

1.991

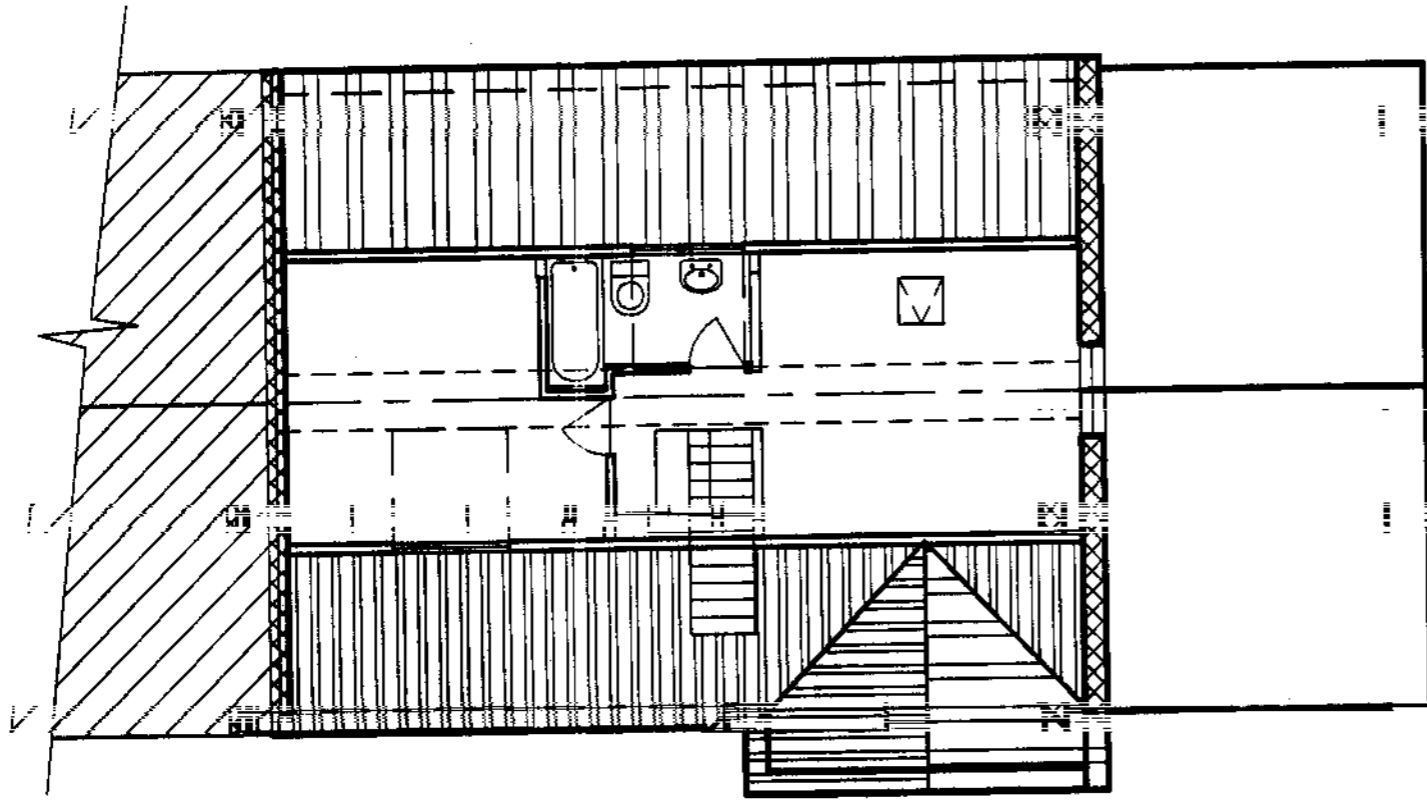
DRAWINGS
FOR
SINGLE STOREY EXTENSION
AT
11 KINGSTON GARTH, FYLINGTHORPE
WHITBY

NYMNPA
- 1 NOV 2007

| Drg no | Title | Drg no | Title | Client |
|---------|-------|--------|-------|--|
| | | | | MEMR MITWINSPEAR |
| | | | | <p>Richard Agar Associates Limited</p> <p>Consulting Civil & Structural Engineers 21 A BAXTERGATE WHITBY NORTH YORKSHIRE YO21 1BW Tel 01947-821147 Fax 01947-821147 Mobile 07710-488197</p> |
| Drg ref | | | | 1.991 |

