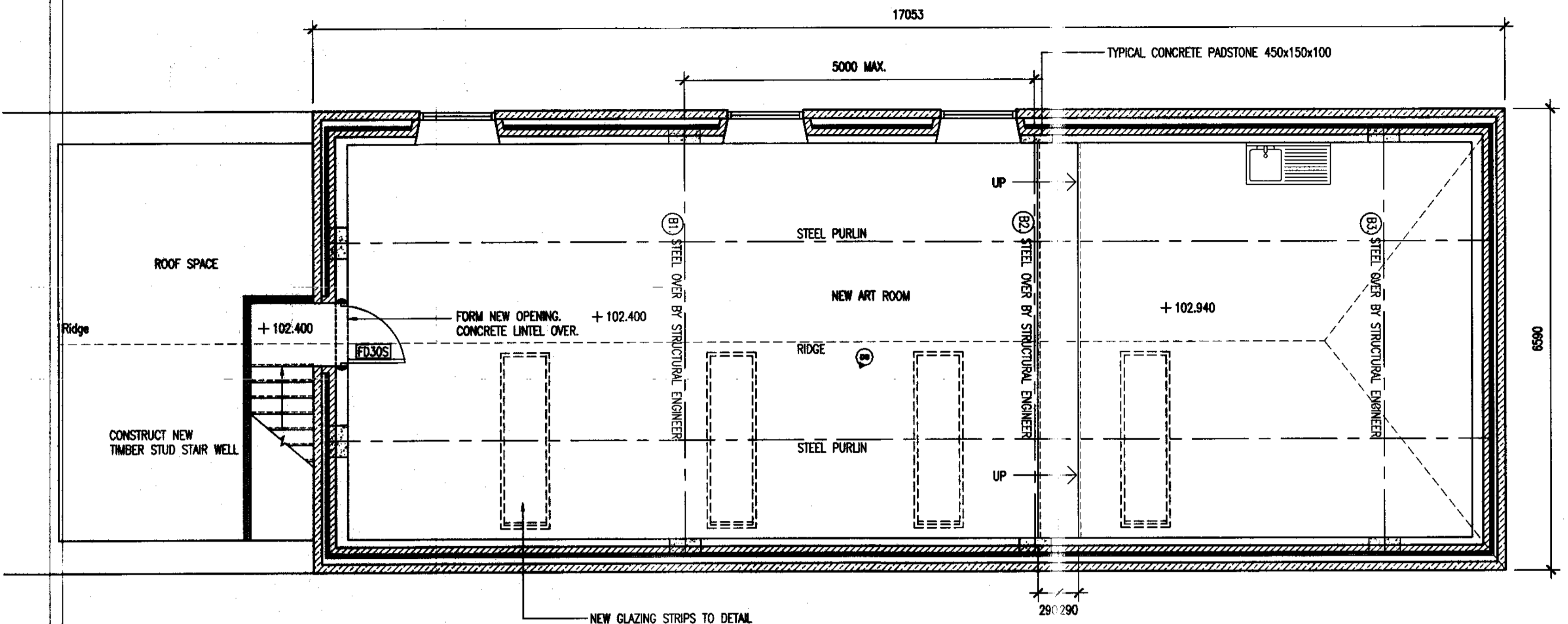
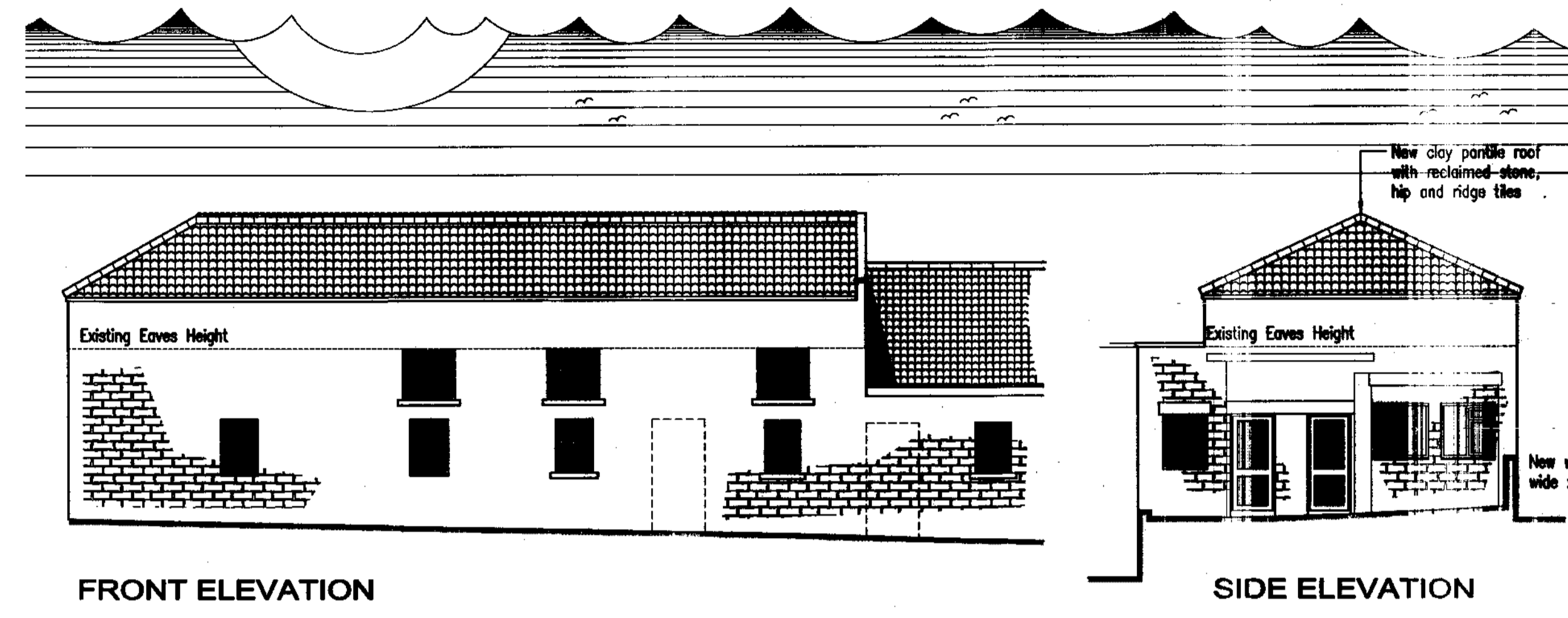


