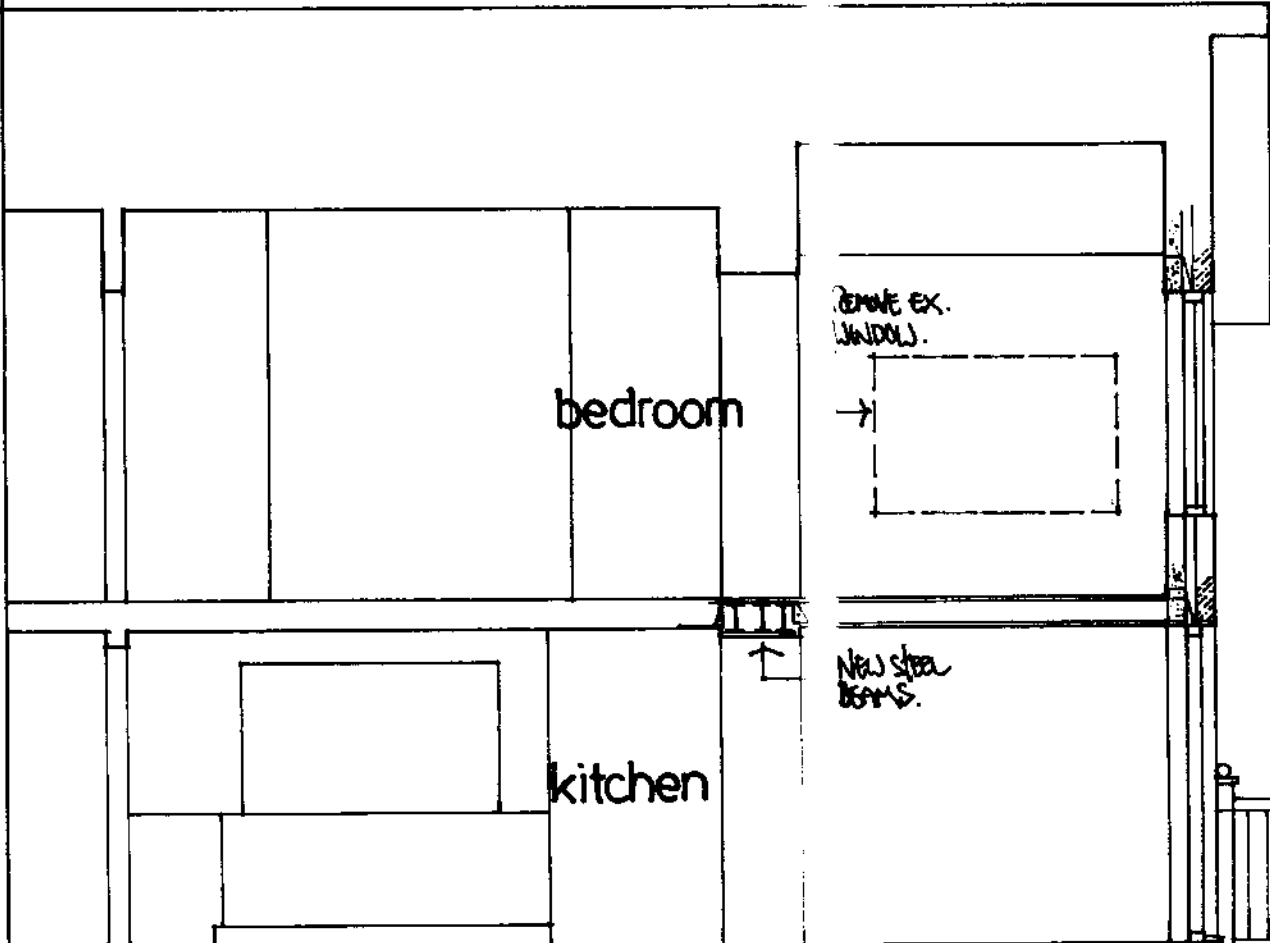


AS PROPOSED

NYM/2007/0713/FL

FORM NEW REAR DECKED PATIO AREA, IN 19 MIN. THICK GREEN TANNED NON-SIP ROUTED BOARDING ON MIN. 100x50 GREEN TANNED JOISTS @ 400 MAX. CENTRES AND 100x100 GREEN TANNED SUPPORT POSTS @ MAX 1.5m CENTRES. FIX 1.1m MIN. HEIGHT HANDRAILS WITH VERTICAL BALUSTRADES. CAPABLE OF RESISTING A HORIZONTAL FORCE OF 0.36 kN/m.
FORM STEPS TO GROUND LEVEL WITH MAX 200 RISERS AND 400 GOINGS.
NO OPENINGS IN SILLING OR BALUSTRADES TO ALLOW PASSAGE OF A 100 SPHERE.

REMOVE EXISTING WINDOW, + SILL OPENING TO MATCH EXISTING LIVING.



SECTION

FORM NEW PRE-CAST CONCRETE THRESHOLD, SET ON D.P.C.