NYM/2007 / 0912 / F2

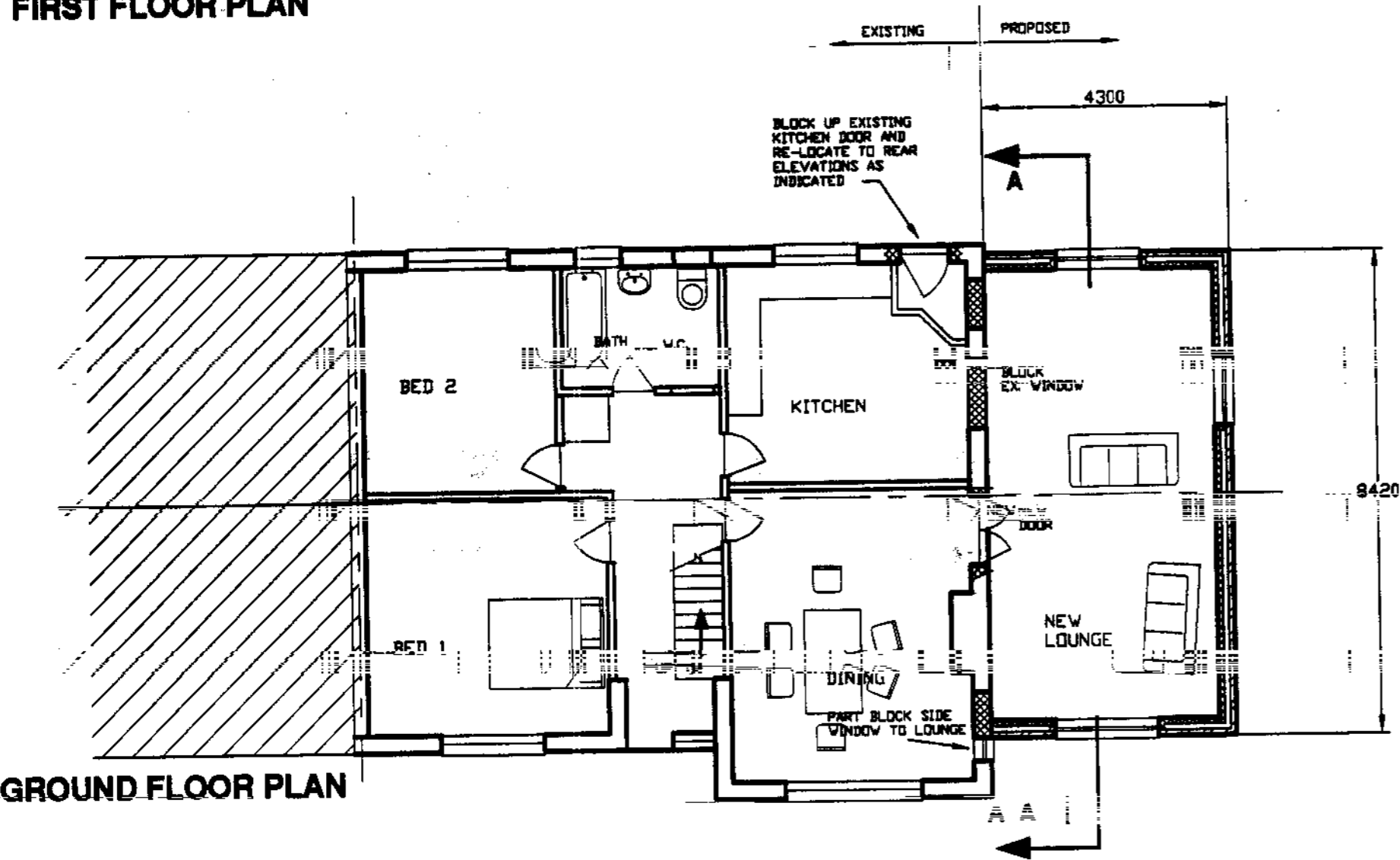
SEE DRAWING No. 1991-07 FOR TYPICAL SECTION



FIRST FLOOR PLAN

NYM/NPA
 -1 NOV 2007

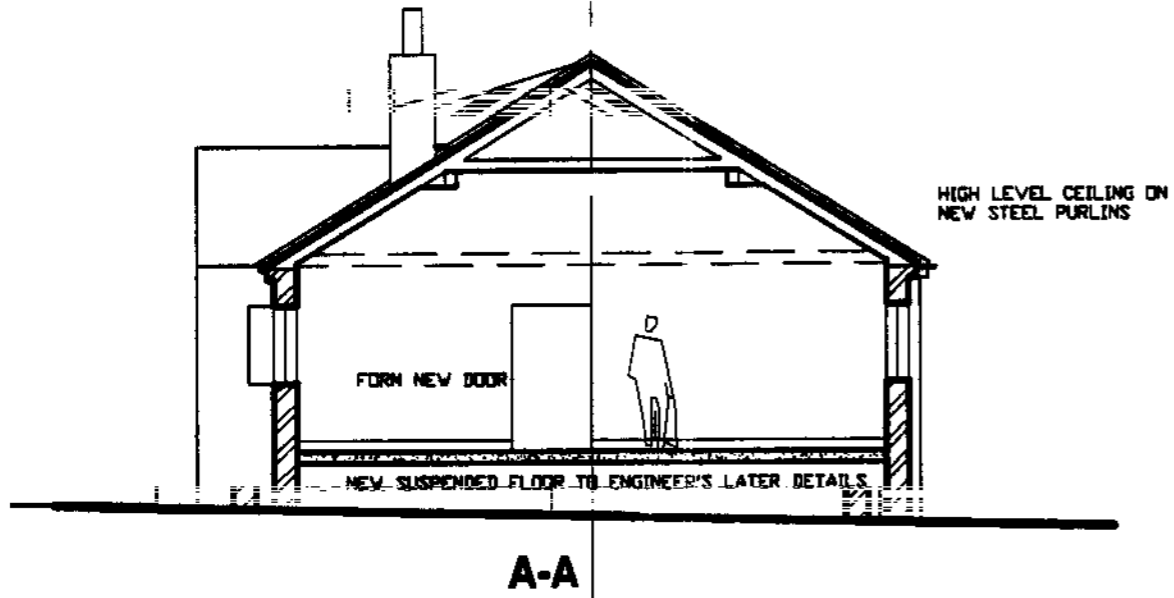
PLANNING ISSUE
 NOT FOR CONSTRUCTION



GROUND FLOOR PLAN

| | |
|--|----------------|
| Richard Agar Associates Limited | |
| Consulting Civil & Structural Engineers | |
| 21 A BARKINGATE WHITBY NORTH YORKSHIRE YO21 1BY | |
| Tel: 01947-820792 Fax: 01947-821147 Mobile: 07710-998827 | |
| MR M WINSPEAR | |
| Project SINGLE STOREY EXTN. HILKINGTON GARTH WYLINGTHORPE WHITBY | |
| Title PROPOSED PLANS | |
| Drawn RA | Date Oct'07 |
| Scale 1/100 | |
| Orig No. 1991/06 | Rev |

