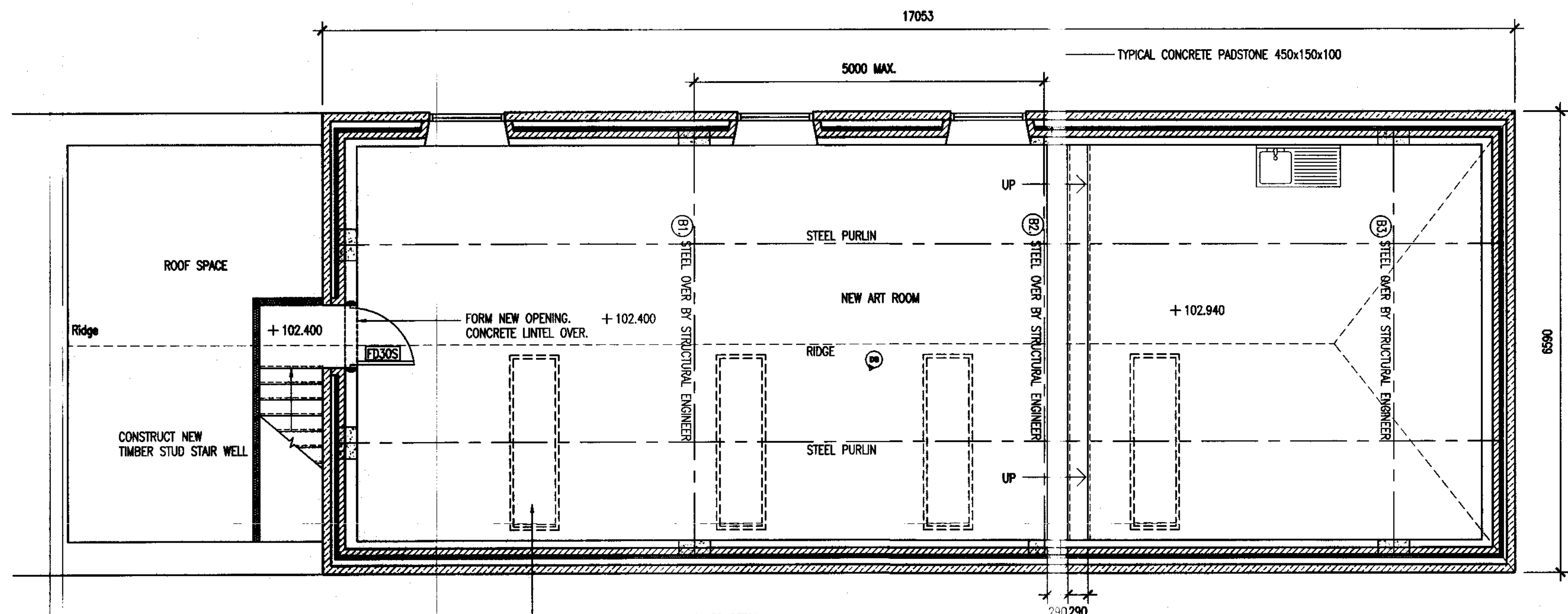
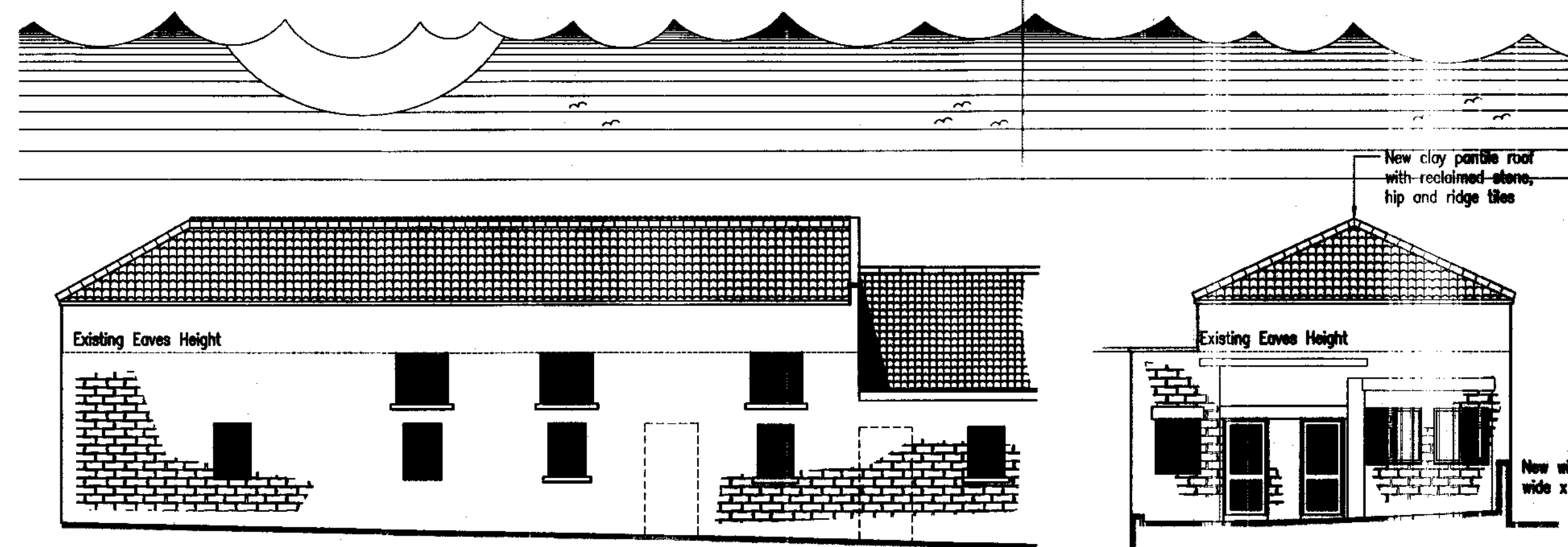


