 7W/m²
 [Pattern] 100mm NON LOAD BEARING CONCRETE BLOCKWALL
 [Pattern] INSULATED TIMBER STUD WALL 75x50mm STUDS @400mm VERTICAL & 1200mm HORIZONTAL CENTRES. 75mm QUILT INSULATION

NOTES:
 ALL LEVELS TO BE NEW IN CONFORMANCE WITH SCHEDULE OF WORKS IN DRAWING No. 0820-01A,7,2,8,10
 ALL LIGHT SOCKETS TO BE BETWEEN 450 & 1200mm ABOVE FINISHED FLOOR LEVEL. L.E. SOCKETS 450mm & LIGHT SWITCHES 1100mm.
 ALL DOORS TO THE MAIN DOOR TO BE LEVEL OR AT A MAX. GRADIENT TO THE MAIN DOOR TO BE LEVEL OR AT A MAX. GRADIENT
 ALL DOORS TO HAVE A MIN CLEAR WIDTH OF 800mm.
 ALL DOORS (GROUND FLOOR) TO HAVE A MIN CLEAR WIDTH OF 800mm. DOORS OR SIMILAR APPROVED
 ALL COMBINATION BOILER TO PROVIDE HOT WATER & CENTRAL HEATING. ALL RADIATORS TO BE FITTED WITH THERMOSTATIC VALVES.
FIRE DETECTION:
 (S) SMOKE ALARMS TO BE WIRED IN SERIES TO DEDICATED FUSE
LIGHTING:
 ENERGY EFFICIENT ONLY FITTINGS TO LIVING & DINING ROOM, HALL AND LANDINGS
WATER SERVICES:
 CLIENT TO OBTAIN INFORMATION FROM SERVICE UTILITIES TO SITE ANY EXISTING & ALL PROPOSED SERVICES.
WINDOWS:
 ALL ROOMS TO HAVE AT LEAST ONE WINDOW TO COMPLY WITH BUILDING REGULATIONS ESCAPE WINDOW. I.E. MIN CLEAR WIDTH 450mm & MIN 0.33m² CLEAR AREA.
 (E) MECHANICAL EXTRACTION
 FD = 30 MIN FIRE DOORS WITH SELF CLOSER