NYM/ 2007 / 0912 / FL



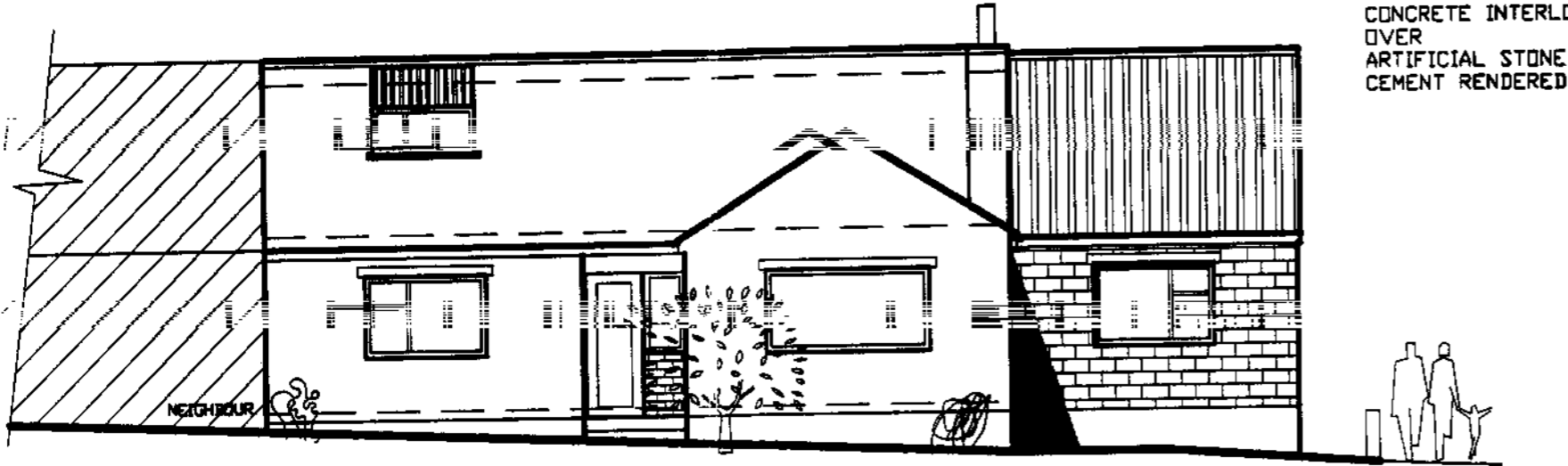
NYMINPA
 -1 NOV 2007

PLANNING ISSUE
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| | |
|---|---------------------------------|
| Richard Agar Associates Limited | |
| <small>Consulting Civil & Structural Engineers</small> | |
| <small>21 A BAKERSGATE WHITBY NORTH YORKSHIRE YO21 1PW</small> | |
| <small>Tel 01947-821147</small> | <small>Fax 01947-821147</small> |
| <small>Mobile 07726-488197</small> | |
| Client MR H WINSPEAR | |
| Project SINGLE STOREY EXTN. 11 KINGSTON GARTH 21A BAKERSGATE WHITBY | |
| Title PROPOSED SECTIONS | |
| Drawn RA | Date Oct'07 |
| Scale 1/100 | |
| Proj No. 1.991/07 | Rev |

NYM/ 2007 / 0912 / FL

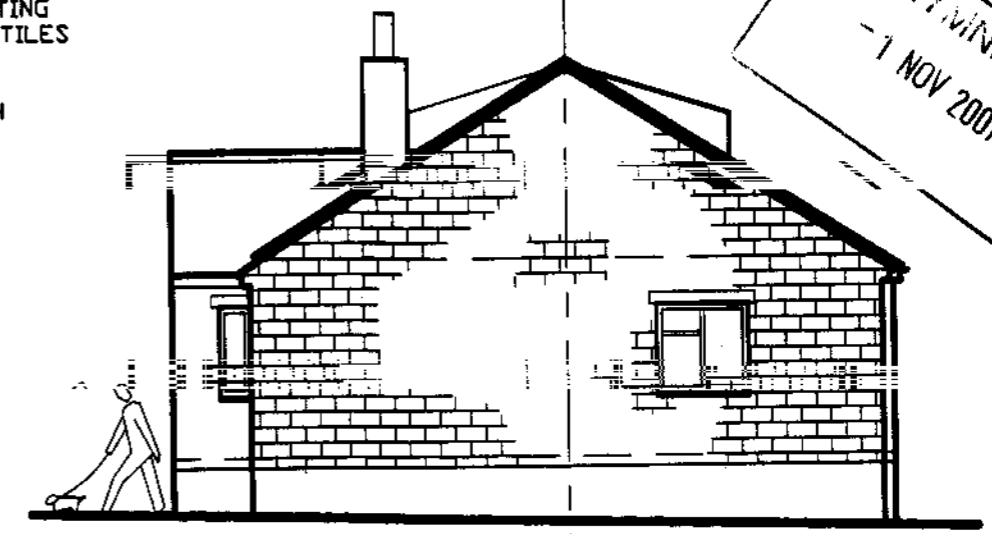
W/ MINPA
- 1 NOV 2007



EXISTING DWELLING PROPOSED EXTENSION

SOUTH (front) ELEVATION

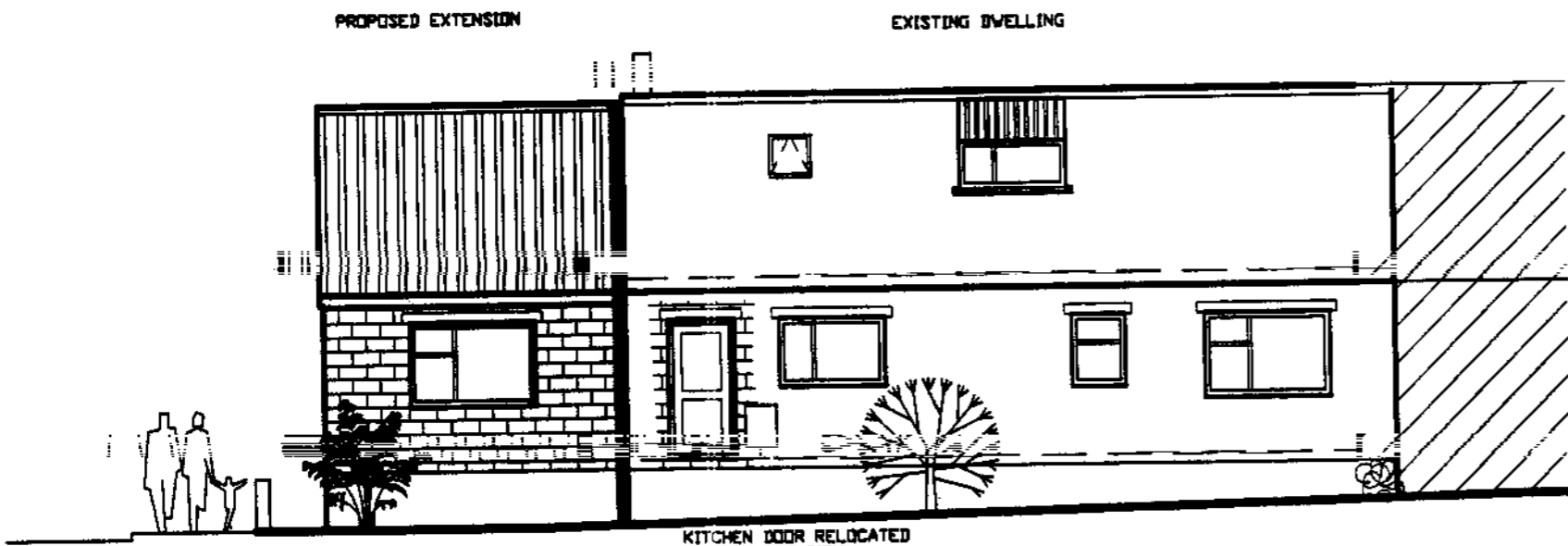
FINISHES TO MATCH EXISTING
CONCRETE INTERLOCKING TILES
OVER
ARTIFICIAL STONE WALLS
CEMENT RENDERED PLINTH