• DO NOT SCALE from this drawing. Only figured dimensions are to be taken from this drawing.
 • The Contractor must verify all dimensions on site before commencing any work or shop drawings.
 • The Contractor must report any discrepancies before commencing work. If this drawing exceeds the quantities taken in any way, the Technician is to be informed before work is initiated.
 • Work within The Construction (Design and Management) Regulations 1994 is not to start until a Health & Safety Plan has been produced. This drawing is Copyright and must not be reproduced without consent of BHD Partnership Ltd

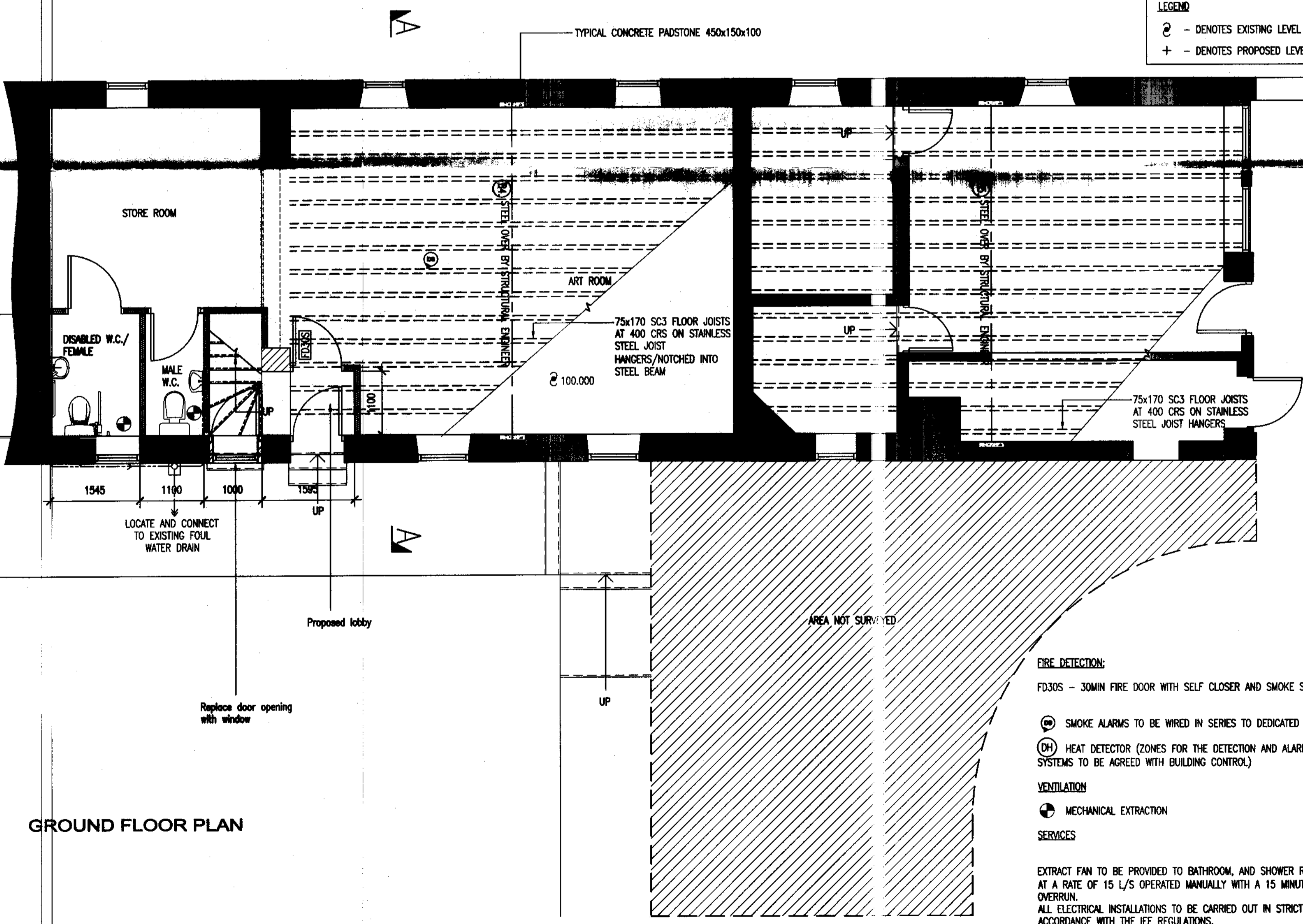


FIRST FLOOR PLAN

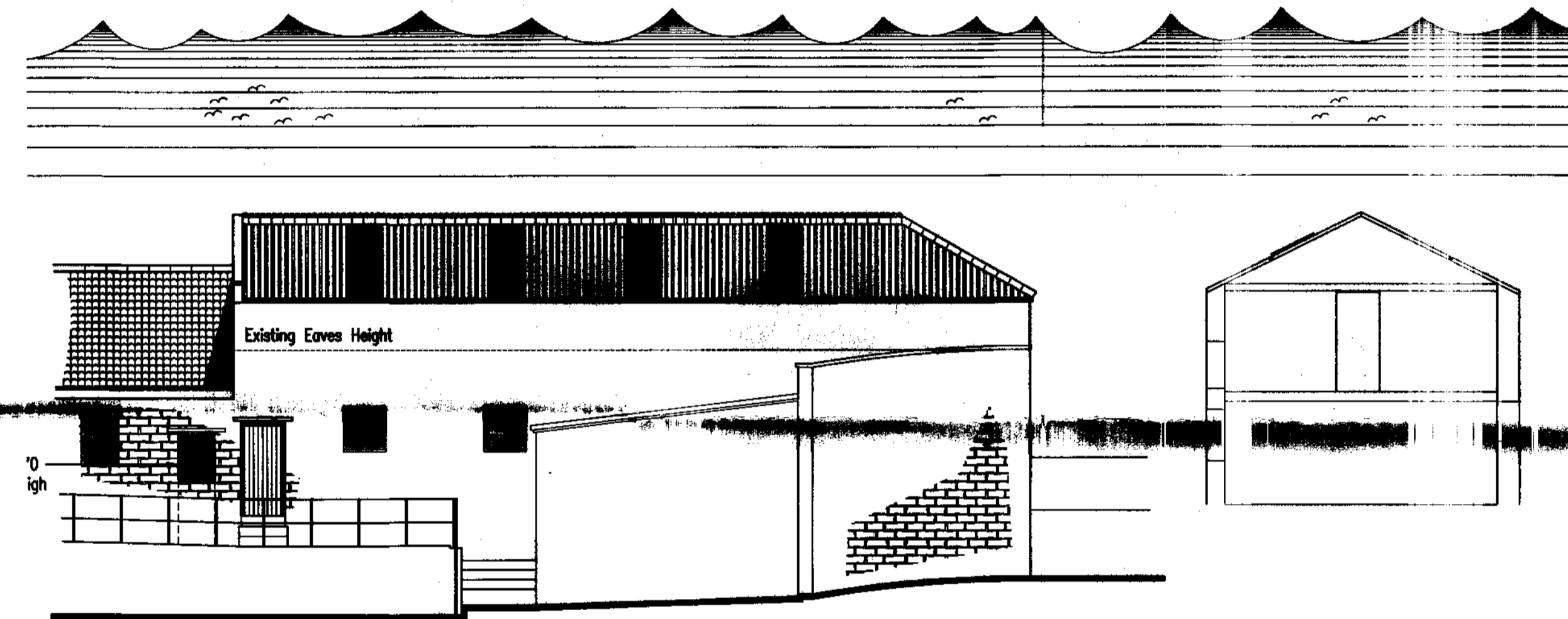


FRONT ELEVATION

SIDE ELEVATION



GROUND FLOOR PLAN



REAR ELEVATION

SECTION A-A

LEGEND
 ⊕ - DENOTES EXISTING LEVEL
 + - DENOTES PROPOSED LEVEL

DRAINAGE BELOW GROUND
 ALL UNDER GROUND DRAINAGE IS TO BE IN ACCORDANCE WITH BUILDING REGULATIONS 1991 (WITH AMENDMENTS), BS8301 CODE OF PRACTICE FOR BUILDING DRAINAGE, BS8000 PART 14 : 1989 CODE OF PRACTICE FOR BELOW GROUND DRAINAGE.
 ALL NEW DRAINAGE TO BE PLASTI-DRAIN OR SIMILAR BEDDED AND SURROUNDED IN 150MM PEA GRAVEL AND LAID STRICTLY IN ACCORDANCE WITH MANUFACTURES INSTRUCTIONS ALL PIPES TO BE BEDDED IN CLASS B BEDDING DIAGRAM B SECTION 2:16 AND TO THE MINIMUM AND MAXIMUM DEPTH GIVEN IN TABLE 8 SECTION 2:16 OF THE BUILDING REGULATIONS 1991.