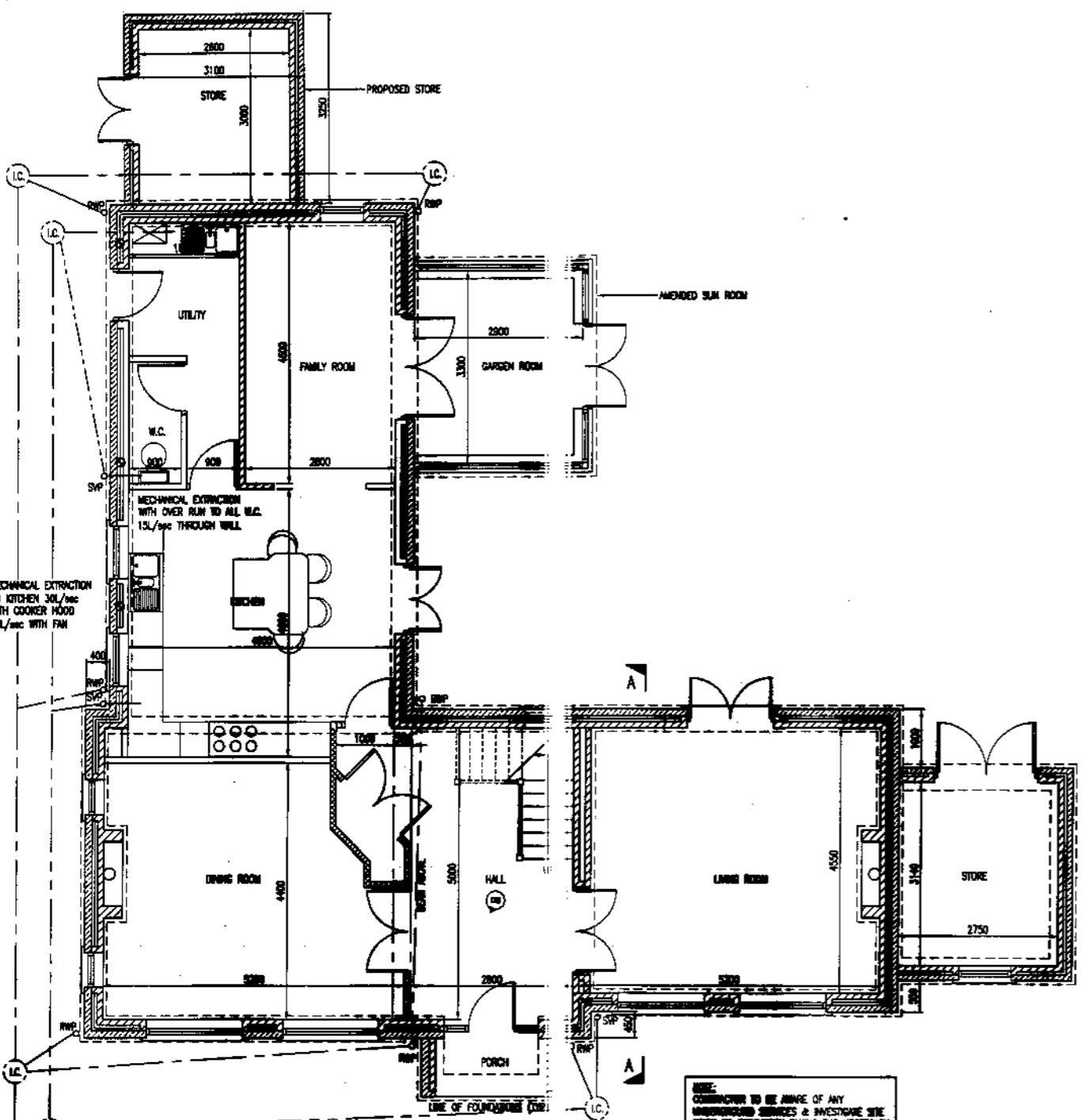
A		B		C		D		E		F	
1:100		1:100		1:100		1:100		1:100		1:100	
DATE		DATE		DATE		DATE		DATE		DATE	
1:100 @ A1/1:200 @ A3		1:100 @ A1/1:200 @ A3		1:100 @ A1/1:200 @ A3		1:100 @ A1/1:200 @ A3		1:100 @ A1/1:200 @ A3		1:100 @ A1/1:200 @ A3	
JUL 2007		JUL 2007		JUL 2007		JUL 2007		JUL 2007		JUL 2007	
PRELIMINARY		PRELIMINARY		PRELIMINARY		PRELIMINARY		PRELIMINARY		PRELIMINARY	
D8908-08		D8908-08		D8908-08		D8908-08		D8908-08		D8908-08	
A		A		A		A		A		A	

bhd partnership
 155 High Street, Woking, Surrey, GU24 0JF, UK, T011 100
 Tel: 01947-804071 Fax: 01947-804070
 general@bhdpartnership.com www.bhdpartnership.com

ARCHITECTURAL
MR. & MRS. RICHARDSON
NEW DWELLING
MANOR HOUSE FARM, NEWHOLM
PROPOSED FLOOR PLANS

DO NOT SCALE from this drawing. Only agreed dimensions are to be taken from this drawing.
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 The Contractor must report any discrepancies before commencing work. If this drawing exceeds the quantities taken in any way, the Technician is to be informed before work is initiated.
 This drawing is drawn in accordance with the Building Regulations 1991 as not to start work until a Health & Safety File has been prepared. This drawing is Copyright and must not be reproduced without consent of BHD Partnership Ltd.

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 13 JUL 2007



NOTE: CONTRACTOR TO LOCATE & DETERMINE SUBGROUNDS FOR CONNECTING NEW SWIMMING AND EXISTING SYSTEM, DETERMINE FUTURE RUNS & LINES WITH SOFT CONSULTANTS