NEW WINDOWS TO MATCH EXISTING UPVC

EAST (side) ELEVATION

PLANNING ISSUE
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PROPOSED EXTENSION EXISTING DWELLING

NORTH (rear) ELEVATION

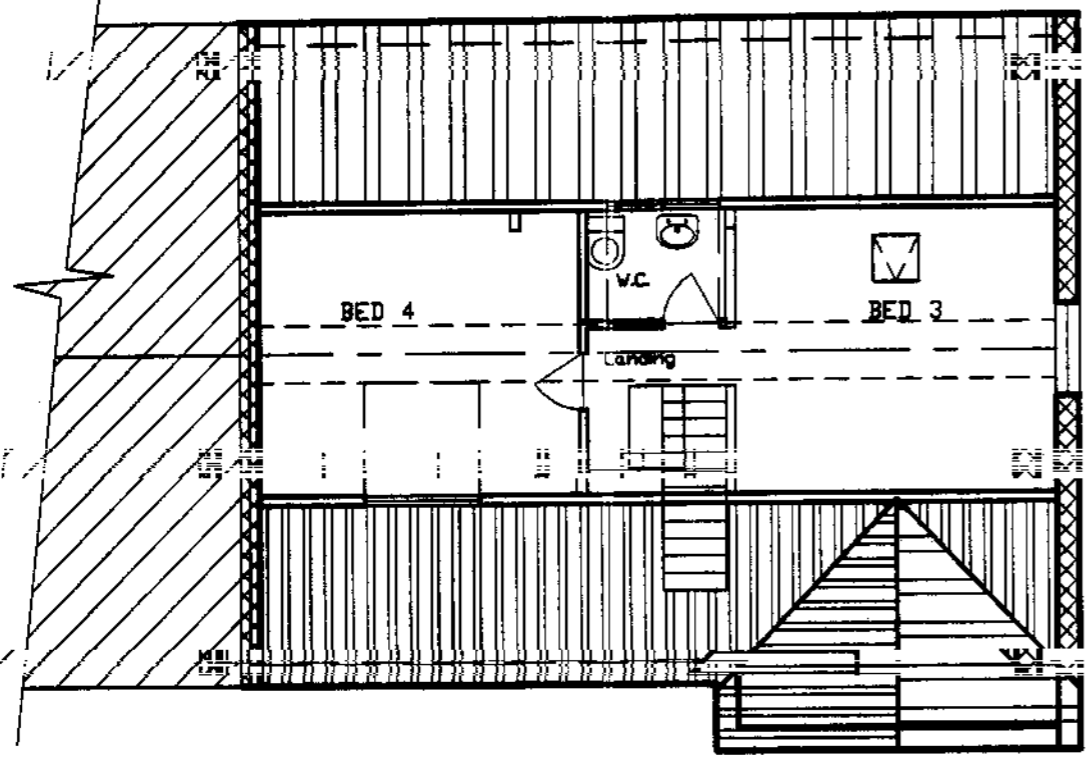
KITCHEN DOOR RELOCATED
TO THIS LOCATION
STEPS SIMILAR TO EXISTING

EXISTING ROOF COVERED WITH
CONCRETE INTERLOCKING TILES.
EXISTING WALLS ARTIFICIAL STONE
OVER CEMENT RENDERED PLINTH.
NEW WALLS SET APPROX 150mm
INSIDE FACE OF EXISTING
ELEVATIONS (as indicated on plan)
NEW FIRE BEIGE LINE APPROX 100mm
LOWER THAN EXISTING

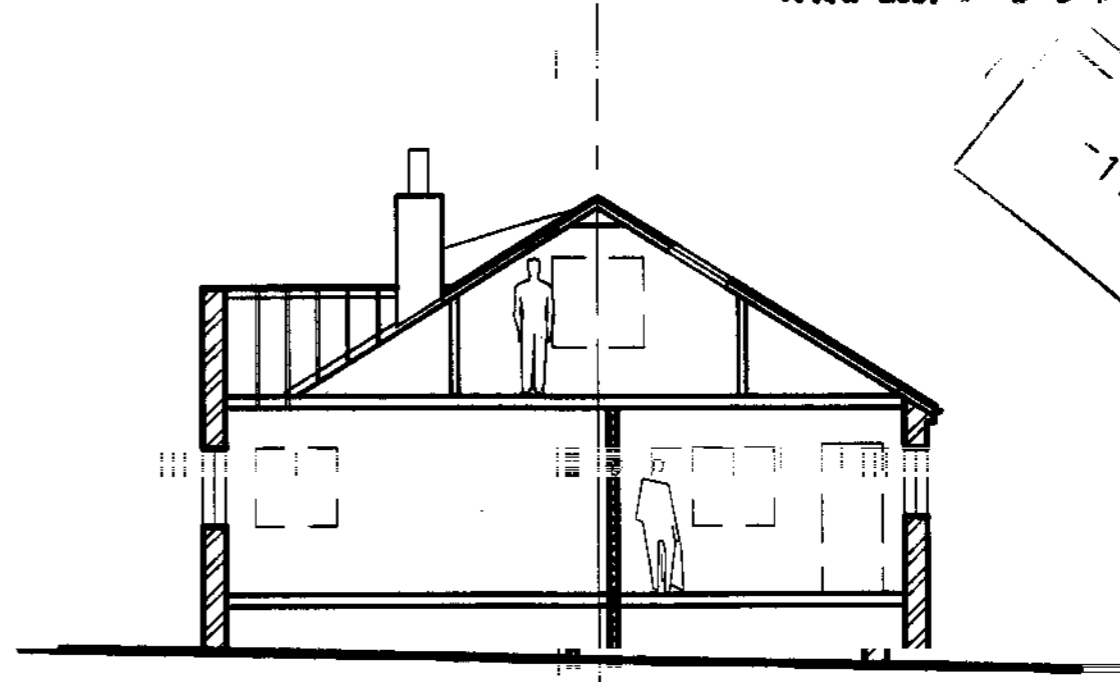
| | |
|---|----------------|
| Richard Agar Associates Limited | |
| Consulting Civil & Structural Engineers 21 A BAXTERGATE WYBURN ROAD WYBURN YO81 1BY Tel: 01477 804000 Fax: 01477 805147 Mobile: 07710 408197 | |
| Client MR M WINSPEAR | |
| Project SINGLE STOREY EXTN. 11 KINGSTON GARTH FYLLINGTHORPE WHITBY | |
| Title PROPOSED ELEVATIONS | |
| Drawn RA | Date Oct'07 |
| Scales 1/100 | |
| Drwg No. 1.991/05 | Rev |