 ANY NEW DRAINS UNDER THE PROPOSED DWELLINGS SHOULD BE LAID AND SURROUNDED IN 100MM (MIN) GRANULAR FILL NEW PIPES THROUGH EXTERNAL WALLS TO HAVE CONCRETE LINTELS OVER AND SHALL BE CONSTRUCTED SUCH THAT A LENGTH OF PIPE IS BUILT INTO THE WALL WITH ITS JOISTS AS CLOSE AS POSSIBLE AND CONNECTED TO ROCKER PIPES WITH A LENGTH 600MM AND FLEXIBLE JOINTS.
 NEW DRAINS LESS THAN 1200MM BELOW FINISHED GROUND LEVEL IN VEHICULAR TRAFFICED AREAS TO BE BEDDED ON AND SURROUNDED IN 150MM CONCRETE.

DRAINS CONNECTED TO 600MM DIA. GRP. MANHOLES FOR SURFACE WATER, AND CONNECTED TO MAIN SEWER. FOUL DRAINS AS ABOVE OR TO BRICK MANHOLES, 225 ENGINEERING BRICKS BUILT OFF 100MM CONCRETE BASE AND WITH CAST-IRON COVERS AND FRAMES IN VEHICULAR AREAS.

DRAINAGE ABOVE GROUND
 SOIL VENT PIPES SHALL BE MARLEY PVC SOIL VENT OR SIMILAR SYSTEM INCLUDING ALL NECESSARY COMPONENTS I.E. MULTI BOSS BRANCHES, CONNECTORS, RADIUS BENDS ECT. ALL SVP'S SHALL BE TAKEN UP INTO THE ROOF SPACE AND CONNECTED VIA A FLEXIBLE CONNECTOR, TO A PURPOSE MADE TILE/RIDGE TERMINAL ALL W.C.'S TO HAVE 110MM DIA CONNECTIONS TO SVP'S AND ALL W.H.E'S TO BE PROVIDED WITH ANTI-SYPHON BOTTLE TRAPS AND MIN 38MM DIA PVCU WASTES. ALL SVP'S TO CONTAIN INSPECTION EYES AT FLOOR LEVEL. ALL WASTES TO BE PROVIDED WITH RODDING EYES. ALL VENT AND SOIL VENT PIPES ARE TO BE SURROUNDED IN MIN. 25MM THICKNESS OF INSULATION QUILT.

STAIRS
 TIMBER STAIRS MINIMUM 800MM WIDE BETWEEN HANDRAILS, PITCH 42°, MINIMUM HEADROOM 2 METRES, EQUAL RISERS MAXIMUM 220MM, EQUAL GOINGS MINIMUM 230 GOINGS, MINIMUM 75MM AT WINDERS.
 75x175MM TIMBER NEWEL POSTS, HANDRAILS AT 900MM HIGH, AND 1100MM HIGH AT LANDINGS.