MAX 3.6m

SIDE

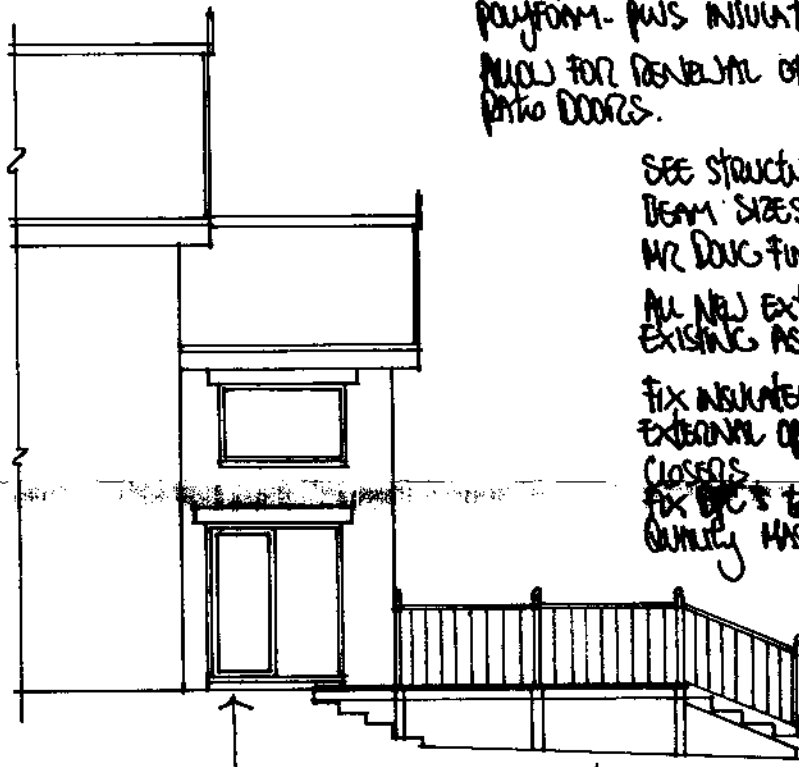
NYMNP/2007/0713/FL

21 AUG 2007

FORM ENLARGED OPENING TO KITCHEN. RENEW REVERALS TO BOTH SIDES IN BRICKWORK.
FIX 200 NEW STEEL BEAMS TO SUPPORT APPROX 500 THICK WALL OVER.
FIX STEEL BEAMS TO BE FITTED TO UNDERSIDE OF FLOOR-BRANDS OVER TO GAIN HEIGHT BELOW, WITH EXISTING JOISTS SUPPORTED VIA M.S. JOIST HANGERS.
FIRE PROTECT STEEL BEAMS WITH 200 LAMBS 12.5 PLYBOARD WITH SPACED JOINTS AND SKIM FINISH TO GIVE 1 HOUR FIRE RESISTANCE.
RENEW EXISTING KITCHEN CEILING, WITH NEW MINERAL WOOL SOUND INSULATION QUIET FITTED BETWEEN EXISTING FIRST FLOOR JOISTS, WITH NEW 12.5 THICK PLYBOARD AND SKIM FINISH BELOW.
CHECK CONDITION OF EXISTING KITCHEN TIMBER FLOOR. RENEW AS REQUIRED AND ENSURE ADEQUATE VENTILATION TO SUB-FLOOR VOID.

IF KITCHEN FLOORBOARDS TO BE RENEWED, FIX 100 THICK POLYFORM-PWS INSULATION BETWEEN FLOOR JOISTS.
ALLOW FOR REVERSAL OF UNITS OVER NEW WINDOW AND PATIO DOORS.

SEE STRUCTURAL ENGINEERS DETAILS FOR STEEL BEAM SIZES AND RELATED MATTERS.
MR DOUG FINCH, TEL. 01650 694738 [MORNING].
ALL NEW EXTERNAL SKIN LIVING TO MATCH EXISTING AS NEAR AS POSSIBLE.
FIX INSULATED CHIMNEY UNITS OVER ALL NEW EXTERNAL OPENINGS ALONG WITH INSULATED ENTRY CLOSERS.
FIX D.P.C. TO ALL NEW OPENINGS. MAKE SURE QUALITY MUSIC POINTING EXTERNALLY.