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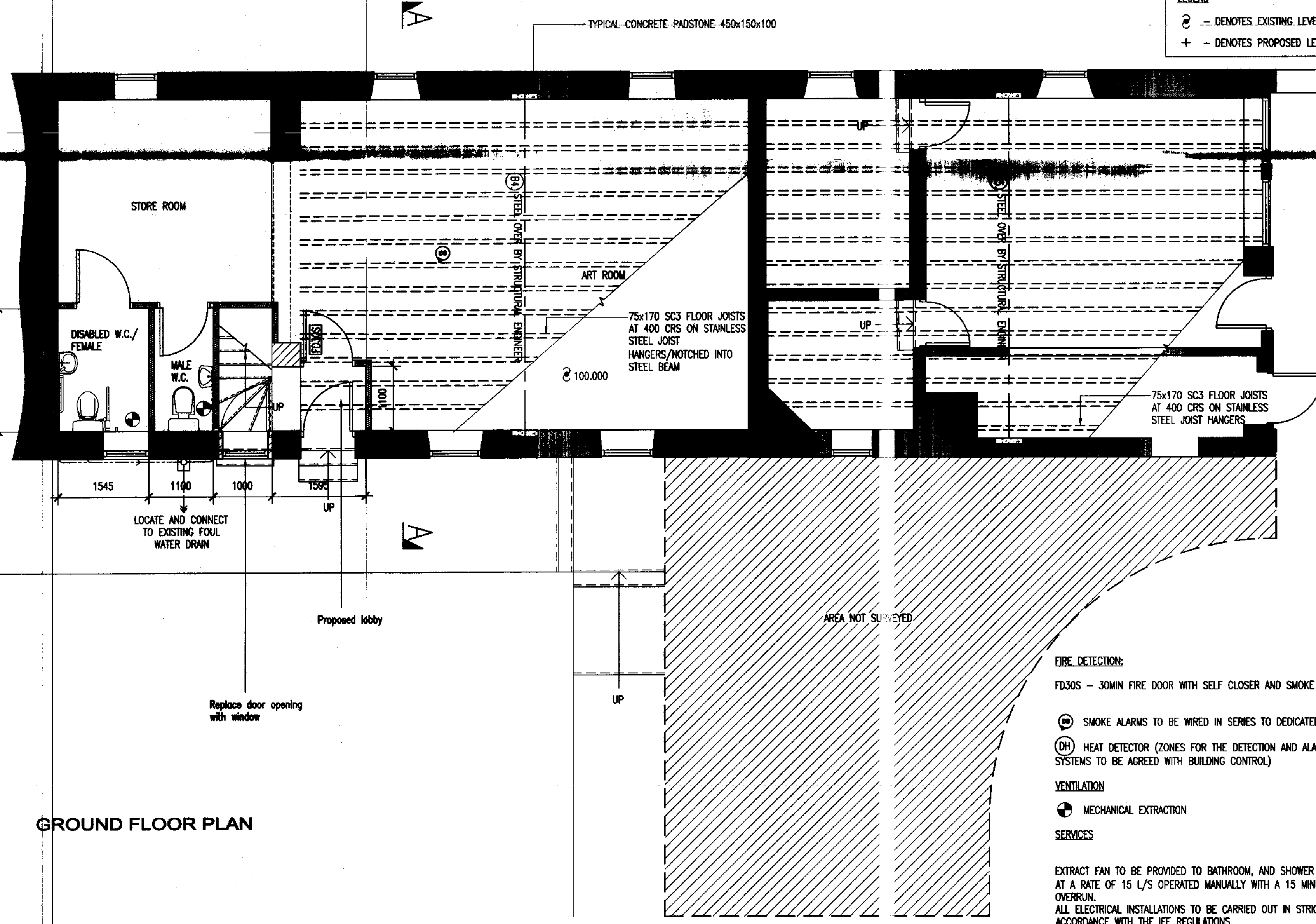