DRAINAGE
 AMEND EXISTING PLUMBING & WASTE SYSTEMS TO SERVICE THE NEW FITTINGS
 W.C. 110 DIA WASTE WITH NR VALVE
 KITCHEN SINK, TO HAVE 40 DIA WASTES, 50 DIA IF COMBINED.
PLUMBING / HEATING
 ALL WORKS BY CORGI REGISTERED HEATING ENGINEER

- 1) GAS FIRED COMBINATION BOILERS FOR CENTRAL HEATING WITH BALANCED FLUES.
- 2) NEW GAS COMBI-BOILERS TO BE PROVIDED SUPPLYING HEATING VIA RADIATORS TO ALL ROOMS AND HOT WATER TO KITCHEN, BATHROOM, AND SHOWER ROOM.
- 3) RADIATORS IN ALL ROOMS SIZES AS SHOWN ARE INDICATIVE ONLY. SIZE & LOCATION TO BE CALCULATED BY HEATING ENGINEERS. SIMILARY ALL PIPEWORK, BOILERS, VALVES & FITTINGS.
- 4) THERMOSTATIC CONTROL VALVES TO ALL RADIATORS IN ALL ROOMS AND AT LEAST ONE ROOM STAT. A SEVEN DAY PROGRAMMER IS ALSO TO BE PROVIDED TO CONTROL BOTH THE HEATING AND HOT WATER. AT LEAST ONE ROOM STAT.
- 5) PROGRAMME/TIMER FOR SYSTEM.
- 6) 78° S.E.D. BUK VALVE READING.
- 7) ENSURE HEATING SYSTEM CAN PROVIDE 21°C WHEN EXTERNAL AIR TEMPERATURE IS -4°C.

WALL TYPE KEY:

	102mm THICK RECLAIMED STONE EXTERNAL LEAF
	100mm AERATED CONCRETE BLOCKWALL INNER LEAF
	INSULATED TIMBER STUD WALL 100x50mm STUDS @400mm VERTICAL & 1200mm HORIZONTAL CENTRES. 75mm QUILT INSULATION

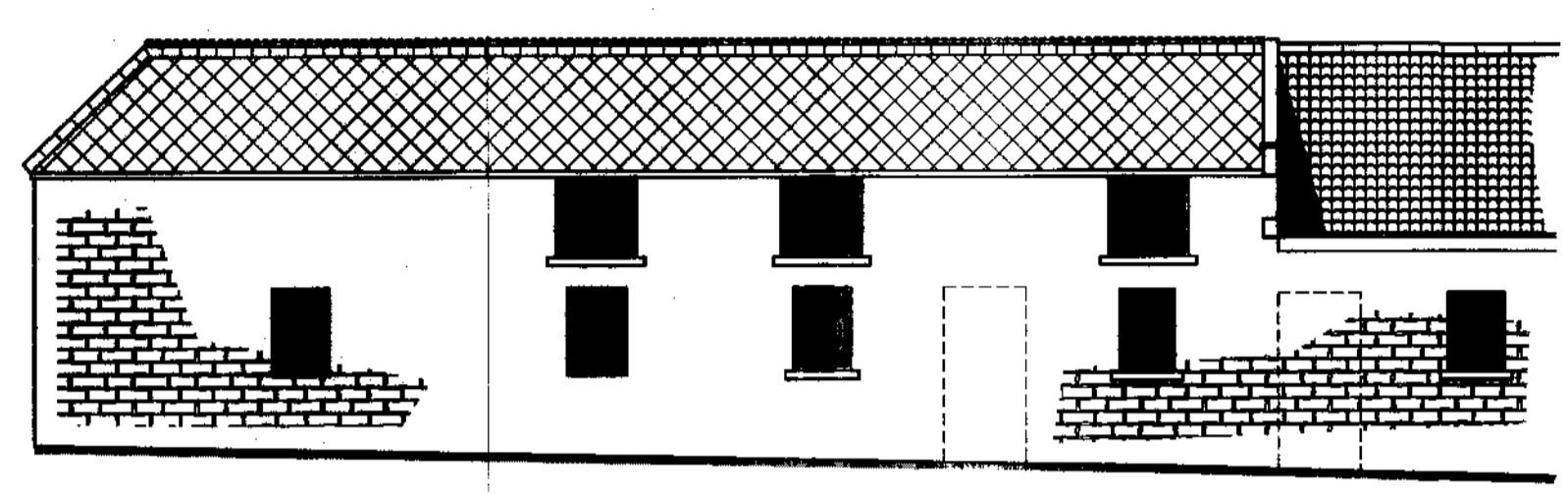
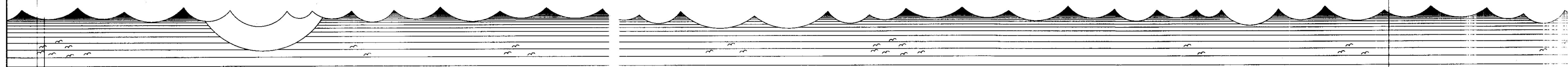
DOORS
 ALL DOORS SHALL BE HUNG ON 1.5 PARS OF STEEL HINGES. EXTERNAL DOORS TO BE HARDWOOD IN HARDWOOD FRAMES AND PAINTED. 838 X 1981MM INTERNAL DOORS. ALL GLAZING BELOW 1500MM ABOVE FFL WITHIN 300MM OF A DOOR OPENING TO HAVE TOUGHENED SAFETY GLASS.