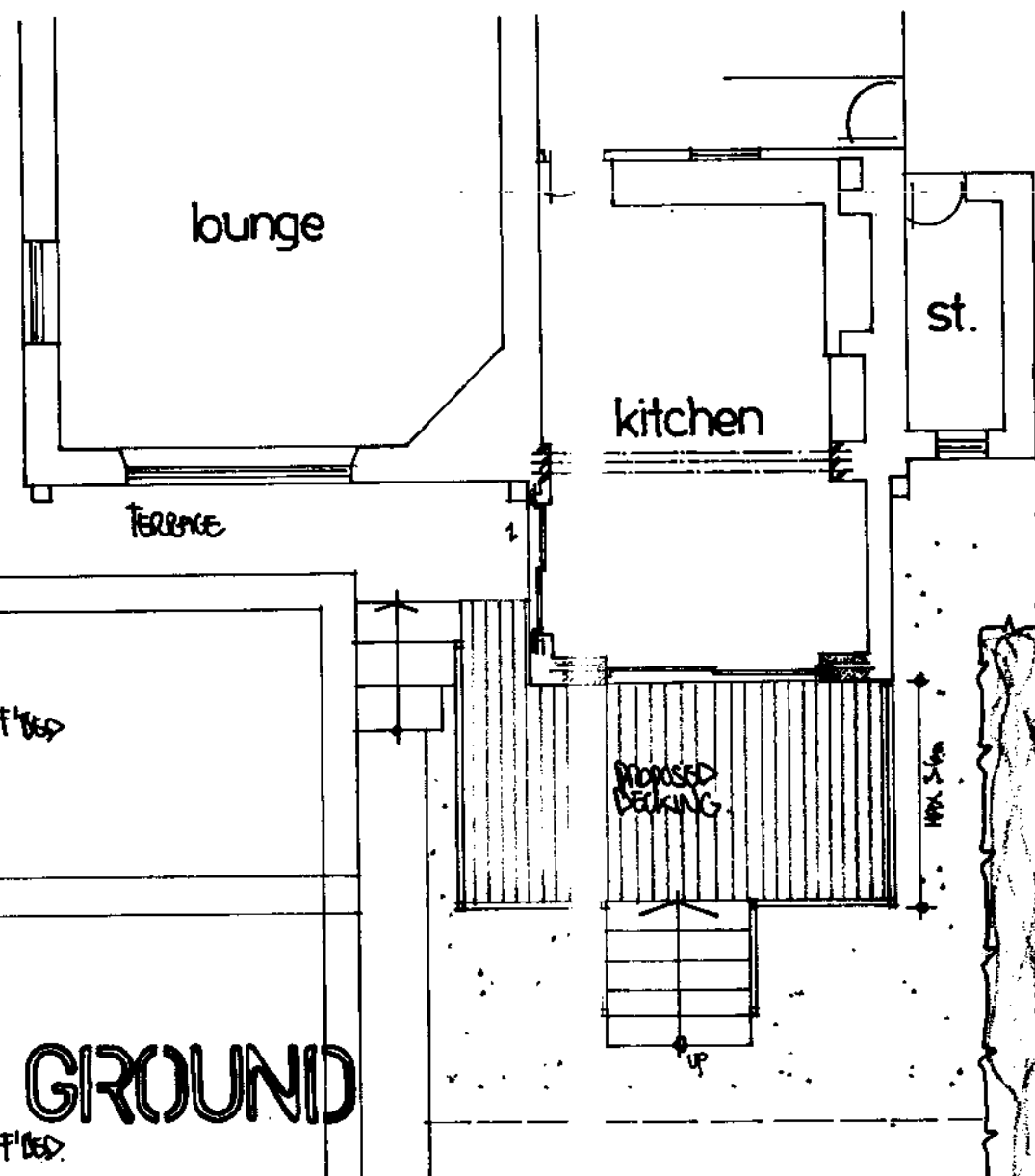


REAR

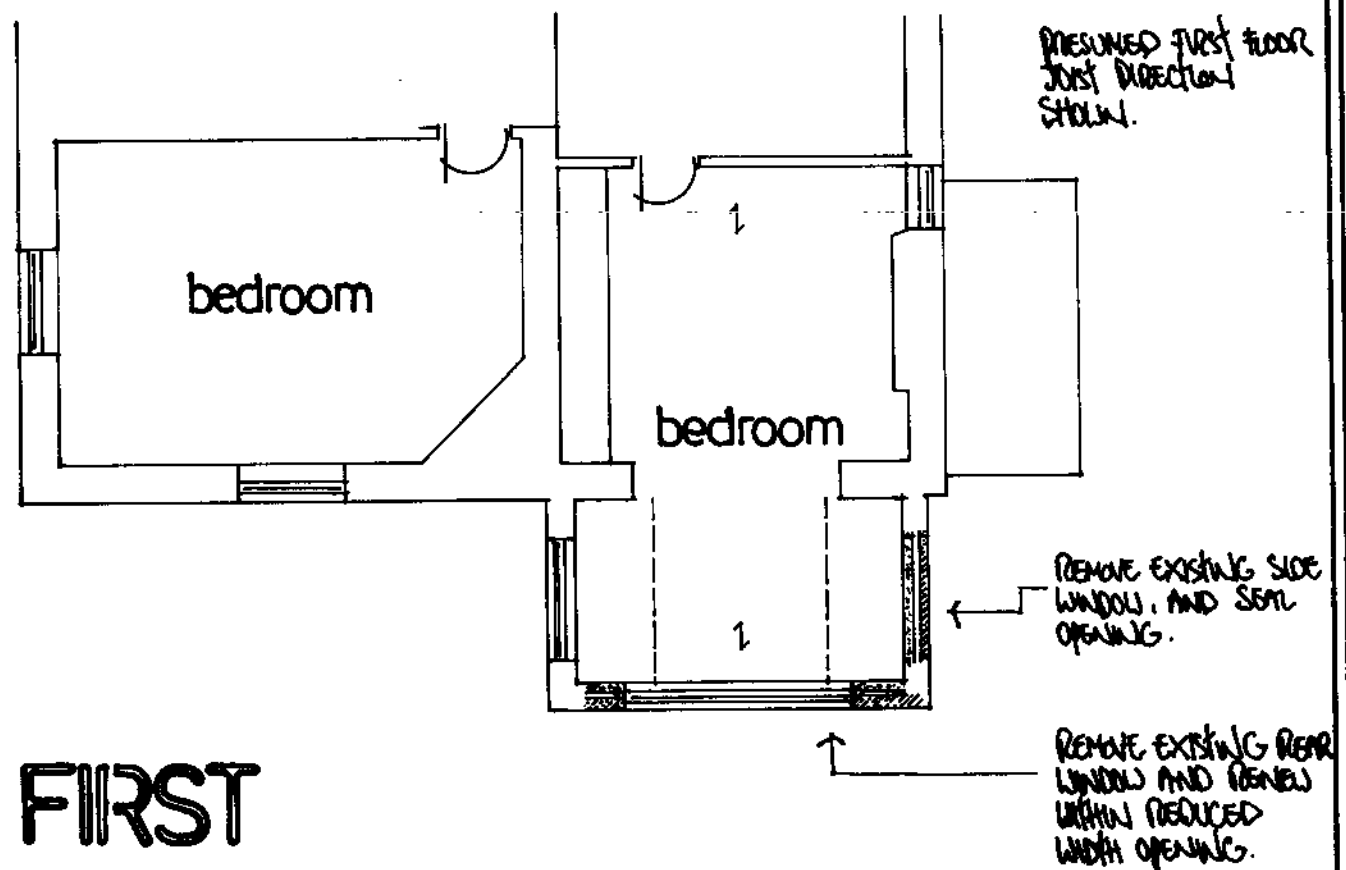
REMOVE EXISTING DOOR AND WINDOWS AS SHOWN. REFORM EXISTING OPENINGS AS REQUIRED AND FIX NEW CHIMNEY UNITS OVER, WITH ART STONE UNITS EXTERNALLY TO MATCH EXISTING.
ALL NEW DOORS AND WINDOWS TO BE IN WHITE UPVC. ALL DOUBLE GLAZED USING MOKED LOW-E SAFETY GLASS WITH 16 AIR GAP. ALL WITH OPERATING LIGHTS AS SHOWN FOR VENTILATION AND EMERGENCY EXIT/ACCESS PURPOSES, ALONG WITH NIGHT BRIDGE VENTILATORS OF MIN. 800mm.