FIRST FLOOR PLAN

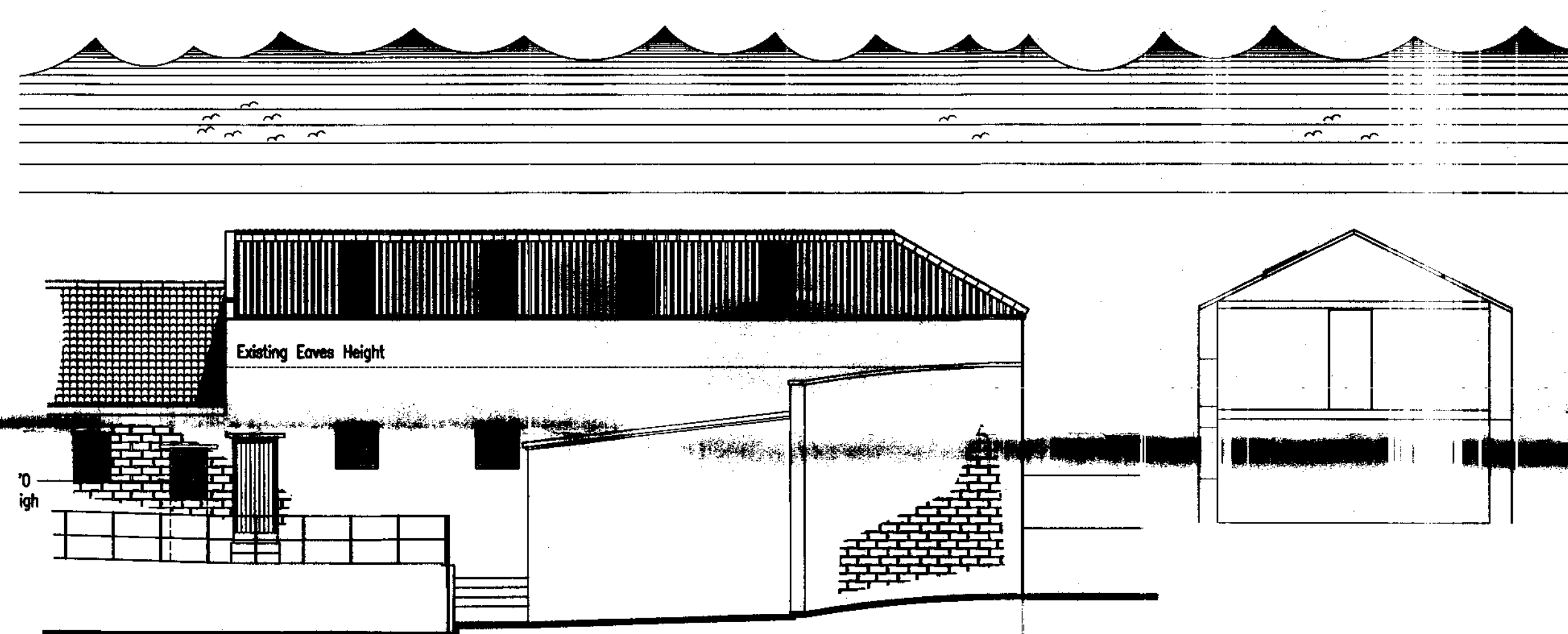


FRONT ELEVATION

SIDE ELEVATION



GROUND FLOOR PLAN



REAR ELEVATION

SECTION A-A

LEGEND
 @ - DENOTES EXISTING LEVEL
 + - DENOTES PROPOSED LEVEL

DRAINAGE BELOW GROUND
 ALL UNDER GROUND DRAINAGE IS TO BE IN ACCORDANCE WITH BUILDING REGULATIONS 1991 (WITH AMENDMENTS), BS8301 CODE OF PRACTICE FOR BUILDING DRAINAGE, BS8000 PART 14 : 1989 CODE OF PRACTICE FOR BELOW GROUND DRAINAGE.
 ALL NEW DRAINAGE TO BE PLASTIC-DRAIN OR SIMILAR BEDDED AND SURROUNDED IN 150MM PEA GRAVEL AND LAID STRICTLY IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS ALL PIPES TO BE BEDDED IN CLASS B BEDDING DIAGRAM 8 SECTION 2:16 AND TO THE MINIMUM AND MAXIMUM DEPTH GIVEN IN TABLE 8 SECTION 2:16 OF THE BUILDING REGULATIONS 1991.
 ANY NEW DRAINS UNDER THE PROPOSED DWELLINGS SHOULD BE LAID AND SURROUNDED IN 100MM (MIN) GRANULAR FILL. NEW PIPES THROUGH EXTERNAL WALLS TO HAVE CONCRETE LINTELS OVER AND SHALL BE CONSTRUCTED SUCH THAT A LENGTH OF PIPE IS BUILT INTO THE WALL WITH ITS JOISTS AS CLOSE AS POSSIBLE AND CONNECTED TO ROCKER PIPES WITH A LENGTH 600MM AND FLEXIBLE JOINTS.
 NEW DRAINS LESS THAN 1200MM BELOW FINISHED GROUND LEVEL IN VEHICULAR TRAFFICED AREAS TO BE BEDDED ON AND SURROUNDED IN 150MM CONCRETE.
 DRAINS CONNECTED TO 600MM DIA. GRP. MANHOLES FOR SURFACE WATER, AND CONNECTED TO MAIN SEWER. FOUL DRAINS AS ABOVE OR TO BRICK MANHOLES, 225 ENGINEERING BRICKS BUILT OFF 100MM CONCRETE BASE AND WITH CAST-IRON COVERS AND FRAMES IN VEHICULAR AREAS.