REV		DATE	BY	AMENDMENT	CHKD	APPD
D	21/08/07	KH		ROOF GLAZING PLAN		
C	12/07/07	ND		ROOF GLAZING		
B	28/05/07	KH		CONSTRUCTION DETAILS ADDED		
A	MAR 07	GR		ISSUED FOR APPROVAL	ND	

b h d partnership
 Airy Hill Manor, Wharfedale, North Yorkshire, UK, YO21 1QB.
 Tel: 01947-604871 Fax: 01947-600010
 general@bhdpartnership.com www.bhdpartnership.com

DISCIPLINE:	ARCHITECTURAL	
CLIENT:	FYLINGHALL SCHOOL	
PROJECT:	ALTERATIONS TO ART ROOM, FYLINGHALL SCHOOL, RHB	
TITLE:	PROPOSED PLAN AND ELEVATIONS	
DRAWN:	G. REED	CHECKED:
SCALE & SIZE:	1:100 @ A1	DATE:
DRAWING No:	D8805-02	APPROVED:
		DRAWING STATUS:
		15 MARCH 07
		PROVISIONAL
		REV:
		D

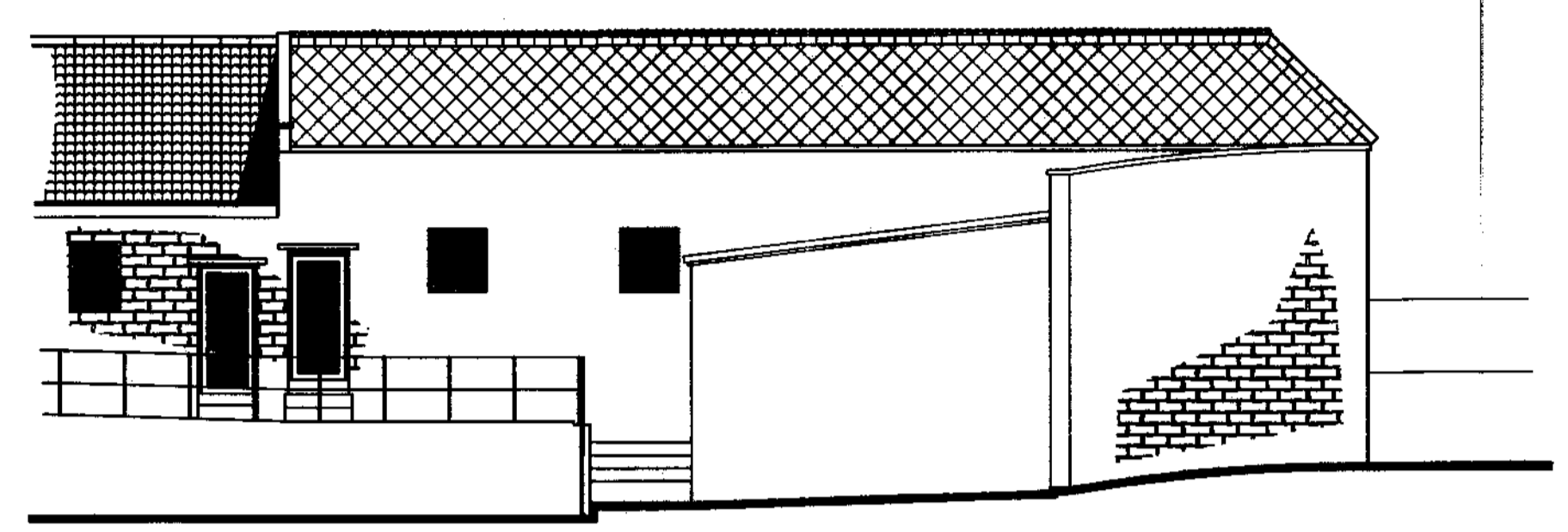
• DO NOT SCALE from this drawing. Only figured dimensions are to be taken from this drawing.
 • The Contractor must verify all dimensions on site before commencing any work or shop drawings.
 • The Contractor must report any discrepancies before commencing work. If this drawing exceeds the quantities taken in any way, the Technician is to be informed before work is initiated.
 • Work within The Construction (Design and Management) Regulations 1994 is not to start until a Health & Safety Plan has been produced. This drawing is Copyright and must not be reproduced without consent of BHD Partnership Ltd.



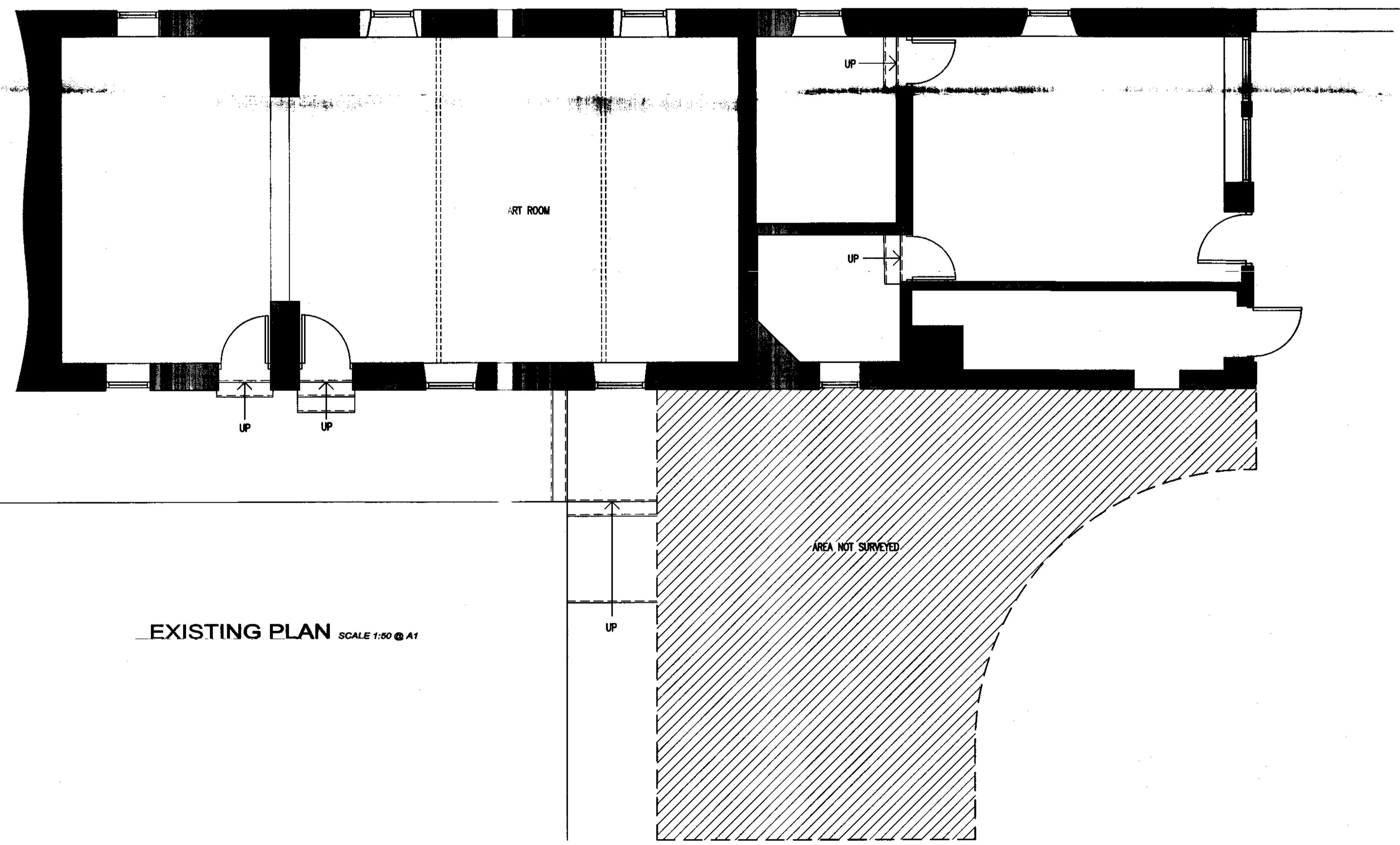
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