SIDE

REMOVE EXISTING SIDE WINDOW, AND FIX NEW PATIO DOOR IN ENLARGED OPENING.
REMOVE EXISTING REAR WINDOW, AND FIX NEW PATIO DOOR WITH NEW REDUCED WIDTH OPENING.



ENLARGE EXISTING KITCHEN OPENING. FIX NEW STEEL BEAMS OVER.
REMOVE EXISTING SIDE DOOR AND WINDOW, AND FIX NEW PATIO DOOR IN ENLARGED OPENING.
REMOVE EXISTING REAR WINDOW, AND FIX NEW PATIO DOOR WITH NEW REDUCED WIDTH OPENING.



SCALE 1:100 AND 1:50

RICHARD GREEN
33 HALL GARTH LANE
WEST AYTON, SCARBOROUGH.

Tel. 864607.

project.
ALTERATIONS AT 'BRENTWOOD', NEWLANDS ROAD,
CLOUGHTON, FOR MR + MRS B. DAVIDSON.

number.

312/R/2.

July 2007.

AS EXISTING

NOTES.

NYM/2007 / 0713 / FL

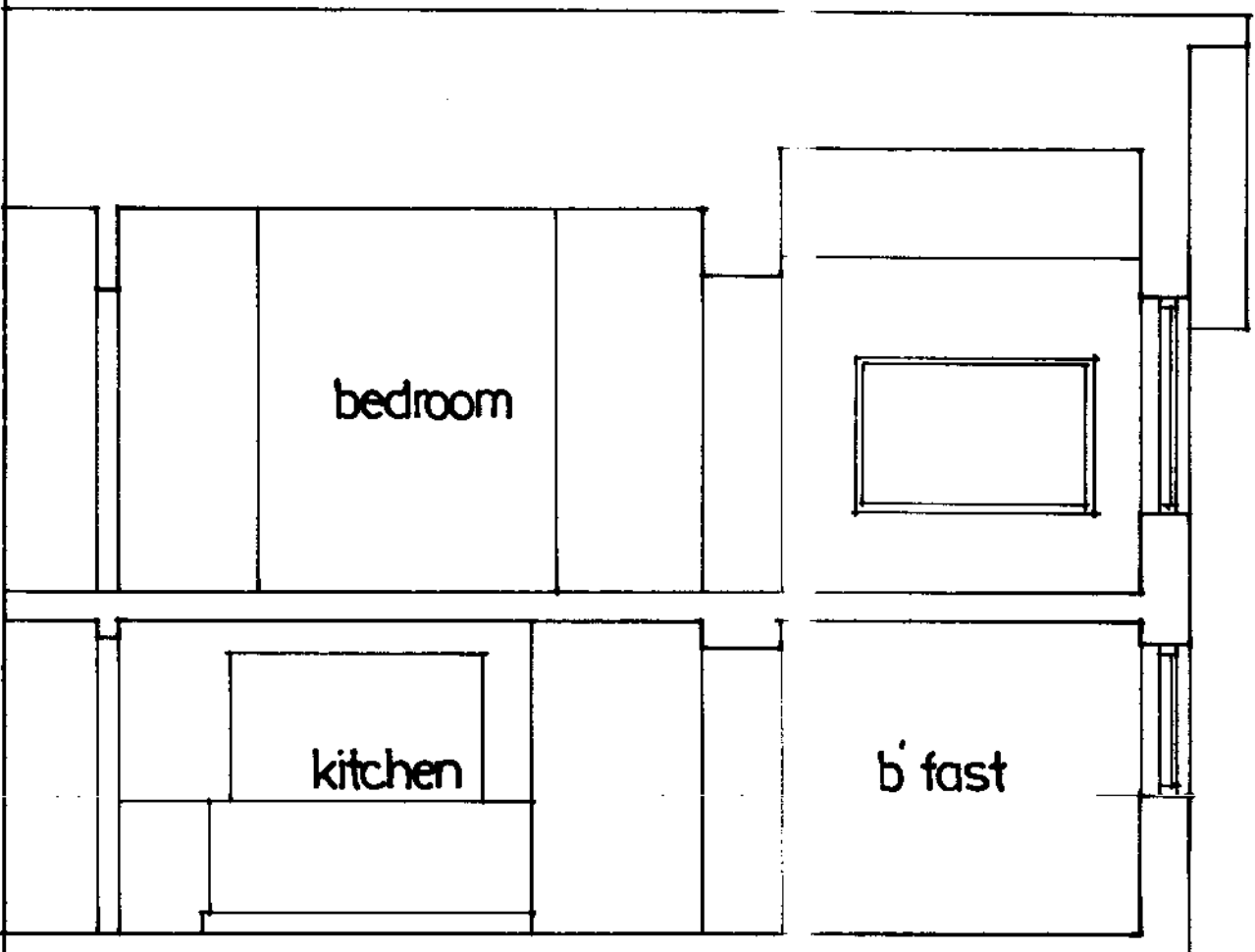
ALL DIMENSIONS, GROUND, FLOOR, ROOF AND DRAIN LEVELS, EXISTING STRUCTURE ETC. TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK, AND, PRIOR TO SUBMISSION OF FINAL QUOTATION DO NOT SCALE DRAWINGS FROM THIS FINAL COPY.