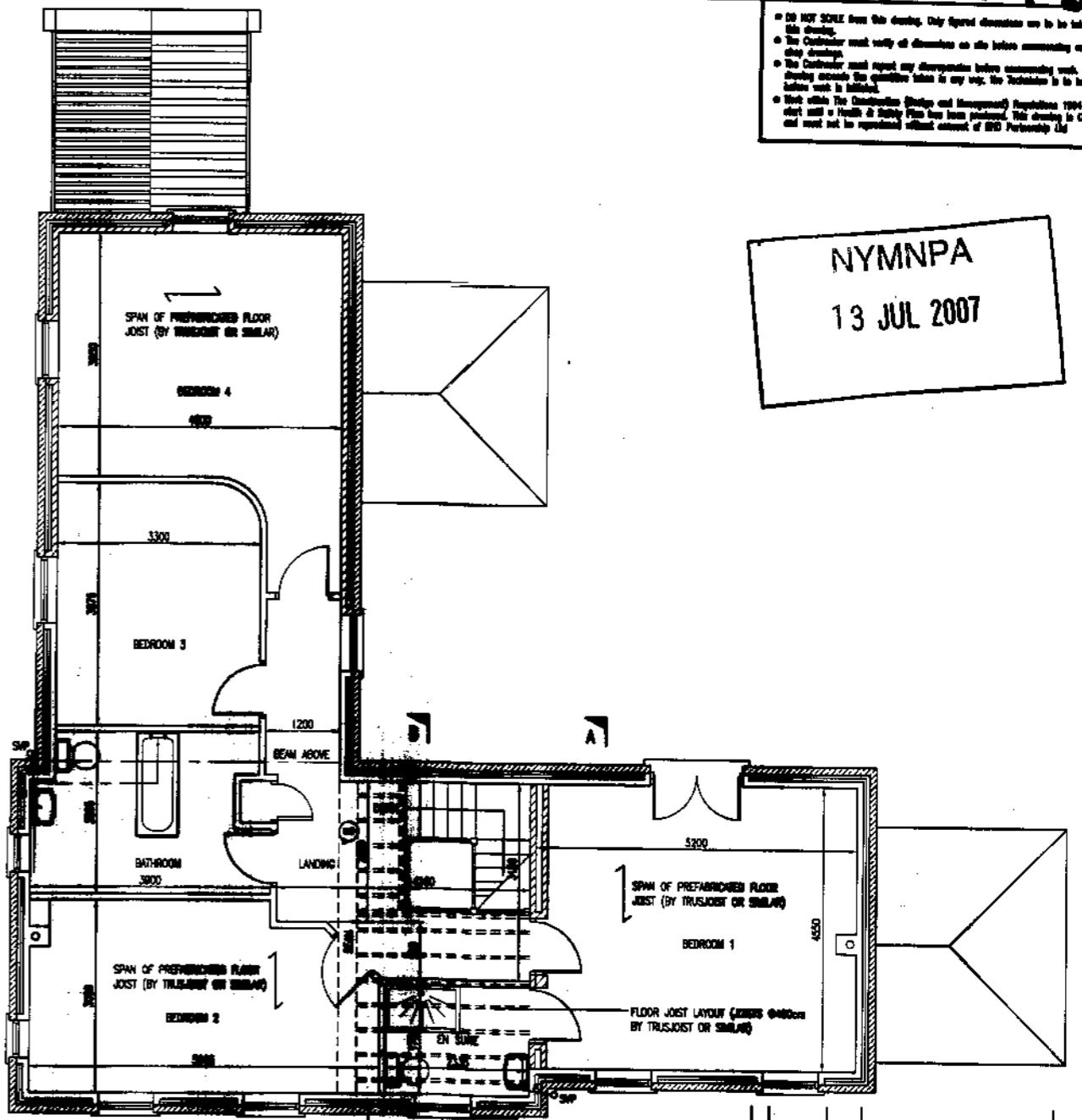
NOTE: CONTRACTOR TO BE AWARE OF ANY UNDERGROUND SERVICES & INVESTIGATE SITE PRIOR TO COMMENCING TAKING THE NECESSARY ACTION WITH ANY TRENCH. ALSO TO DETERMINE SUBGROUNDS FOR CONNECTING INTO/RE-USE.

NOTE: LEVEL ACCESS & THRESHOLD TO MAIN ENTRANCE DOOR

LINE OF FOUNDATION (L.O.F.)