EXISTING PLAN SCALE 1:50 @ A1

NZvNFA
 22 AUG 2007

REV	DATE	BY	AMENDMENT	CHKD	APPD
A	MAR 07	GR	ISSUED FOR APPROVAL	ND	

b h d partnership
 Airy Hill Manor, Whitby, North Yorkshire, UK, YO21 1QB.
 Tel: 01947-604871 Fax: 01947-600010
 general@bhdpartnership.com www.bhdpartnership.com

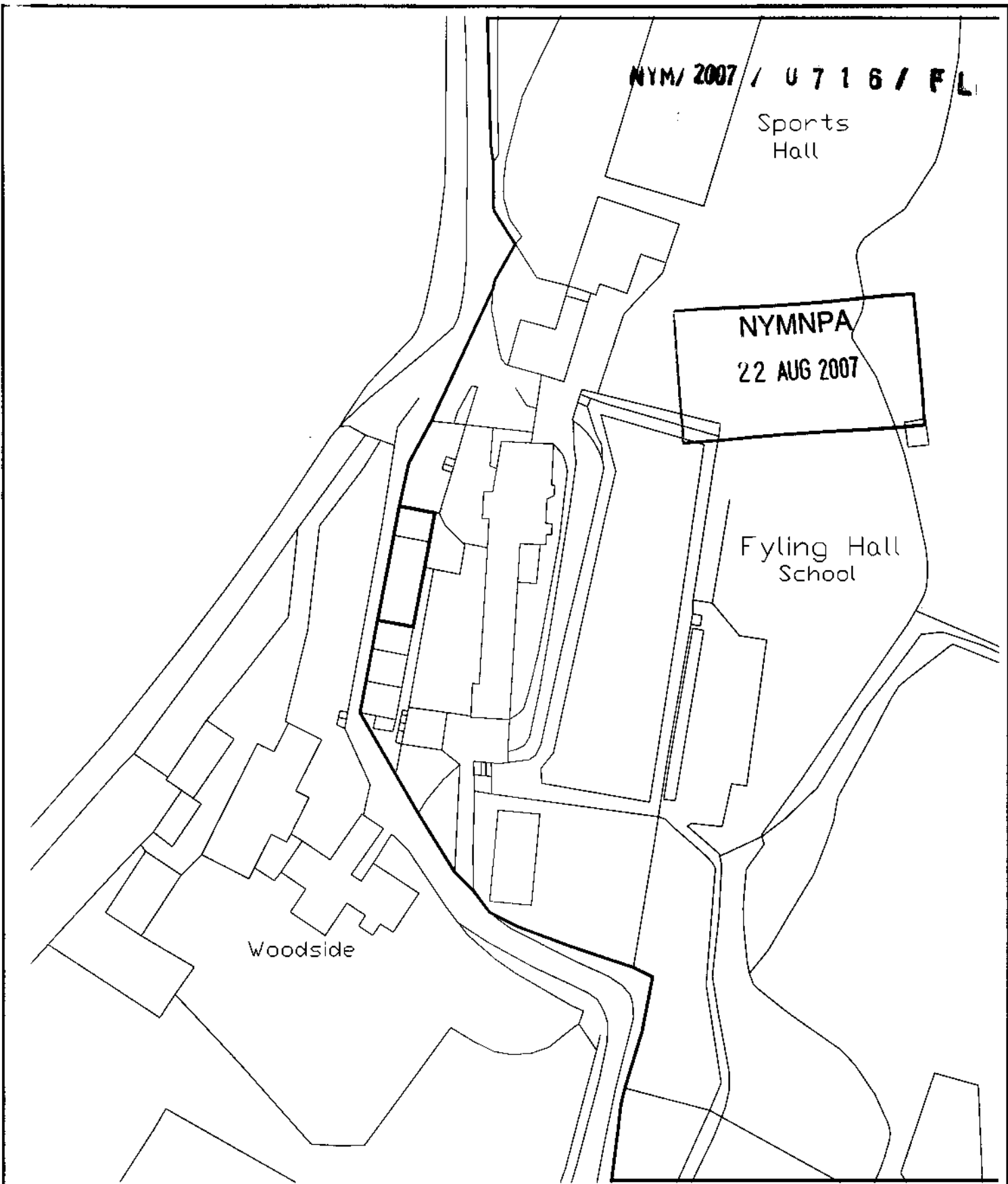
DISCIPLINE: ARCHITECTURAL

CLIENT: FYLINGHALL SCHOOL

PROJECT: ALTERATIONS TO ART ROOM, FYLINGHALL SCHOOL, RHB

TITLE: EXISTING PLAN AND ELEVATIONS

DRAWN: G. REED	CHECKED: N. I. DUFFIELD	APPROVED:
SCALE @ SIZE: 1:50 & 1:100 @ A1	DATE: 15 MARCH 07	DRAWING STATUS: PROVISIONAL
DRAWING No: D8805-01		REV: A