ALL WORK AND DRAINAGE TO BE TO THE ENTIRE SATISFACTION OF THE LOCAL AUTHORITY AND FULLY COMPLY WITH CURRENT BUILDING REGULATIONS. ALL NEW TIMBER USED, WHERE STRUCTURAL, TO BE STRESS GRADED UNLESS OVER ALL NEW STRUCTURAL DOOR AND WINDOW OPENINGS TO BE BY 'GUTHRIE LTD', TO THEIR DESIGN AND DETAIL.

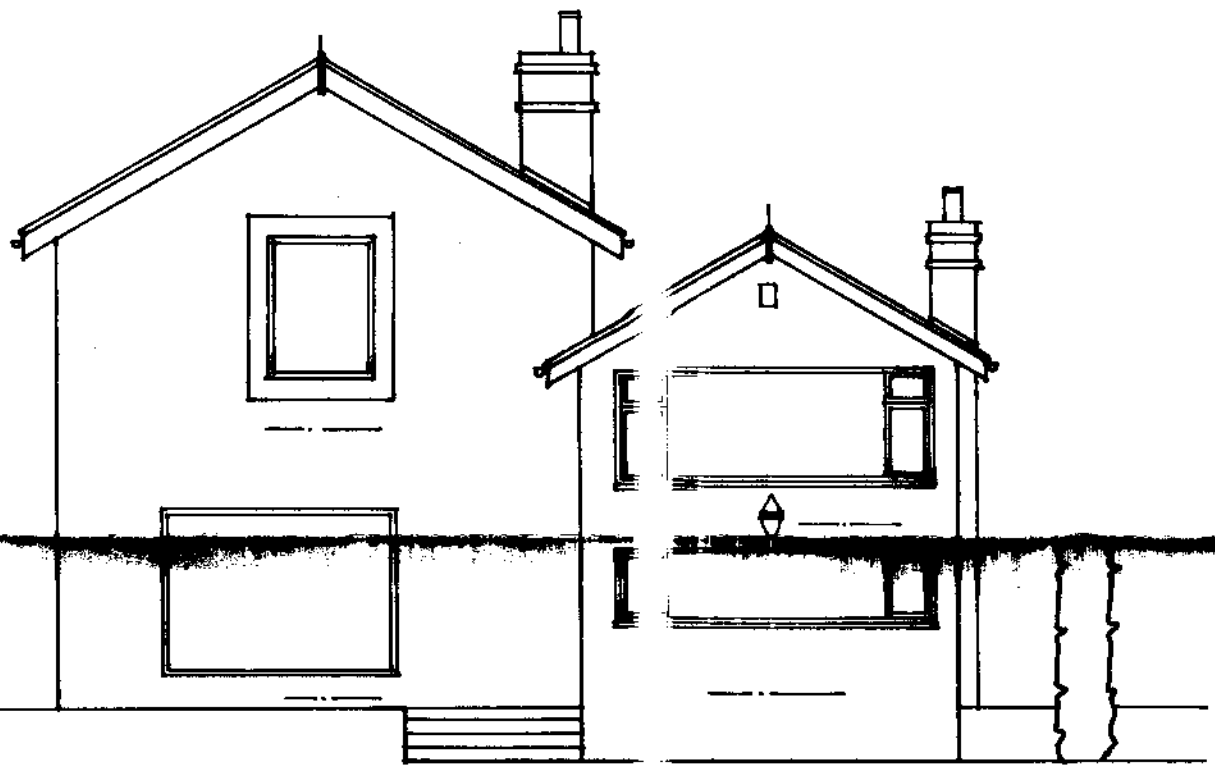
ANY WORK CROSSING THE PARTY WALLS TO BE AGREED WITH ADJOINING OWNERS PRIOR TO COMMENCEMENT OF WORK, AND, AS PER THE REQUIREMENTS OF THE PARTY WALL ACT. 1996. PRESUMED BOUNDARY AND DRAINAGE LINES SHOWN.

ALL ELECTRICAL WORK REQUIRED TO MEET THE REQUIREMENTS OF PART P [ELECTRICAL SAFETY] MUST BE DESIGNED, INSTALLED, INSPECTED AND TESTED, BY A PERSON COMPETENT TO DO SO.