GROUND FLOOR PLAN

- FINISHES KEY:**
- DENOTES SURFACE WATER
 - DENOTES POUL WATER
- WALL TYPE KEY:**
- 120mm FACING STONE
 - 100mm SOLID CONCRETE BLOCKWALL 7N/m²
 - 100mm NON LOAD BEARING CONCRETE BLOCKWALL
 - INSULATED TIMBER STUD WALL 75x50mm STUDS @400mm VERTICAL, @1200mm HORIZONTAL CENTRES. 75mm QUILT INSULATION



MECHANICAL EXTRACTION WITH OVER RUN TO ALL BATHROOM 15L/sec THROUGH WALL OR BRICED THROUGH ROOF VOID & OUT

MECHANICAL EXTRACTION WITH OVER RUN TO ALL DINING 15L/sec THROUGH WALL OR BRICED THROUGH ROOF VOID & OUT

FIRST FLOOR PLAN

- GENERAL NOTES:**
 DRAWING TO BE READ IN CONJUNCTION WITH SCHEDULES OF WORKS & DRAWINGS Nos: 0000-04,7,8,9,10
- ELECTRICS:**
 ALL SWITCHES TO BE BETWEEN 450 & 1200mm ABOVE FLOOR LEVEL. I.E. SWITCHES 450mm & LIGHT SWITCHES 1200mm.
- ACCESS:**
 ACCESS TO THE MAIN DOOR TO BE LEVEL OR AT A MAX. GRADIENT OF 1:12.
- EXTERNAL DOORS:** TO HAVE A MIN CLEAR HEIGHT OF 2000mm.
- INTERNAL DOORS (INTERNAL FLOOR):** TO HAVE A MIN CLEAR HEIGHT OF 1900mm. I.e. 1800mm DOORS OR SIMILAR APPLICABLE.
- HEATING:**
 OIL FIRED CONDENSING BOILER TO PROVIDE HEAT TO ALL ROOMS & GENERAL HEATING. ALL BOILERS TO BE FITTED WITH CONDENSING VALVES.
- FIRE DETECTION:**
 (S) SMOKE ALARMS TO BE WIRED IN SERIES TO DEDICATED FUSE.
- LIGHTING:**
 ENERGY EFFICIENT ONLY FITTINGS TO LIVING & DINING ROOM, HALL AND LANDING.
- WATER SERVICES:**
 CLIENT TO OBTAIN INFORMATION FROM SERVICE UTILITIES TO SITE ANY EXISTING & ALL PROPOSED SERVICES.
- WINDOWS:**
 ALL ROOMS TO HAVE AT LEAST ONE WINDOW TO COMPLY WITH BUILDING REGULATIONS ESCAPE WINDOW. I.E. MIN CLEAR WITH 450mm & MIN 0.33m² CLEAR AREA.
- ⊙ MECHANICAL EXTRACTION
 FD = 30 MIN FIRE DOORS WITH SELF CLOSER

C	13/07/07	KH	
B	13/07/07	KB	
A	13/07/07	KH	
		BY	

bhd partnership
 145 Elmwood, Whalley, North Yorkshire, UK, YO21 1QR
 Tel: 01947-604771 Fax: 01947-600616
 general@bhdpartnership.com www.bhdpartnership.com