b h d partnership <small>Ally Hill Manor, Whitty, North Yorkshire, UK. YO21 1QB. Tel: 01947-694871 Fax: 01947-600910 general@bhdpartnership.com www.bhdpartnership.com</small>			CLIENT: MR. GAFFNEY			DRAWING TITLE: SITE PLAN		
			PROJECT: ADDITIONAL CLASSROOM SPACE, FYLINGHALL SCHOOL			A4	DRN: G. REED	DATE: 15 MAY 07
16 MAY 07	GR	ISSUED FOR APPROVAL		NID	DRAWING NR: D8805-03			REV: A
DATE	BY	AMENDMENT		CHKD	APVD			

SECTION 4 BUSINESS, RETAIL OR OTHER COMMERCIAL USE

18. Proposed use

Which of the following is involved in the development?

Business Retail

Other (please specify) _____

If industrial, please describe the process _____

Is the proposal part of a larger scheme? YES / NO (delete as appropriate)

19. Floor space

Please provide the measurements of the following:

Total floor space of all buildings to which this application relates

Existing m ²	Proposed m ²
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Industrial floor space

Office floor space

Retail trading floor space

Storage floor space

Warehouse floor space

Other

20. Employment

- a) How many staff in total will be employed on the site as a result of the proposed development?
- b) How many of the employees will be new staff?
- c) If staff are to be transferred from other premises, how many will be affected?

Industrial	Other
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

21. Car parking

How many car parking spaces are to be provided?

22. Traffic

How many vehicles will be visiting the site each day?

23. Hazardous materials

Please read Note 23 in the accompanying booklet. Does the proposal involve use or storage of hazardous materials? YES / NO (delete as appropriate) If YES, please state what materials.

Please go back to Section 5 on page 2

Please send to: **The North York Moors National Park, The Old Vicarage, Helmsley, North York YO21 5BP**



07/16

North York Moors National Park PTI Planning Application Form

Please tick the appropriate box to indicate the type of application being submitted: Planning Permission Listed Building Consent

For office use only
 Ref: NYM/2007/0716/FL
 Admin Ref: _____
 Date valid: _____
 Grid ref: N293661, 04285
Re-sub

SECTION 1 YOUR DETAILS

- 1. Applicant
 Name MR. T. GAFFNEY
 Address FYLINGHALL SCHOOL TRUST LTD, ROBIN HOODS BAY, NORTH YORKS.
 Post Code YO22 4GD
 Tel No _____
- 2. Agent
 Name BHD PARTNERSHIP
 Address AIRY HILL MANOR, WATERSTEAD LANE, WHITBY, NORTH YORKS.
 Post Code YO21 1QB
 Tel No _____
- 3. Applicant's interest in the land
OWNER (OWNED BY FYLINGHALL SCHOOL TRUST LTD)

SECTION 2 YOUR PROPOSAL

- 4. Full postal address or location of the application site
AS APPLICANT ABOVE
- 5. Applicant's interest in adjoining land
N/A
- 6. Brief description of proposed development
FIRST FLOOR EXTENSION TO EXISTING ART ROOM.

SECTION 3 YOUR APPLICATION

- 7. Type of application (please tick ONE box only)
 - A. Full application including building works go to Question 12
 - B. Application for change of use (no building works) go to Question 12
 - C. Outline application go to Question 8
 - D. Reserved matters application go to Question 9
 - E. Removal or variation of condition go to Question 10
 - F. Renewal of temporary permission go to Question 11
- 8. Outline Application
 What is the area of the site? _____
 Please tick those details which you wish the Planning Committee to consider formally at this stage.
 Layout Scale Appearance Access Landscaping None go to Question 12



9. Reserved Matters Application

Date of outline permission 1005 14/04/07

Please tick those details which you wish the Planning Committee to consider formally at this stage.

Layout Scale Appearance Access

Application No

Landscaping

go to Question 12

10. Removal or variation of condition

Date condition imposed

Application No

Condition No

go to Question 12

11. Renewal of temporary permission

Date permission granted

Application No

12. Use

What is the building / land used for at present?

ART DEPARTMENT

If it is unused at present, what was its last use?

N/A

and on what date did it stop being used for this? (if known)

N/A

13. Access

Does your proposal require new or altered access? YES

New access to a road

Altered access to a road

Even if no alterations or changes are being sought, access arrangements will need to be described in the 'design and access statement'.

(delete as appropriate) Pedestrian

14. Water Supply and Drainage

Please state (Please tick one box in each section) the method of:

Water Supply

Surface Water Disposal

Foul Sewage

Private existing/proposed* River/Stream existing/proposed* Other existing/proposed*

Note: If foul drainage is not to be via a public foul sewer, a drainage assessment will be required. Please see Question 14 in the accompanying booklet.

15. Trees

Does the application involve: Felling or lopping trees / hedgerows

Planting trees

YES / NO (delete as appropriate)

16. Materials

Walls STONE (RECLAIMED)

Roof PLAIN CLAY PAN TILES

17. Is your application for business, retail or other commercial use?

YES / NO (delete as appropriate)

If NO go to Section 5 complete Questions 18 - 23 of Section 4 on page 4 of this form

SECTION 5 WHAT YOU NEED TO INCLUDE WITH YOUR APPLICATION

24. Plans

Please list below the plans which will accompany this application.

D8805-01-A, D8805-02-D, D8805-03-A

NYM/2007 / 0718 / 21

25.