DRAINAGE ABOVE GROUND
 SOIL VENT PIPES SHALL BE MARLEY PVC SOIL VENT OR SIMILAR SYSTEM INCLUDING ALL NECESSARY COMPONENTS I.E MULTI BOSS BRANCHES, CONNECTORS, RADIUS BENDS ECT. ALL SVP'S SHALL BE TAKEN UP INTO THE ROOF SPACE AND CONNECTED VIA A FLEXIBLE CONNECTOR, TO A PURPOSE MADE TILE/RIDGE TERMINAL. ALL W.C'S TO HAVE 110MM DIA CONNECTIONS TO SVP'S AND ALL WHB'S TO BE PROVIDED WITH ANTI-SYPHON BOTTLE TRAPS AND MIN 38MM DIA PVCU WASTES. ALL SVP'S TO CONTAIN INSPECTION EYES AT FLOOR LEVEL. ALL WASTES TO BE PROVIDED WITH ROODING EYES. ALL VENT AND SOIL VENT PIPES ARE TO BE SURROUNDED IN MIN. 25MM THICKNESS OF INSULATION QUILT.
STAIRS
 TIMBER STAIRS MINIMUM 800MM WIDE BETWEEN HANDRAILS, PITCH 42°, MINIMUM HEADROOM 2 METRES, EQUAL RISERS MAXIMUM 220MM, EQUAL GOINGS MINIMUM 230 GOINGS, MINIMUM 75MM AT WINDERS.
 75MMx75MM TIMBER NEWEL POSTS. HANDRAILS AT 900MM HIGH, AND 1100MM HIGH AT LANDINGS.

PLUMBING / HEATING
 ALL WORKS BY CORGI REGISTERED HEATING ENGINEER
 1) GAS FIRED COMBINATION BOILERS FOR CENTRAL HEATING WITH BALANCED FLUES.
 2) NEW GAS COMBI-BOILERS TO BE PROVIDED SUPPLYING HEATING VIA RADIATORS TO ALL ROOMS AND HOT WATER TO KITCHEN, BATHROOM, AND SHOWER ROOM.
 3) RADIATORS IN ALL ROOMS SIZES AS SHOWN ARE INDICATIVE ONLY. SIZE & LOCATION TO BE CALCULATED BY HEATING ENGINEERS. SIMILARY ALL PIPEWORK, BOILERS, VALVES & FITTINGS.
 4) THERMOSTATIC CONTROL VALVES TO ALL RADIATORS IN ALL ROOMS AND AT LEAST ONE ROOM STAT. A SEVEN DAY PROGRAMMER IS ALSO TO BE PROVIDED TO CONTROL BOTH THE HEATING AND HOT WATER. AT LEAST ONE ROOM STAT.
 5) PROGRAMME/TIMER FOR SYSTEM.
 6) 78X S.E.D. BUK VALVE READING.
 7) ENSURE HEATING SYSTEM CAN PROVIDE 21°C WHEN EXTERNAL AIR TEMPERATURE IS -4°C

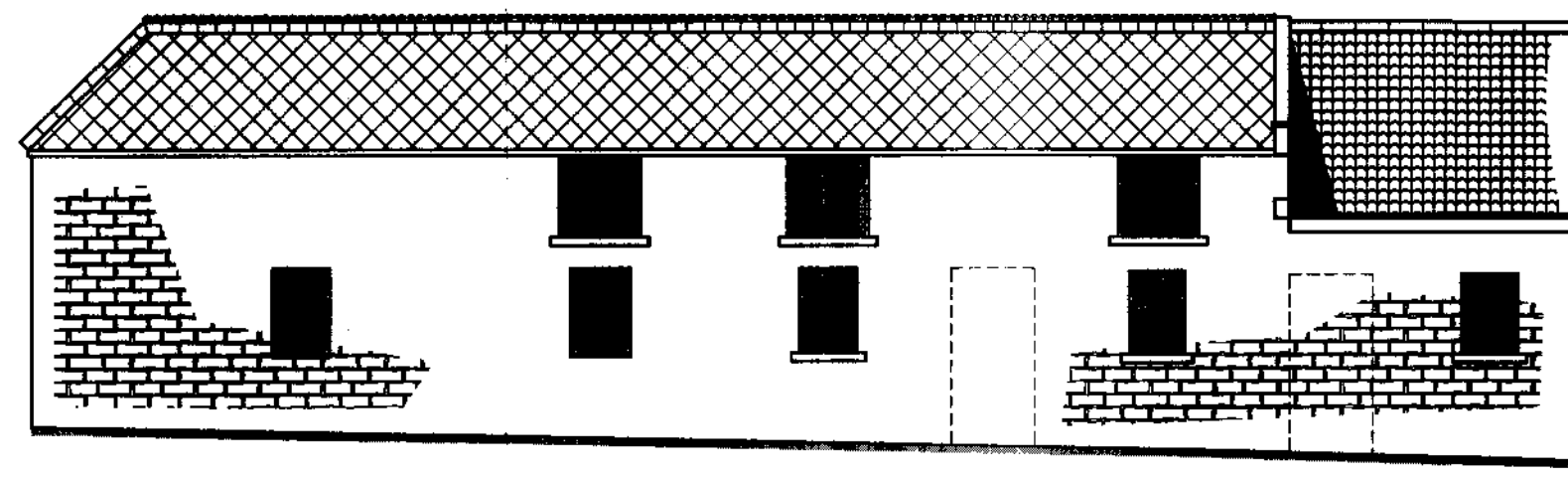
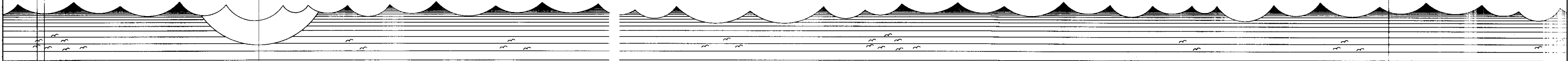
WALL TYPE KEY:
 [Pattern] 102mm THICK RECLAIMED STONE EXTERNAL LEAF
 [Pattern] 100mm AERATED CONCRETE BLOCKWALL INNER LEAF
 [Pattern] INSULATED TIMBER STUD WALL 100x50mm STUDS @400mm VERTICAL & 1200mm HORIZONTAL CENTRES. 75mm QUILT INSULATION