ARCHITECTURAL

MR. & MRS. RICHARDSON

NEW DWELLING
 MANOR HOUSE FARM, NEWHOLM

PROPOSED FLOOR PLANS

N. DUFFIELD	N. DUFFIELD	
DATE & TIME	DATE	SCALE
1:100 @ A1 1:200 @ A3	Feb 2007	PRELIMINARY

D8908-03

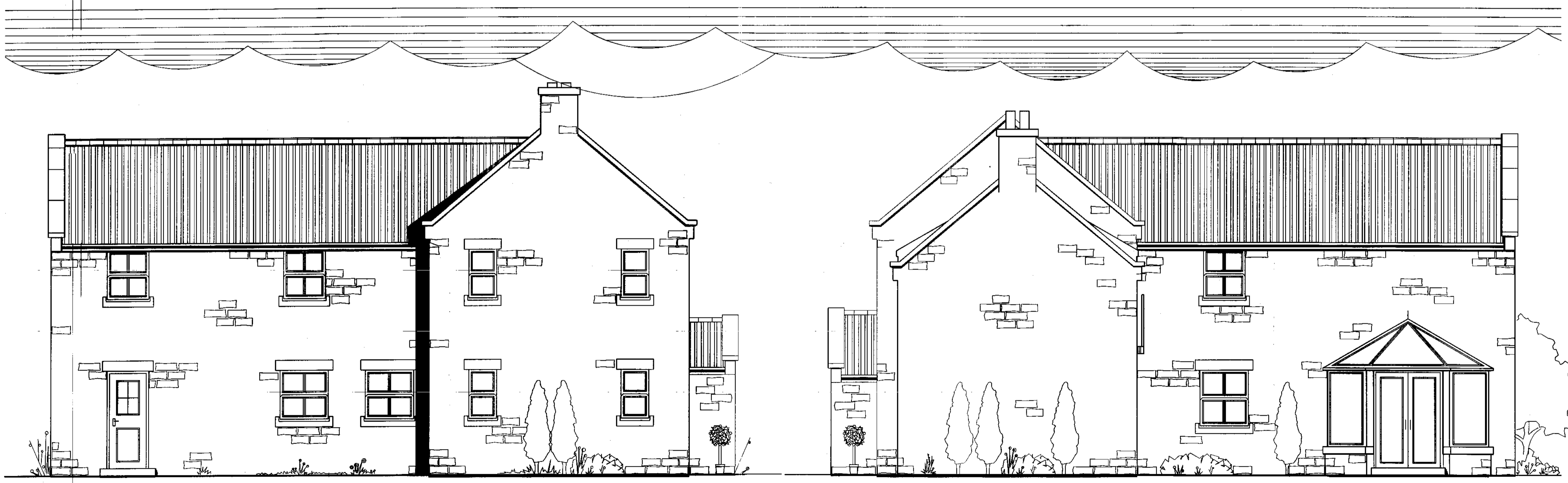
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13 JUN 2007



ELEVATION ON 'A'

ELEVATION ON 'C'



ELEVATION ON 'B'

ELEVATION ON 'D'

REV	DATE	BY	REVISION	CHKD	APPD
A	23/02/07	NID	ISSUED FOR APPROVAL	NID	

b h d partnership
 Airy Hill Manor, Whiby, North Yorkshire, UK, YO21 1QB.
 Tel: 01947-604871 Fax: 01947-600010
 general@bhdpartnership.com www.bhdpartnership.com