NYM/2007 / 0512 / FL

NYMINPA
- 1 NOV 2007

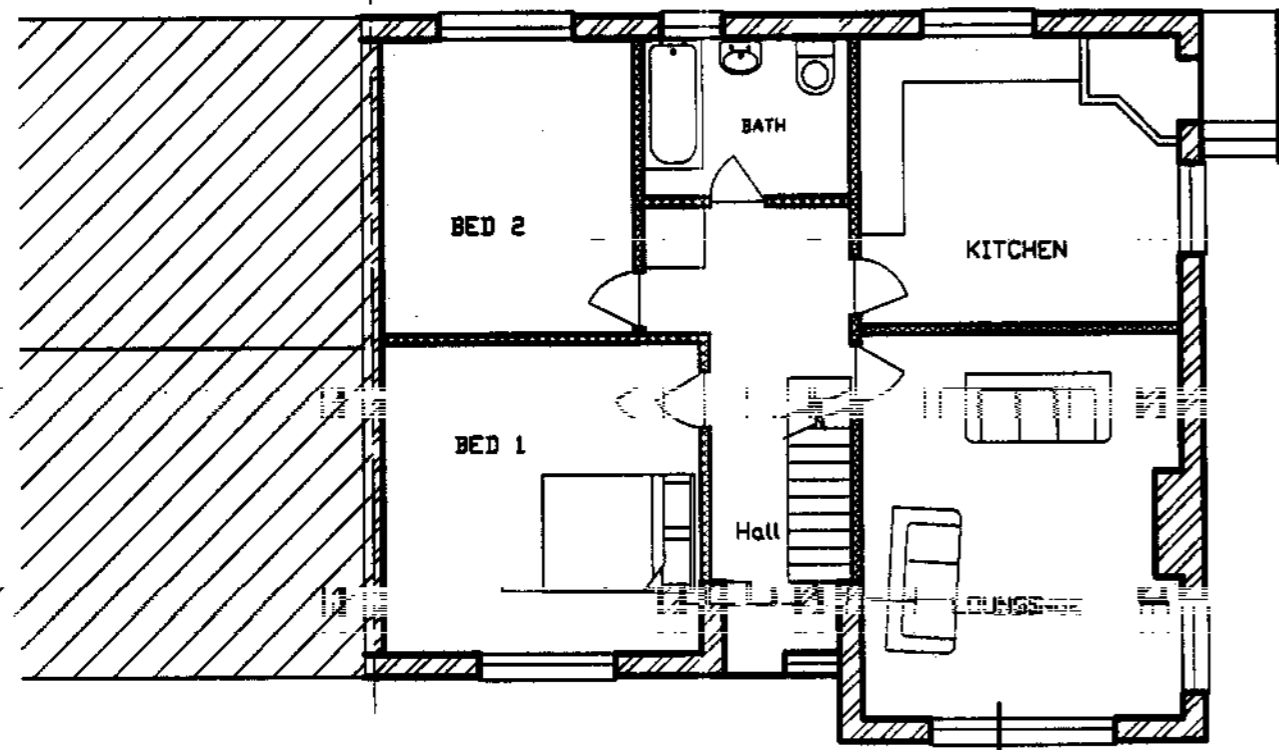


FIRST FLOOR PLAN



DASHED LINES INDICATE OPENINGS IN FOREGROUND

TYPICAL SECTION

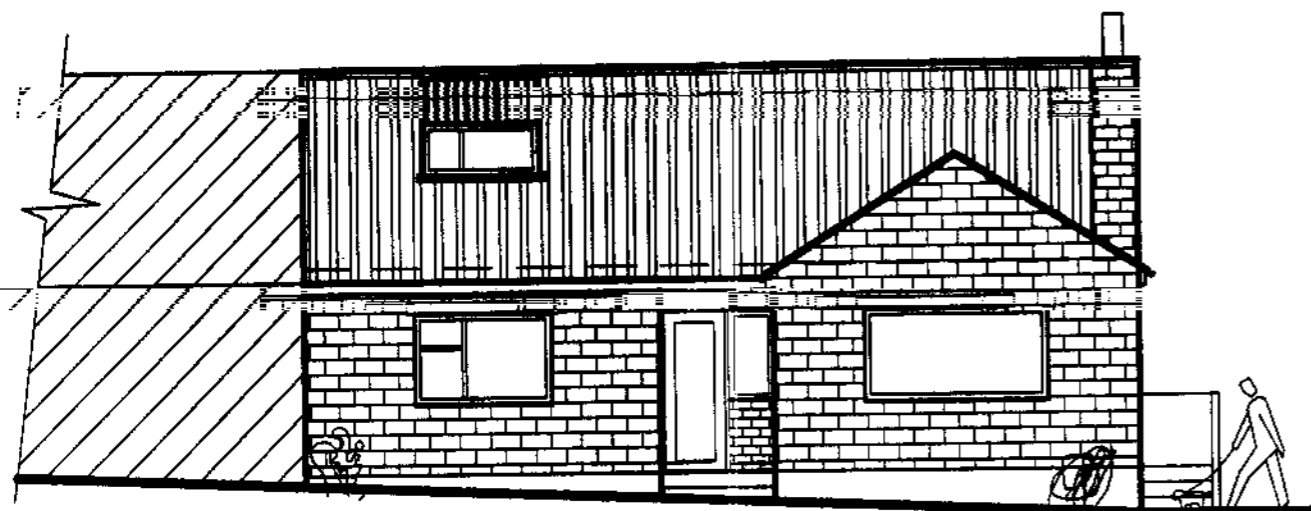


GROUND FLOOR PLAN

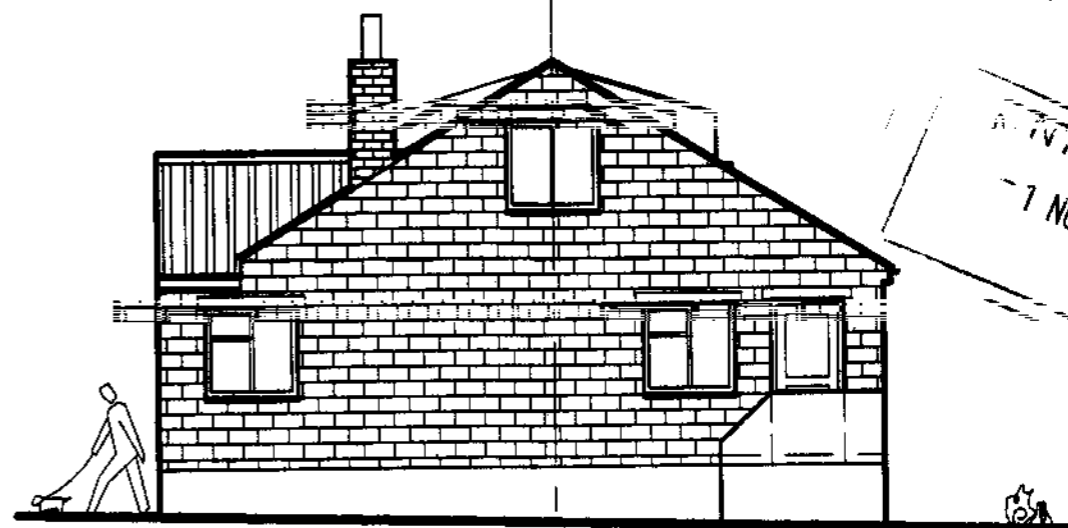
PLANNING ISSUE
NOT FOR CONSTRUCTION

| | |
|--|------------------------|
| <p>Richard Agar Associates Limited</p> <p>Consulting Civil & Structural Engineers 21 A BANTERGATE WHITBY NORTH YORKSHIRE YO21 1BY</p> <p>Tel: 01947-880998 Fax: 01947-881147 Mobile: 07710-488197</p> | |
| <p>Client MR M WINSPEAR</p> | |
| <p>Project SINGLE STOREY EXTN. 41-43 STATION ROAD FYLINGTHORPE WHITBY</p> | |
| <p>Title EXISTING EXISTING PLANS</p> | |
| <p>Drawn RA</p> | <p>Date Oct'07</p> |
| <p>Scale 1:100</p> | |
| <p>Drng No. 1.991/04</p> | <p>Rev</p> |