REV	DATE	BY	REVISION	CHKD	APPD
D	21/08/07	KH	ROOF GLAZING PLAN		
C	12/07/07	IND	ROOF GLAZING		
B	29/05/07	KH	CONSTRUCTION DETAILS ADDED		
A	MAR 07	GR	ISSUED FOR APPROVAL	IND	

b h d partnership
 Airy Hill Manor, Whiby, North Yorkshire, UK, YO21 1QB.
 Tel: 01947-604871 Fax: 01947-600010
 general@bhdpartnership.com www.bhdpartnership.com

DISCIPLINE: ARCHITECTURAL		
CLIENT: FYLINGHALL SCHOOL		
PROJECT: ALTERATIONS TO ART ROOM, FYLINGHALL SCHOOL, RHB		
TITLE: PROPOSED PLAN AND ELEVATIONS		
DESIGNER: G. REBED	DRAWN: N. I. DUFFIELD	APPROVED:
SCALE @ SIZE: 1:100 @ A1	DATE: 15 MARCH 07	DRAWING STATUS: PROVISIONAL
DRAWING NO: D8805-02		REV: D

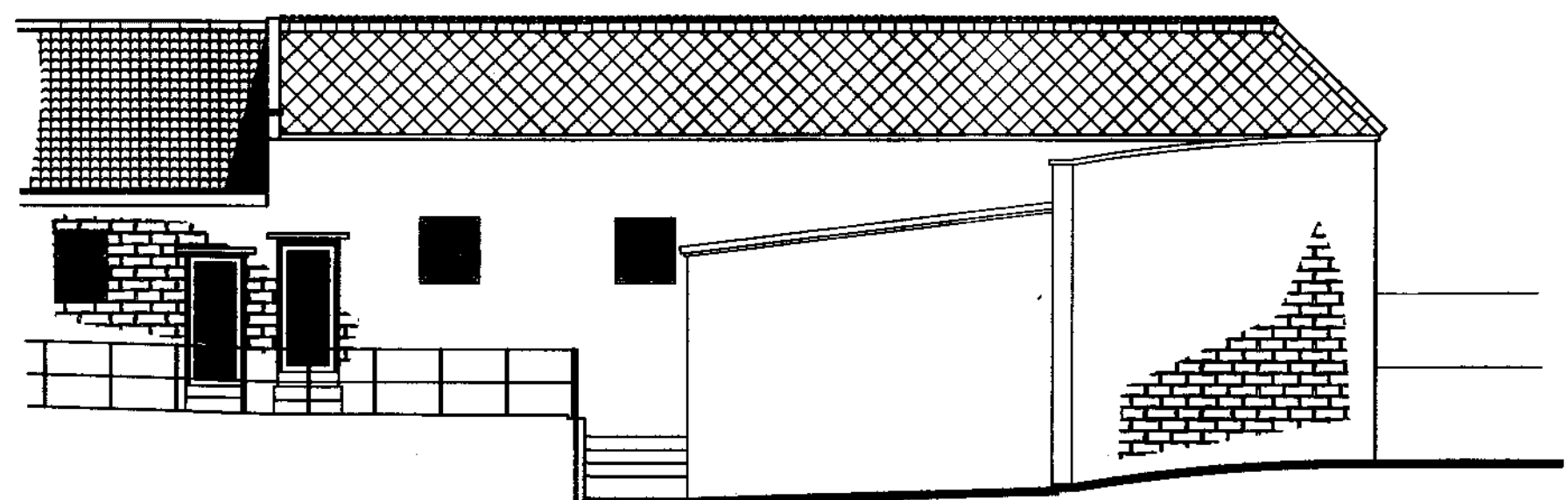
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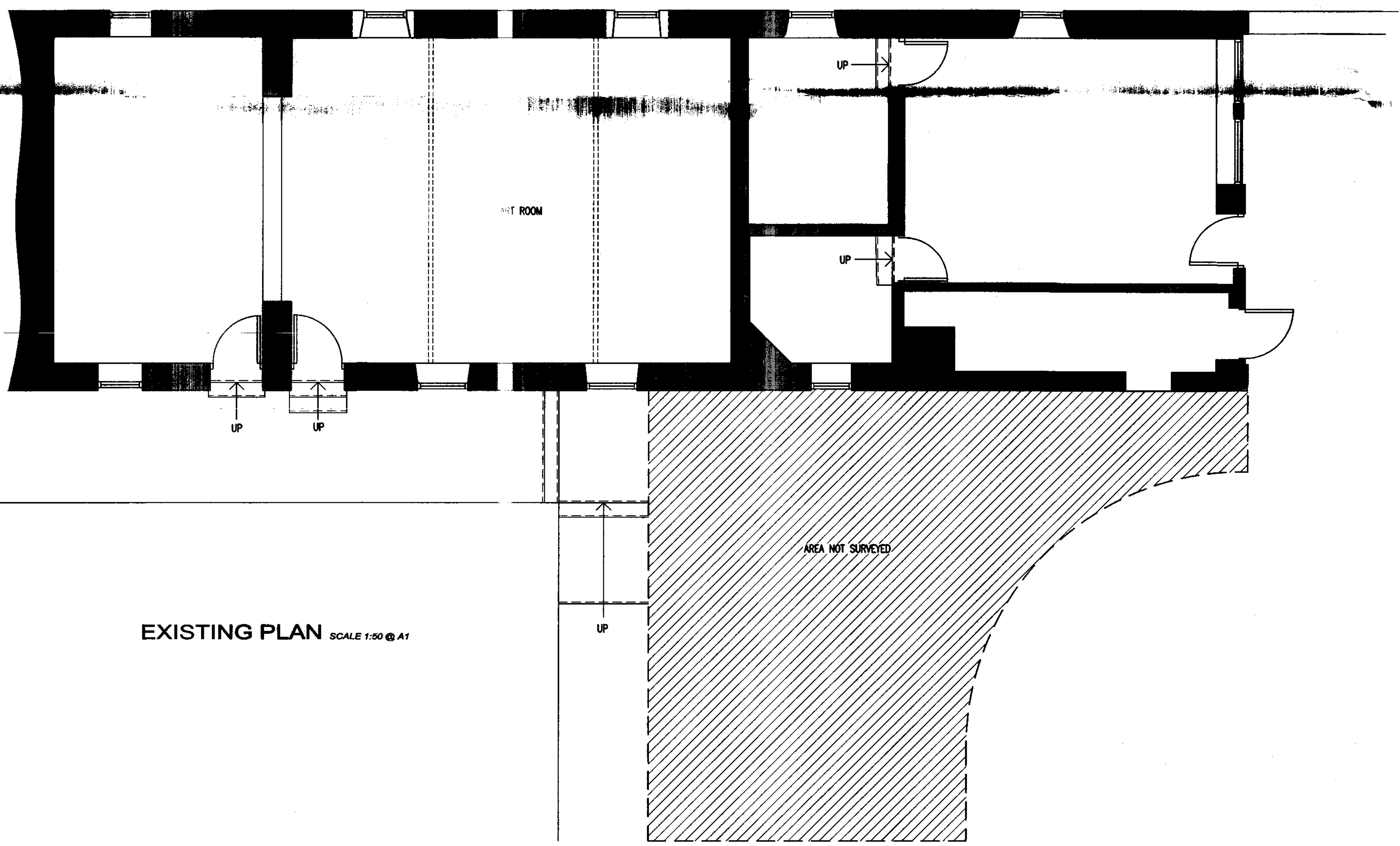
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