DISCIPLINE: ARCHITECTURAL

CLIENT: MR. & MRS. RICHARDSON

PROJECT: NEW DWELLING
 MANOR HOUSE FARM, NEWHOLM

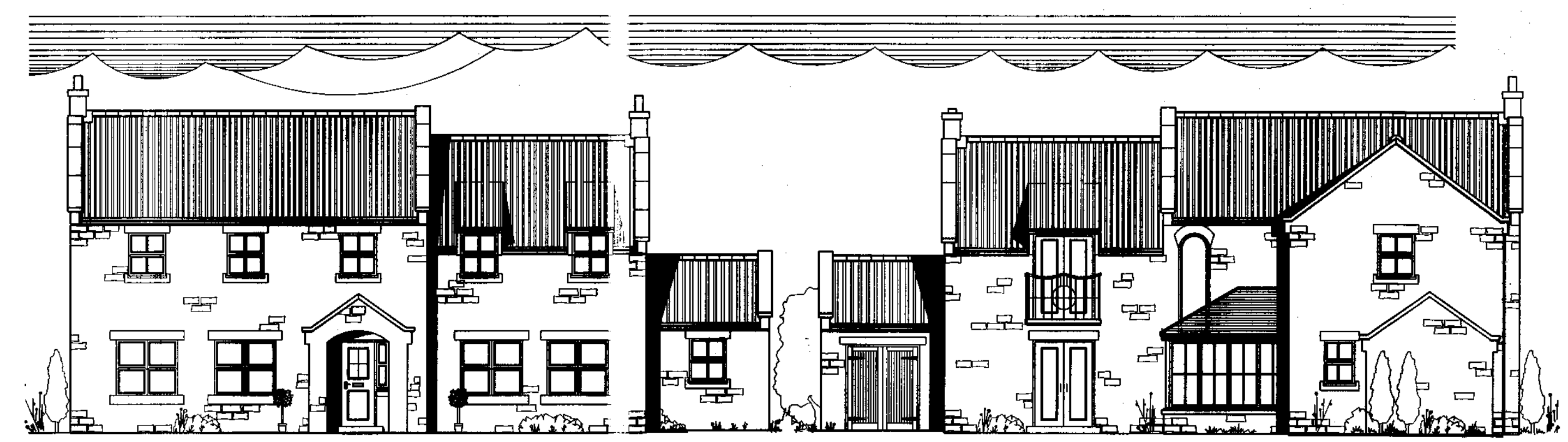
TITLE: PROPOSED ELEVATIONS

DESIGNER:	CHECKED:	APPROVED:
N. DUFFIELD	N. DUFFIELD	
SCALE & SIZE:	DATE:	DRAWING STATUS:
1:50 @A1	Feb 2007	PRELIMINARY

Drawing No: D8908-07

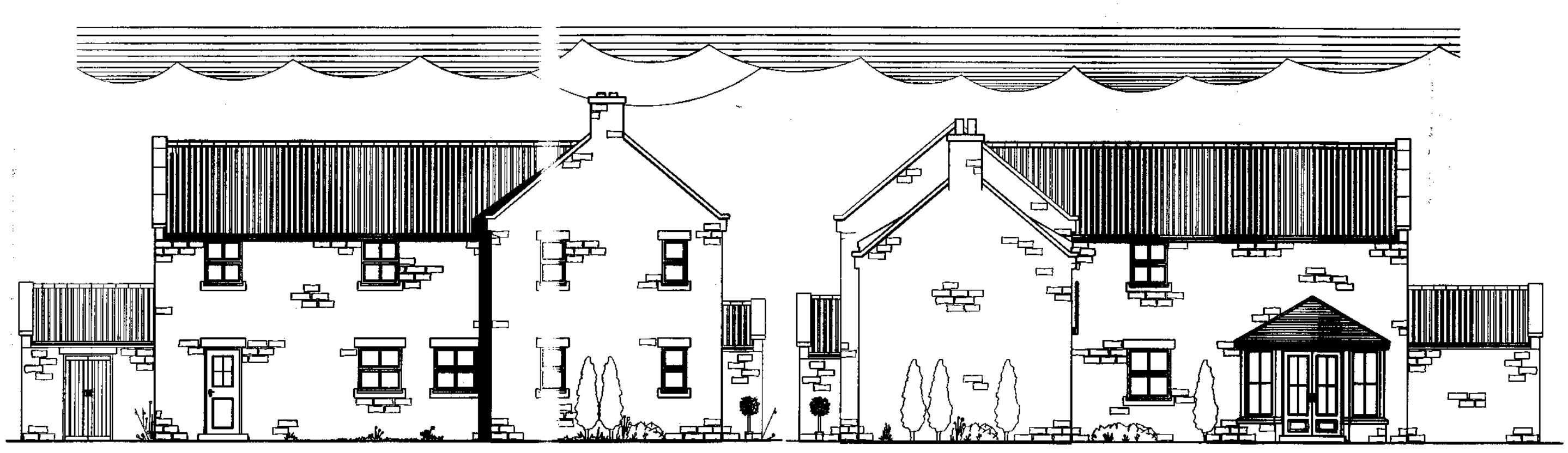
• DO NOT SCALE from this drawing. Only figured dimensions are to be taken from the drawing.
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 • The Contractor must report any discrepancies before commencing work. If this drawing exceeds the quantities taken in any way, the Technician is to be informed before work is initiated.
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LDN/PA
 13 JUL 2007



ELEVATION ON 'A'

ELEVATION ON 'C'



ELEVATION ON 'B'

ELEVATION ON 'D'

REV	DATE	BY	REVISION	CHKD	APPD
C	26/06/07	KH	STORE ADDED		
B	07.06.07	ND	GARDEN ROOM		
A	23/02/07	ND	ISSUED FOR APPROVAL	ND	

b h d partnership
 Airy Hill Manor, Whitley, North Yorkshire, UK, YO21 1QB.
 Tel: 01947-604871 Fax: 01947-600010
 general@bhdpartnership.com www.bhdpartnership.com

DISCIPLINE: ARCHITECTURAL

CLIENT: MR. & MRS. RICHARDSON

PROJECT: NEW DWELLING
 MANOR HOUSE FARM, NEWHOLM

TITLE: PROPOSED ELEVATIONS

DESIGNER: N. DUFFIELD	CHECKED BY: N. DUFFIELD	APPROVED BY:
SCALE & SIZE: 1:100 @A1	DATE: Feb 2007	DRAWING STATUS: PRELIMINARY
DRAWING No: D8908-02	REF: C	