NYM/ 2007 / 0912 / FL



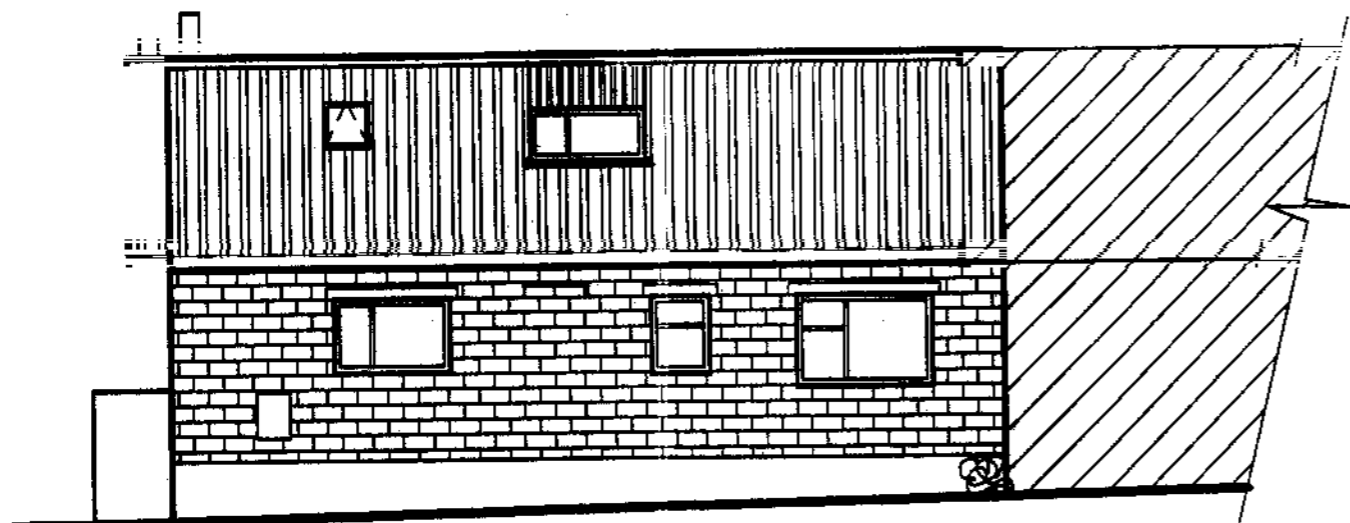
SOUTH (front) ELEVATION



EAST (side) ELEVATION

APPLY FOR NPA
- 7 NOV 2007

CONCRETE INTERLOCKING TILES over
ARTIFICIAL STONE WALLS with
WHITE PVC WINDOWS
CEMENT RENDERED PLINTH



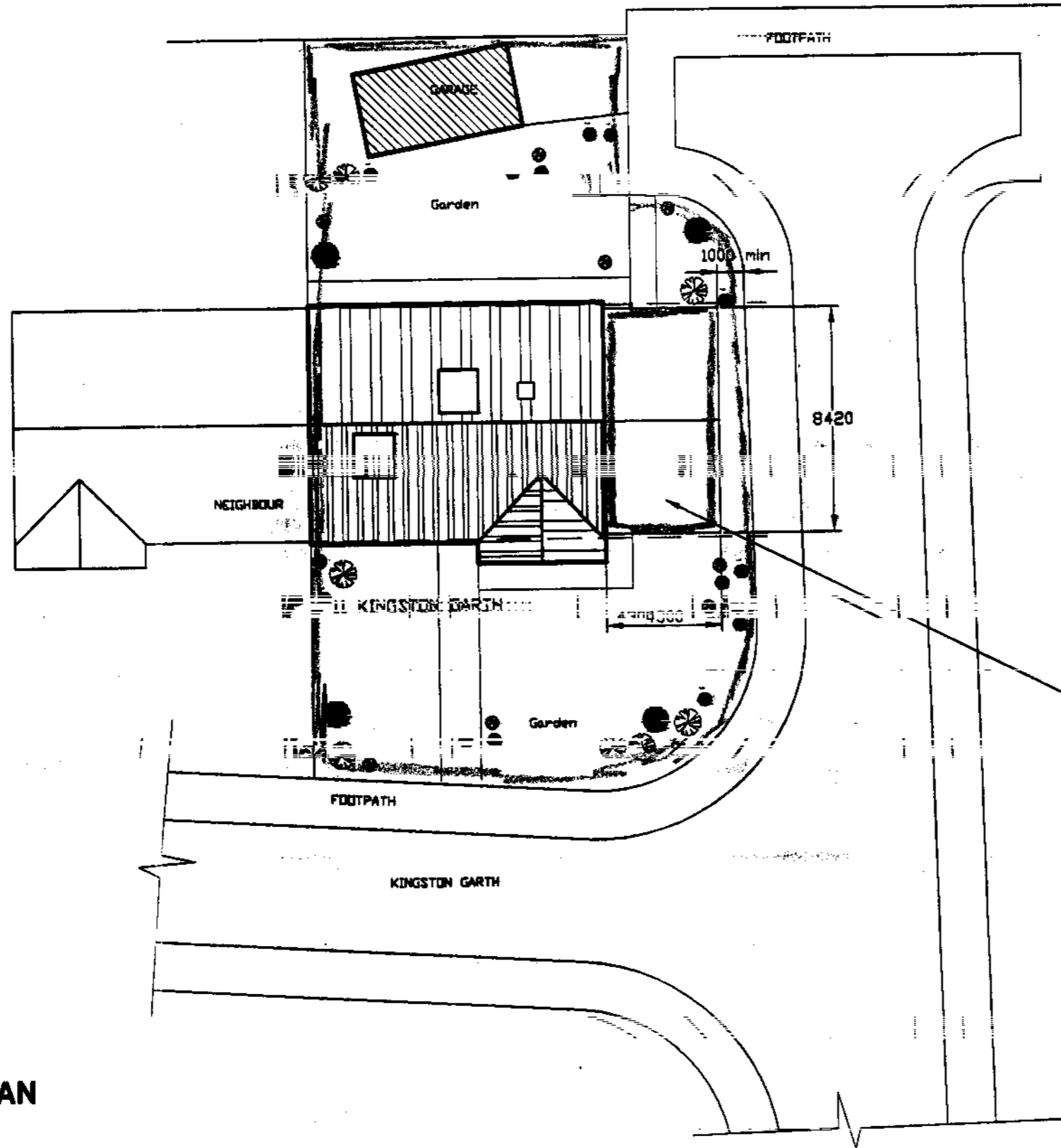
NORTH (rear) ELEVATION

PLANNING ISSUE
NOT FOR CONSTRUCTION

| | |
|---|----------------|
| Richard Agar Associates Limited | |
| 21 A BARKER GATE WHITBY NORTH YORKSHIRE YO21 1BY | |
| Tel 01947-880992 Fax 01947-821147 Mobile 07710-488197 | |
| Client MR M WINSPEAR | |
| Project SINGLE STOREY EXTN. 11 KINGSTON GARTH FYLINGTHORPE WHITBY | |
| Title EXISTING ELEVATIONS | |
| Drawn RA | Date Oct'07 |
| Scales 1/100 | |
| Dwg No. 1.991/03 | Rev |

NYM/2007 / 0912 / FL

NYMNP
-1 NOV 2007



PLANNING ISSUE
NOT FOR CONSTRUCTION

OUTLINE OF PROPOSED
SINGLE STOREY EXTENSION

| | |
|--|--|
| Richard Agar Associates Limited | |
| <small>Registered Structural Engineers</small> | |
| <small>21 A BAKTERBATE WHITBY NORTH YORKSHIRE YO21 1BY</small> | <small>Tel 01947-880998 Fax 01947-821147 Mobile 07778-081972</small> |
| Client MR M WINSPEAR | |
| Project SINGLE STOREY EXTN. 11 KINGSTON GARTH FYLLINGTHORPE WHITBY | |
| Title SITE PLAN | |
| Drawn RA | Date Oct'07 |
| Scale 1/200 | |
| Drwg No. 1.991/02 | Rev |



07/9/12
PT1

North York Moors National Park

Planning Application Form

Please read the booklet
How to fill in your Planning Application before completing
this form.

| | |
|---------------------|---------------|
| For office use only | |
| Ref: | _____ |
| Admin Ref: | _____ |
| Grid ref: | NZ94292,04796 |

SECTION 1 YOUR DETAILS

| | |
|--|--|