EXISTING PLAN SCALE 1:50 @ A1

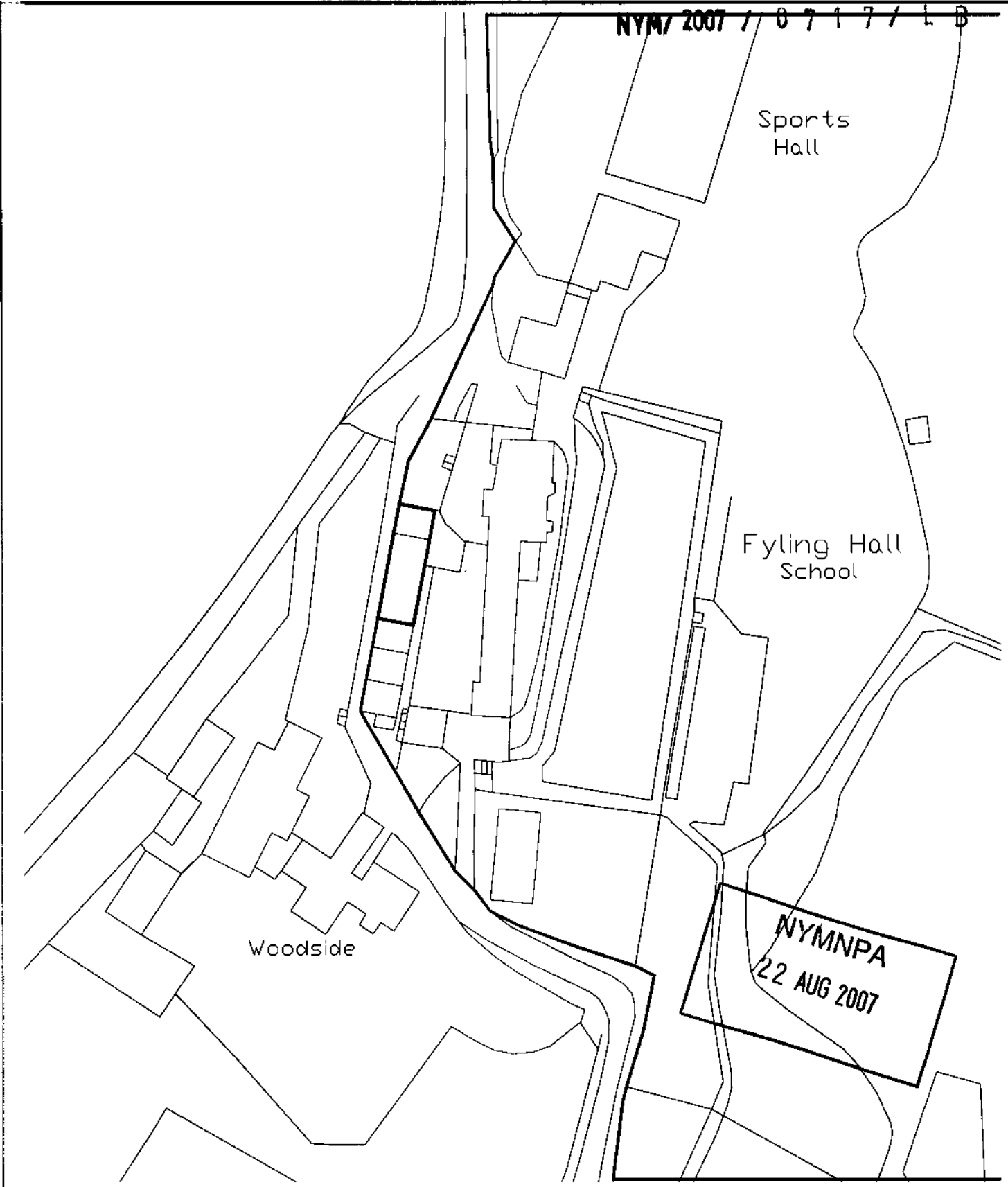
NYM/ 2007 / 0717 / 1 B
22 AUG 2007

A	MAR 07	GR	ISSUED FOR APPROVAL	ND
REV	DATE	BY	REVISION	CRD / PFD

b h d partnership
 Airy Hill Manor, Whiby, North Yorkshire, UK, YO21 1QB.
 Tel: 01947-604871 Fax: 01947-600010
 general@bhdpartnership.com www.bhdpartnership.com

DISCIPLINE:	ARCHITECTURAL		
CLIENT:	FYLINGHALL SCHOOL		
PROJECT:	ALTERATIONS TO ART ROOM, FYLINGHALL SCHOOL, RHB		
TITLE:	EXISTING PLAN AND ELEVATIONS		
DATE:	G. REED	CHECKED:	N. I. DUFFIELD
SCALE & SIZE:	1:50 & 1:100 @ A1	DATE:	15 MARCH 07
ISSUING STATUS:	PROVISIONAL		
ISSUE NO.:	D8805-01		REV: A

NYM/ 2007 / 0717 / LB



b h d partnership
 Aiky Hill Manor, Whistby, North Yorkshire, UK. YO21 1QB.
 Tel: 01947-604871 Fax: 01947-600810
 general@bhdpartnership.com www.bhdpartnership.com

CLIENT:
MR. GAFFNEY

PROJECT:
**ADDITIONAL CLASSROOM
 SPACE, FYLINGHALL SCHOOL**

DRAWING TITLE:
SITE PLAN

A4 DRN: **G. REED** DATE: **15 MAY 07**
 SCALE: **1:1000@A4** ISSUE: **PROVISIONAL**

16 MAY 07	GR	ISSUED FOR APPROVAL	NID
DATE	BY	AMENDMENT	CHKD APVD

DRAWING NR:
D8805-03

REV:
A



North York Moors National Park
Listed Building Consent
Application Form

07/17
PT1

Ref: _____
Date Received: _____
Grid ref: N293661, 04285

LB exempt

Please read the leaflet *How to fill in your Listed Building Consent Application Form* before completing this form.

SECTION 1 YOUR DETAILS

1. Applicant

Name MR. T. RAFFNEY
Address FYLINGHALL SCHOOL TRUST LTD,
ROBIN HOODS BAY, NORTH YORKS.

2. Agent

Name BHD PARTNERSHIP
Address AIRY HILL MANOR,
WATERSTEAD LANE, WHITBY,
NORTH YORKS.

Post Code YO22 4GD

Post Code YO21 1QB

Tel No [REDACTED]