NYM/NPA
21 AUG 2007



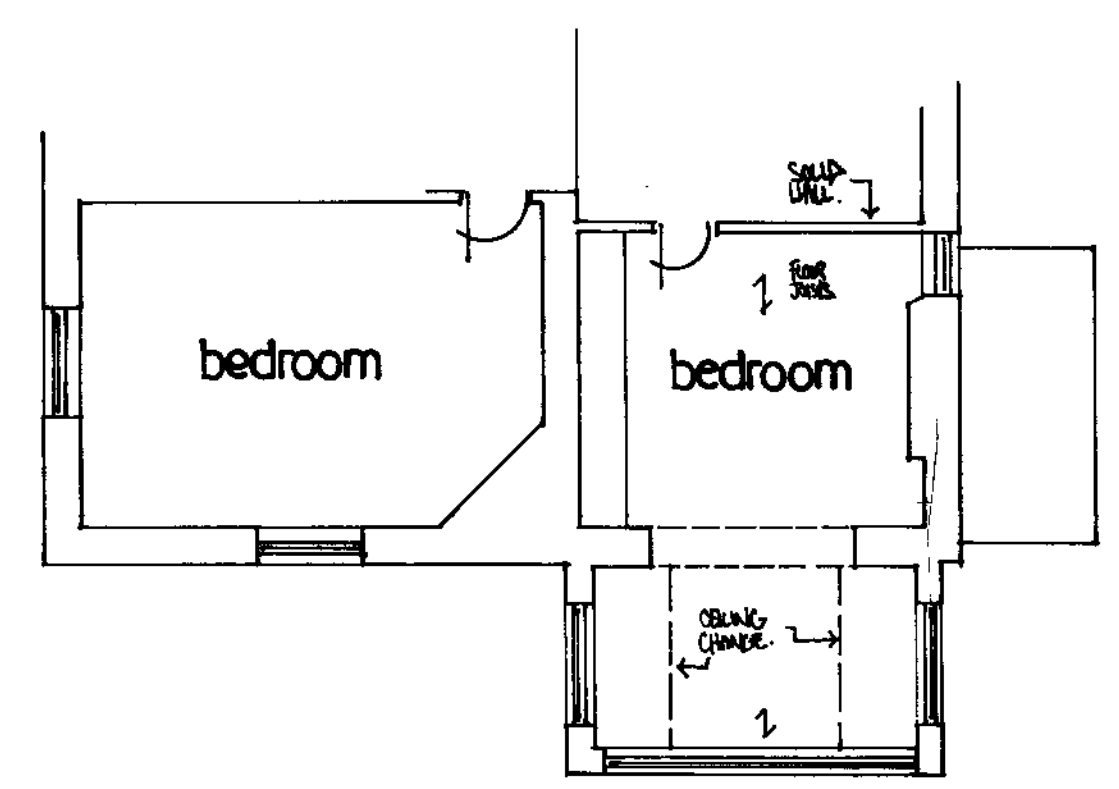
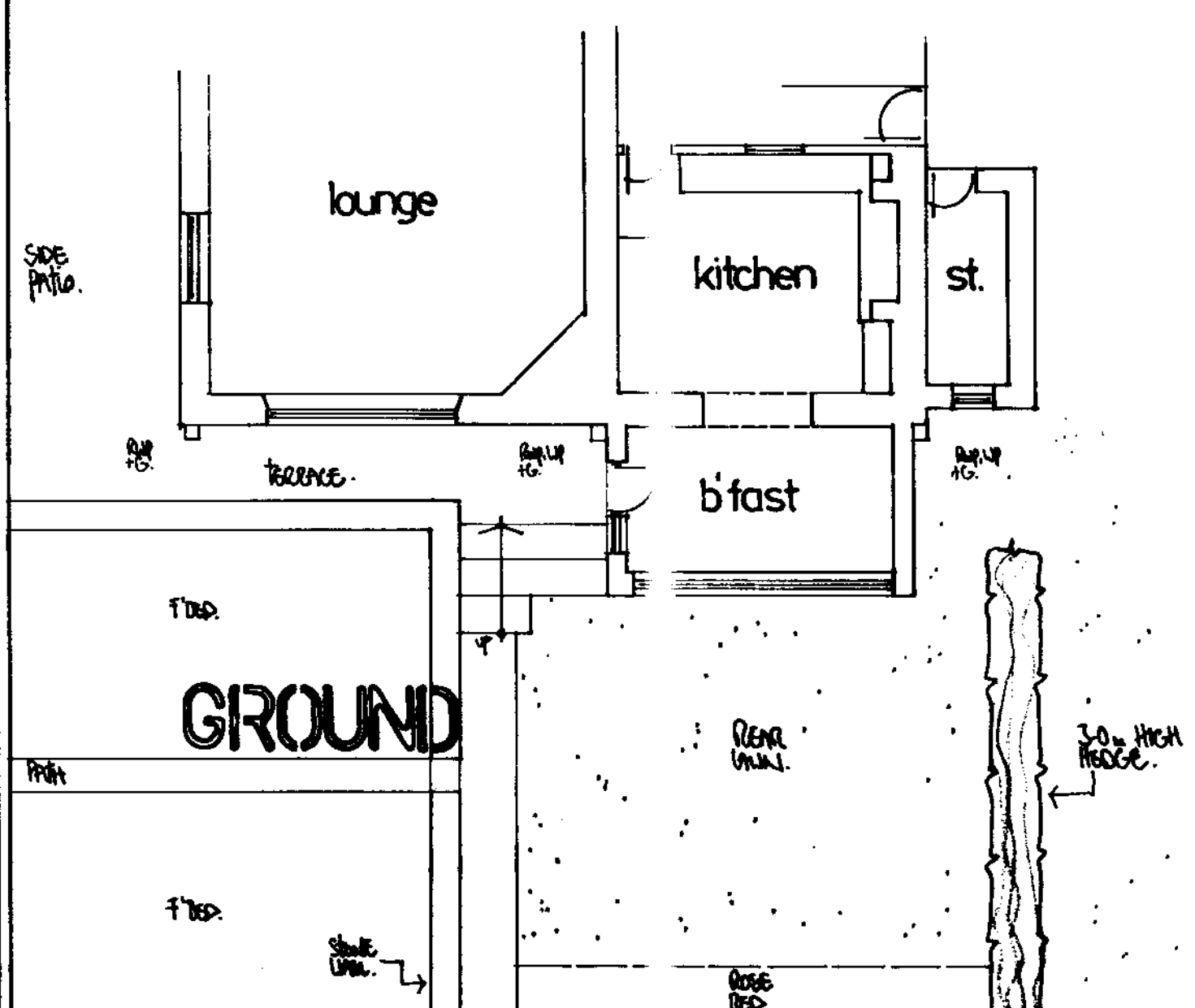
SECTION