| <p>1. Applicant</p> <p>Name <u>MR M WINSGAR</u></p> <p>Address <u>C/O AGENT</u></p> <p>Post Code _____</p> <p>Tel No _____</p> | <p>2. Agent</p> <p>Name <u>R AGAR ASSC. LTD</u></p> <p>Address <u>21A BAXTER GATE</u> <u>WHITBY</u></p> <p>Post Code <u>YO21 1BW</u></p> <p>Tel No <u>[REDACTED]</u></p> |
| <p>3. Applicant's interest in the land <u>OWNER</u></p> | |

SECTION 2 YOUR PROPOSAL

4. Full postal address or location of the application site
11 KINGSTON GARTH
YO22 4UN

5. Applicant's interest in adjoining land
[REDACTED]

6. Brief description of proposed development
SINGLG STOREY EXTENSION

RECEIVED
-1 NOV 2007

SECTION 3 YOUR APPLICATION

7. Type of application (please tick ONE box only)

| | | |
|-------------------------------------|--|-------------------|
| <input checked="" type="checkbox"/> | A. Full application including building works | go to Question 12 |
| <input type="checkbox"/> | B. Application for change of use (no building works) | go to Question 12 |
| <input type="checkbox"/> | C. Outline application | go to Question 8 |
| <input type="checkbox"/> | D. Reserved matters application | go to Question 9 |
| <input type="checkbox"/> | E. Removal or variation of condition | go to Question 10 |
| <input type="checkbox"/> | F. Renewal of temporary permission | go to Question 11 |

8. Outline Application
What is the area of the site?

Please tick those details which you wish the Planning Committee to consider formally at this stage

Siting Design External appearance Means of access Landscaping None
go to Question 12

9. **Reserved Matters Application**

Date of outline permission _____ Application No _____

Please tick those details which you wish the Planning Committee to consider formally at this stage.