Tel No [REDACTED]

3. Full postal address of the building(s) for which consent is being sought

AS APPLICANT ABOVE

4. Existing use of buildings

ART DEPARTMENT.

NYMNP
22 AUG 2007

NYMNP
22 AUG 2007

SECTION 2 YOUR PROPOSAL

5. Brief description of the proposed works

1ST FLOOR EXTENSION TO ART ROOM

Please send or deliver to:
The North York Moors National Park,
The Old Vicarage,
Bondgate,
Helmsley,
York YO6 5BP

6. Type of application (please tick at least one box)

- A. Application for works including partial or total demolition of a Listed Building
- B. Application for alteration or extension of a Listed Building
- C. Application for works to the interior only of a Grade II (unstarred) Listed Building
- D. Application for variation or discharge of condition of an existing Listed Building Consent

7. Full description of the proposed works

INCREASING THE EXISTING ROOF HEIGHT TO ALLOW FOR
 INSERTION OF NEW 1ST FLOOR RT ROOM

NYMNP
 22 AUG 2007

8. Details of materials for construction and finishes

	Existing	Proposed
Chimneys	N/A	N/A
Roof finish	ASBESTOS TILE	CLAY PAN TILE
Rainwater goods	BLACK PLASTIC	BLACK PLASTIC
Walls	STONE	STONE
Windows	PAINTED TIMBER	PAINTED TIMBER
Doors	PAINTED TIMBER	PAINTED TIMBER
Shop front	N/A	N/A
Internal features	TIMBER STAIRS	TIMBER STAIRS

SECTION 3 WHAT YOU NEED TO INCLUDE WITH YOUR APPLICATION


9. Plans

Please list below the plans, sections, elevations, photographs, schedules etc. which are included with this application

D8805-01-A, D8805-02 D, D8805-03-A

10. Declaration

I / We* hereby apply for Listed Building Consent in accordance with the above details and the accompanying information.