Certificate of Ownership and Agricultural Holdings Certificate

NYM/2007 / 0716 / 21

You are required by law to complete either Certificate A or Certificate B (Ownership) and the Agricultural Holdings Certificate. It is an offence knowingly to make a false declaration.

CERTIFICATE OF OWNERSHIP : A

Complete if you are the owner of the building / land, along with Agricultural Holdings Certificate below.

I certify that: On the 21 days before the date of the accompanying application nobody, except the applicant, was the owner of any part of the land to which this application relates.

Signed (Applicant/Agent)

* On behalf of FYLINGHALL SCHOOL TRUST LTD (Applicant)

Date 21/08/07

CERTIFICATE OF OWNERSHIP : B

Complete if you do not own any or all of the building / land, along with Agricultural Holdings Certificate below.

I certify that: I have /the applicant has given the requisite notice to everyone else who, on the 21 days before the date of the accompanying application, was the owner of any part of the land to which the application relates, as listed below.

Owner's name

Address at which notice served

Date on which notice was served

Signed (Applicant/Agent)

* On behalf of (Applicant)

Date

AGRICULTURAL HOLDINGS CERTIFICATE

This section MUST be completed. Delete either A or B and complete C.

A. I certify that none of the land to which this application relates is, or forms part of, an agricultural holding.

B. I have/the applicant has given requisite notice to every person other than myself/himself who, 20 days before the date of the application was a tenant of any agricultural holding any part of which was comprised in the land to which this application relates:

Name of tenant

Address

Date notice was served

C. Signed (Applicant/Agent)

On behalf of FYLINGHALL SCHOOL TRUST LTD (Applicant)

Date 21/08/07

NYM/2007 / 0716 / 21 22 AUG 2007

26.

I/WE hereby apply for planning permission or approval of reserved matters as described in this application and the accompanying plans. I/ We attach:

- for rural building conversion, any bat survey or structural engineer's report undertaken.
- the necessary plans numbered: D8805-01-A, D8805-02-D, D8805-03-A
- 'design and access statement'. DAS8805
- completed, dated and signed Certificate of Ownership (A or B above).
- completed, dated and signed Agricultural Holdings Certificate.
- Flood risk assessment if the development lies in zone 2/3 of the indicative floodplain map.

- the fee of £ N/A by cheque/postal order no RESUBMISSION.

Signed (Applicant/Agent)

On behalf of FYLINGHALL SCHOOL TRUST LTD (Applicant)

Date 21ST AUGUST 2007

* delete where appropriate

NYM/2007 / 0718 / 21 22 AUG 2007

DESIGN & ACCESS STATEMENT
FIRST FLOOR EXTENSION TO CLASSROOM
FOR
FYLINGHALL SCHOOL, ROBIN HOODS BAY

NYMNP 9
22 AUG 2007

b h d partnership ltd

Airy Hill Manor, Whitby, North Yorkshire, YO21 1QB
Tel: 01947 604871 **Fax: 01947 600010**
general@bhdpartnership.com **www.bhdpartnership.com**

1.0 INTRODUCTION

- 1.1 Fylinghall is a Co-Educational independent School situation approx 1½ miles from Robin Hoods Bay and 6 miles from Whitby. The School was originally founded in 1923 and continued as an asset to this rural area ever since.
- 1.2 This document supports the Planning and Listed Building Applications made on behalf of Fylinghall for additional classroom accommodation.

2.0 SITE AND CONTEXT

2.1 The Building

The subject building forms the Western edge of the site immediately adjacent to the public highway.

It is currently in serious need of repair and refurbishment in particular the roof which is clad in asbestos diamond shaped tiles.

2.2 Opportunity

The building by virtue of its position, state of repair and existing height offers an ideal opportunity to create additional classroom space without extending the site or and keeping the same general massing of the development area.

2.3 General Proposals

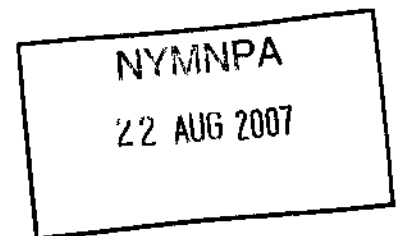
The development comprises of refurbishment of the building and provision of a new roof. The new roof will be one metre higher than the existing roof with the same pitch and re-use of existing stone copings, clay ridge and hip tiles.

This lifting of the roof by 1m will allow a full upper floor to be installed with independent access offering a new classroom area.

2.4 Policies

The proposals are likely to be considered in the context and spirit of Local Plan Policies:

- BE1 BE3 BE4 - The Built Environment
- E2 - Economy
- C3 - Community Facilities



3.0 DESIGN

3.1 Selection

Primary consideration is given to the effect on the traditionally constructed subject building and also the setting of Fylinghall School in general.

The pressure to create additional classroom space is very strong with a variety of options viewed. However utilising an existing building is usually the best option with the least effect on the surrounding area and minimal impact on visual amenity from within or without the site.

3.2 Appearance

The roof will be the major element of the scheme as it is at the moment. As previously mentioned the pitch will be identical to existing with the stone verge copings, clay hip and ridge tiles re-used where possible. The roof will be covered using clay non-interlocking pantiles flashed with lead to the copings and bedded on mortar at eaves.

Initial designs included conservation style rooflights on the inward (east) roofslope. Following advice from the Conservation Officer these were changed for a less domestic approach and the four strips of glazing incorporated.

The walls have been left exactly the same to retain visible evidence of the buildings evolution. The increase in height will be created using matching coursed natural stone.

3.3 Internal Layout

Currently the building is a single room and this will be retained with another single room added at first floor area.

The only compartmentation proposed will be to enclose a staircase to ensure compliance with fire regulations.

4.0 Access

4.1 General

Existing access points to the building will be retained in the form of two personnel doors on the side (east) elevation.

~~Access to the upper floor will be provided by an ambulant disabled stair i.e. a stair designed with a gentle gradient to allow a high level of inclusion.~~

All floor levels will be smooth and the steps that form the split level will also be ambulant.