REAR

SIDE

SIDE



PRESUMED FIRST FLOOR JOINT DIRECTIONS SHOWN.

FIRST

SCALE 1:1000 AND 1:500

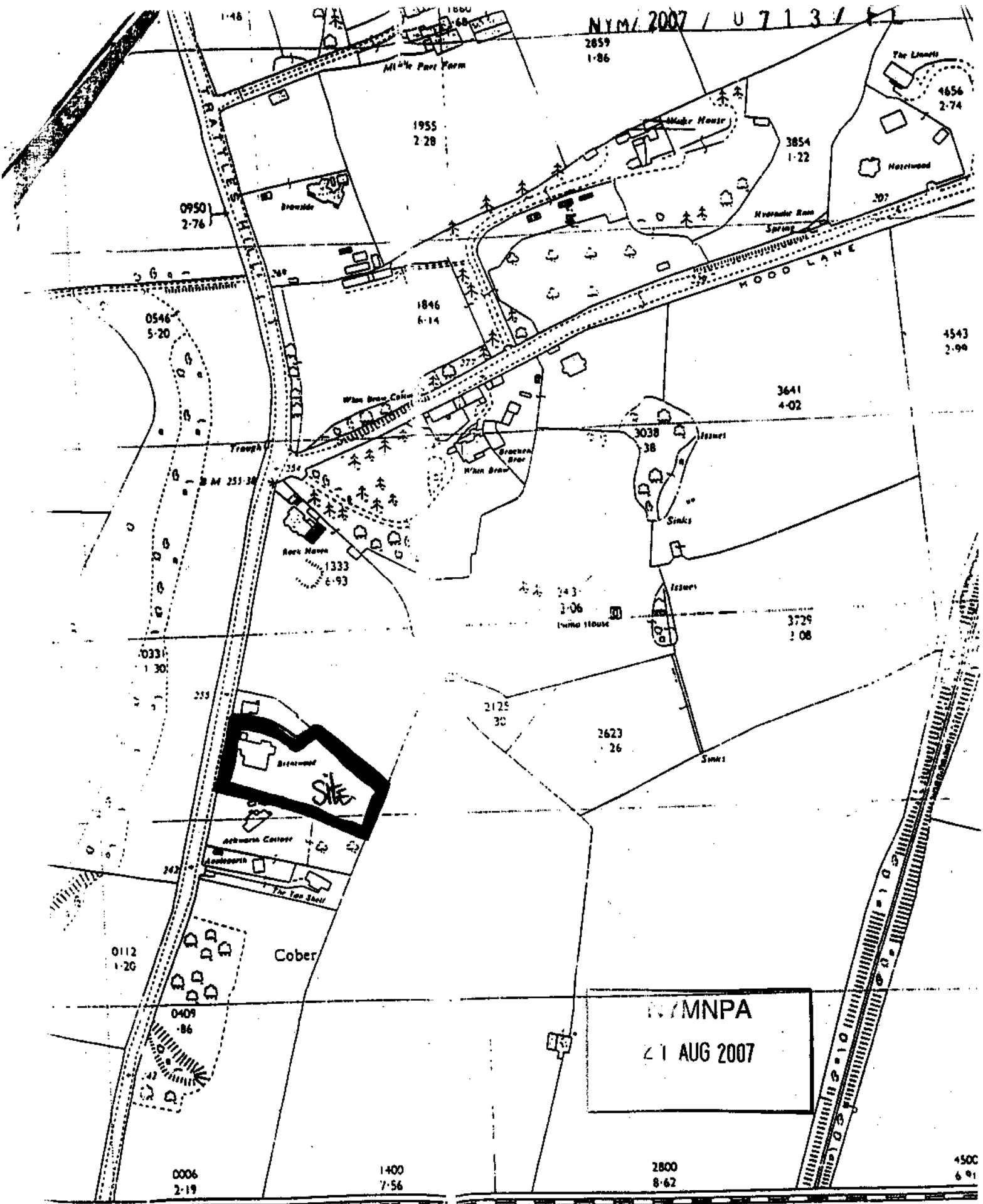
RICHARD GREEN
33 HALL GARTH LANE,
WEST AYTON, SCARBOROUGH. Tel. 864607.