- Siting Design External appearance Means of access Landscaping
go to Question 12

10. **Removal or variation of condition**

Date condition imposed _____ Application No _____

Condition No _____ go to Question 12

11. **Renewal of temporary permission**

Date permission granted _____ Application No _____

12. **Use**

What is the building/land used for at present? DWELLING

If it is unused at present, what was its last use? N/A

and on what date did it stop being used for this? (if known) N/A

13. **Access**

Does your proposal require new or altered access? YES/NO (delete as appropriate)
If YES, please tick the relevant boxes:

- New access to a road Vehicular Pedestrian
Altered access to a road Vehicular Pedestrian

NYMNP
- 1 NOV 2007

14. **Water Supply and Drainage**

Please state (please tick one box in each section) the method of:

- Water Supply Mains Private existing/proposed*
Surface Water Disposal Public Surface Water Sewer River/Stream
 Soakaway Other existing/proposed*
Foul Sewage Public Foul Sewer Septic Tank Cesspit Other
existing/proposed*
*delete as appropriate

Note: If foul drainage is not to be via a public foul sewer, a drainage assessment will be required. Please see Question 14 in the accompanying booklet.

15. **Trees**

Does the application involve: Felling or lopping trees/hedgerows YES/NO (delete as appropriate)
Planting trees YES/NO (delete as appropriate)

16. **Materials**

Walls IMITATION STONE - AS EXISTING

Roof CONCRETE TILE - AS EXISTING

17. **Is your application for business, retail or other commercial use?**

YES/NO (delete as appropriate) If NO go to Section 5
If YES please complete Questions 18-23 of Section 4 on page 4 of this form

SECTION 5 WHAT YOU NEED TO INCLUDE WITH YOUR APPLICATION

24. **Plans**

Please list below the plans which will accompany this application.

1. 991-01, 02, 03, 04, 05, 06, 07

- 25. **Certificate of Ownership and Agricultural Holdings Certificate**
You are required by law to complete either Certificate A or Certificate B (Ownership) and the Agricultural Holdings Certificate. It is an offence knowingly to make a false declaration.

CERTIFICATE OF OWNERSHIP: A

Complete if you are the owner of the building/land, along with Agricultural Holdings Certificate below.

I certify that: On the 21 days before the date of the accompanying application no other person was the owner of any part of the land to which this application relates.

Signed _____ (Applicant/Agent)

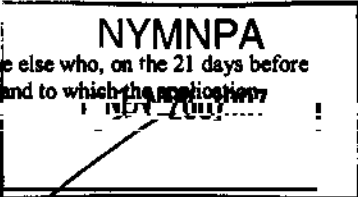
* On behalf of MR M WINSPEAR (Applicant)

Date 31-10-07

CERTIFICATE OF OWNERSHIP: B

Complete if you do not own any or all of the building/land, along with Agricultural Holdings Certificate below.

I certify that: I have/the applicant has given the requisite notice to everyone else who, on the 21 days before the date of the accompanying application, was the owner of any part of the land to which the application relates, as follows:



Owner's name _____

Address at which notice served _____

Date on which notice was served _____

Signed _____ (Applicant/Agent)

* On behalf of _____ (Applicant)

Date _____

AGRICULTURAL HOLDINGS CERTIFICATE

This section MUST be completed. Delete either A or B and complete C.

A. I certify that none of the land to which this application relates is, or forms part of, an agricultural holding.

B. I have/the applicant has given requisite notice to every person other than myself/himself who, 20 days before the date of the application was a tenant of any agricultural holding any part of which was comprised in the land to which this application relates:

Address _____

Date notice was served _____

C. Signed _____ (Applicant/Agent)

On behalf of _____ (Applicant)

Date 31-10-07

- 26. I/We hereby apply for planning permission or approval of reserved matters as described in this application and the accompanying plans. I/We attach:

- the necessary plans numbered 2491-01-607
- completed, dated and signed Certificate of Ownership (A or B above).
- completed, dated and signed Agricultural Holdings Certificate.
- the fee of £ 135 by cheque/postal order no _____

Signed _____ (Applicant/Agent)

On behalf of MR M WINSPEAR (Applicant)

Date 31-10-07 * delete as appropriate

DESIGN AND ACCESS STATEMENT
PROPOSED SINGLE STOREY EXTENSION
11 KINGSTON GARTH, FYLINGTHORPE

| |
|----------------------|
| MNPA 11 NOV. 2007 |
|----------------------|

1.0 INTRODUCTION

Proposals are for a small single storey extension measuring approximately 8.5 X 4.3 metres on plans.

The purpose of the extension is to provide an increased sized lounge to the property, making the existing lounge available for use as a dining room.

2.0 DESIGN

2.1 Amount

~~The new proposed extension continues the existing profile and proportions of the main dwelling at very slightly reduced dimensions. Only one new room is proposed.~~

2.2 Layout

The existing property is a semi-detached bungalow and therefore the existing gable wall is the most appropriate location for the extension. This also ensures minimum disruption to the existing internal room layout.

2.3 Landscaping

The existing rear & front gardens are reasonably unaffected by the proposals. A ~~minimum dimension of 1000mm has been allowed for access around the end of the extension.~~

2.4 Appearance

~~Materials and style are to match the existing dwelling. Windows are of similar size to existing and face similar direction to existing.~~

3.0 ACCESS

Being a small extension, general access to the property is unaltered. As noted above a ~~minimum width of 1800mm is to be provided on all the perimeter of the proposed extension.~~

Signed
 R Agar



31st October 2007