Signed  (Applicant/Agent*)
 On behalf of FYUNG HALL SCHOOL TRUST LTD. (Applicant)
 Date 21/08/2007

* delete as necessary

11. Certificates


You are required to complete an ownership certificate, usually either Certificate A or Certificate B. Please cross out the one which does not apply.

Please note that it is an offence knowingly to make a false declaration

CERTIFICATE A

I hereby certify that:

~~No person other than myself~~/ the applicant* was an owner† of the building(s) to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

Signed 
 * On behalf of FYUNG HALL SCHOOL TRUST LTD
 Date 21/08/2007
 * delete where inappropriate

CERTIFICATE B

I hereby certify that:

I have / the owner has* given the requisite notice to all persons other than myself / the applicant* who, 21 days ending with the date of the accompanying application were owners† of the building to which the application relates, viz.

Owner's name _____
 Address _____
 Date on which notice was served _____
 Signed _____
 * On behalf of _____
 Date _____

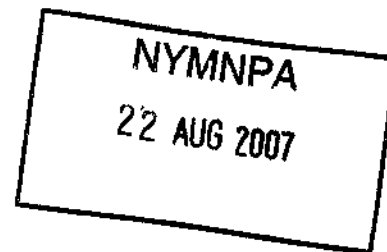
* delete where inappropriate

† 'owner' means a person having a freehold interest or a leasehold interest the unexpired term of which is not less than 7 years

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 22 AUG 2007

NYM/ 2007 / 0 7 1 7 / L B

DESIGN & ACCESS STATEMENT
FIRST FLOOR EXTENSION TO CLASSROOM
FOR
FYLINGHALL SCHOOL, ROBIN HOODS BAY



b h d partnership ltd

Airy Hill Manor, Whitby, North Yorkshire, YO21 1QB
Tel: 01947 604871 **Fax: 01947 600010**
general@bhdpartnership.com **www.bhdpartnership.com**

1.0 INTRODUCTION

- 1.1 Fylinghall is a Co-Educational independent School situation approx 1½ miles from Robin Hoods Bay and 6 miles from Whitby. The School was originally founded in 1923 and continued as an asset to this rural area ever since.
- 1.2 This document supports the Planning and Listed Building Applications made on behalf of Fylinghall for additional classroom accommodation.

2.0 SITE AND CONTEXT

2.1 The Building

The subject building forms the Western edge of the site immediately adjacent to the public highway.

It is currently in serious need of repair and refurbishment in particular the roof which is clad in asbestos diamond shaped tiles.

2.2 Opportunity

The building by virtue of its position, state of repair and existing height offers an ideal opportunity to create additional classroom space without extending the site or and keeping the same general massing of the development area.

2.3 General Proposals

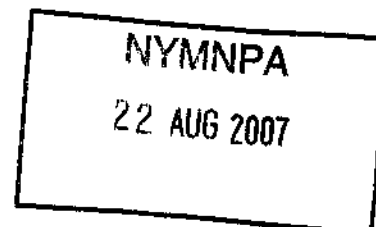
The development comprises of refurbishment of the building and provision of a new roof. The new roof will be one metre higher than the existing roof with the same pitch and re-use of existing stone copings, clay ridge and hip tiles.

This lifting of the roof by 1m will allow a full upper floor to be installed with independent access offering a new classroom area.

2.4 Policies

The proposals are likely to be considered in the context and sprint of Local Plan Policies:

- BE1 BE3 BE4 - The Built Environment
- E2 - Economy
- C3 - Community Facilities



3.0 DESIGN

3.1 Selection

Primary consideration is given to the effect on the traditionally constructed subject building and also the setting of Fylinghall School in general.

The pressure to create additional classroom space is very strong with a variety of options viewed. However utilising an existing building is usually the best option with the least effect on the surrounding area and minimal impact on visual amenity from within or without the site.

3.2 Appearance

The roof will be the major element of the scheme as it is at the moment. As previously mentioned the pitch will be identical to existing with the stone verge copings, clay hip and ridge tiles re-used where possible. The roof will be covered using clay non-interlocking pantiles flashed with lead to the copings and bedded on mortar at eaves.

Initial designs included conservation style rooflights on the inward (east) roofslope. Following advice from the Conservation Officer these were changed for a less domestic approach and the four strips of glazing incorporated.

The walls have been left exactly the same to retain visible evidence of the buildings evolution. The increase in height will be created using matching coursed natural stone.

3.3 Internal Layout

Currently the building is a single room and this will be retained with another single room added at first floor area.

The only compartmentation proposed will be to enclose a staircase to ensure compliance with fire regulations.

4.0 Access

4.1 General

Existing access points to the building will be retained in the form of two personnel doors on the side (east) elevation.

Access to the upper floor will be provided by an ambulant disabled stair i.e. a stair designed with a gentle gradient to allow a high level of inclusion.

All floor levels will be smooth and the steps that form the split level will also be ambulant.

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 22 AUG 2007