project.
ALTERATIONS AT 'BRENTWOOD', NEWLANDS ROAD,
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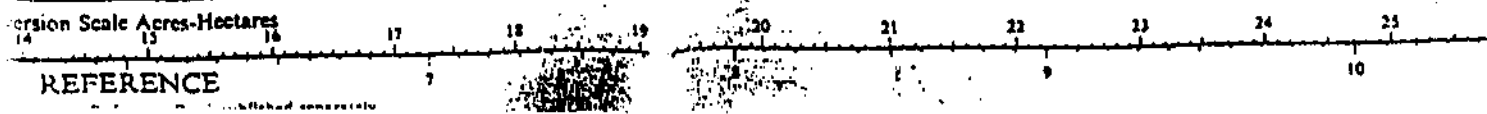
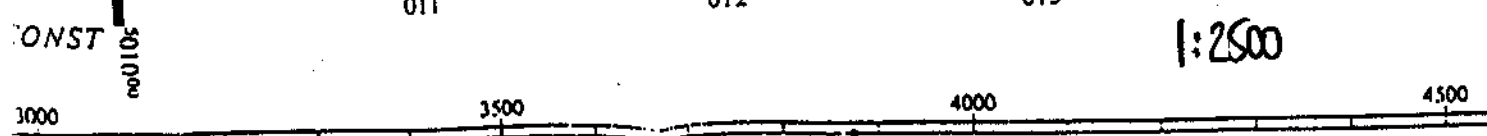
number.
312/R/1.

July 2007.

NYM/2007 / U 7 1 3 /



NYMNPA
21 AUG 2007



9. Reserved Matters Application

Date of outline permission application No
Please tick those details which you wish the Planning Committee to consider formally at this stage.
Layout Scale Appearance Access Landscaping

go to Question 12

10. Removal or variation of condition

Date condition imposed application No
Condition No

go to Question 12

11. Renewal of temporary permission

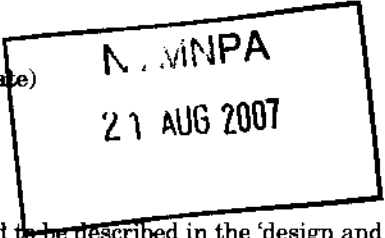
Date permission granted application No

12. Use

What is the building / land used for at present? DWELLING HOUSE.
If it is unused at present, what was its last use?
and on what date did it stop being used for this? (if known)

13. Access

Does your proposal require new or altered access? YES/N
If YES, please tick the relevant boxes:
New access to a road Vehicular Pedestrian
Altered access to a road Vehicular Pedestrian
Even if no alterations or changes are being sought, access arrangements will need to be described in the 'design and access statement'



14. Water Supply and Drainage

Please state (Please tick one box in each section) the method:
Water Supply Mains Private existing/proposed*
Surface Water Disposal Public Surface Water Sewer River/Stream existing/proposed*
Soakaway Other existing/proposed*
Foul Sewage Public Foul Sewer Septic Tank Cesspit Other existing/proposed*
*delete as appropriate

Note: If foul drainage is not to be via a public foul sewer, a drainage assessment will be required. Please see Question 14 in the accompanying booklet.

15. Trees

Does the application involve: Felling or lopping trees YES/NO (delete as appropriate)
Planting trees YES/NO (delete as appropriate)

16. Materials

Walls To House Walls, Natural stone to which existing.
Roof N/A

17. Is your application for business, retail or other commercial use?

YES/NO (delete as appropriate) If YES please complete Questions 18 - 23 of Section 4 on page 4 of this form. If NO go to Section 5

SECTION 5 WHAT YOU NEED TO INCLUDE WITH YOUR APPLICATION

24. Plans

Please list below the plans which will accompany this application.
4 x D.D.S. NOS. 312/a/1 AND 312/a/2 + 6 DRAWINGS + D+A. STATEMENT.

25.

Certificate of Ownership and Agricultural Holdings Certificate

You are required by law to complete either Certificate A or Certificate B (Ownership) and the Agricultural Holdings Certificate. It is an offence knowingly to make a false declaration.

CERTIFICATE OF OWNERSHIP : A

Complete if you are the owner of the building / land, along with Agricultural Holdings Certificate below.
I certify that: On the 21 days before the date of the accompanying application nobody, except the applicant, was the owner of any part of the land to which the application relates.

Signed [Signature] (Applicant/Agent)
* On behalf of MR + MRS B. DAVIDSON (Applicant)
Date 13-8-07

CERTIFICATE OF OWNERSHIP : B

Complete if you do not own any or all of the building / land, along with Agricultural Holdings Certificate below.
I certify that: I have /the applicant has given the requisite notice to everyone else who, on the 21 days before the date of the accompanying application, was the owner of any part of the land to which the application relates, as listed below.

Owner's name
Address at which notice served
Date on which notice was served
Signed [Signature] (Applicant/Agent)
* On behalf of NYMNPA (Applicant)
Date 21 AUG 2007

AGRICULTURAL HOLDINGS CERTIFICATE

This section MUST be completed. Delete either A or B and complete C.
A. I certify that none of the land to which this application relates is, or forms part of, an agricultural holding.
B. I have/the applicant has given requisite notice to every person other than myself/himself who, 20 days before the date of the application was a tenant of any agricultural holding any part of which was comprised in the land to which this application relates:

Name of tenant
Address
Date notice was served
C. Signed [Signature] (Applicant/Agent)
On behalf of MR + MRS B. DAVIDSON (Applicant)
Date 13-8-07

26.

I/WE hereby apply for planning permission or approval of reserved matters as described in this application and the accompanying plans. I / We attach:

- for rural building conversion, any bat survey or structural engineer's report undertaken.
- the necessary plans numbered:
- 'design and access statement'.
- completed, dated and signed Certificate of Ownership (A or B above).
- completed, dated and signed Agricultural Holdings Certificate.
- Flood risk assessment if the development lies in zone 2 or 3 of the indicative floodplain map.

- the fee of £ 135-00 by cheque/postal order
Signed [Signature] (Applicant/Agent)
On behalf of MR + MRS B. DAVIDSON (Applicant)
Date 13-8-07

* delete where appropriate