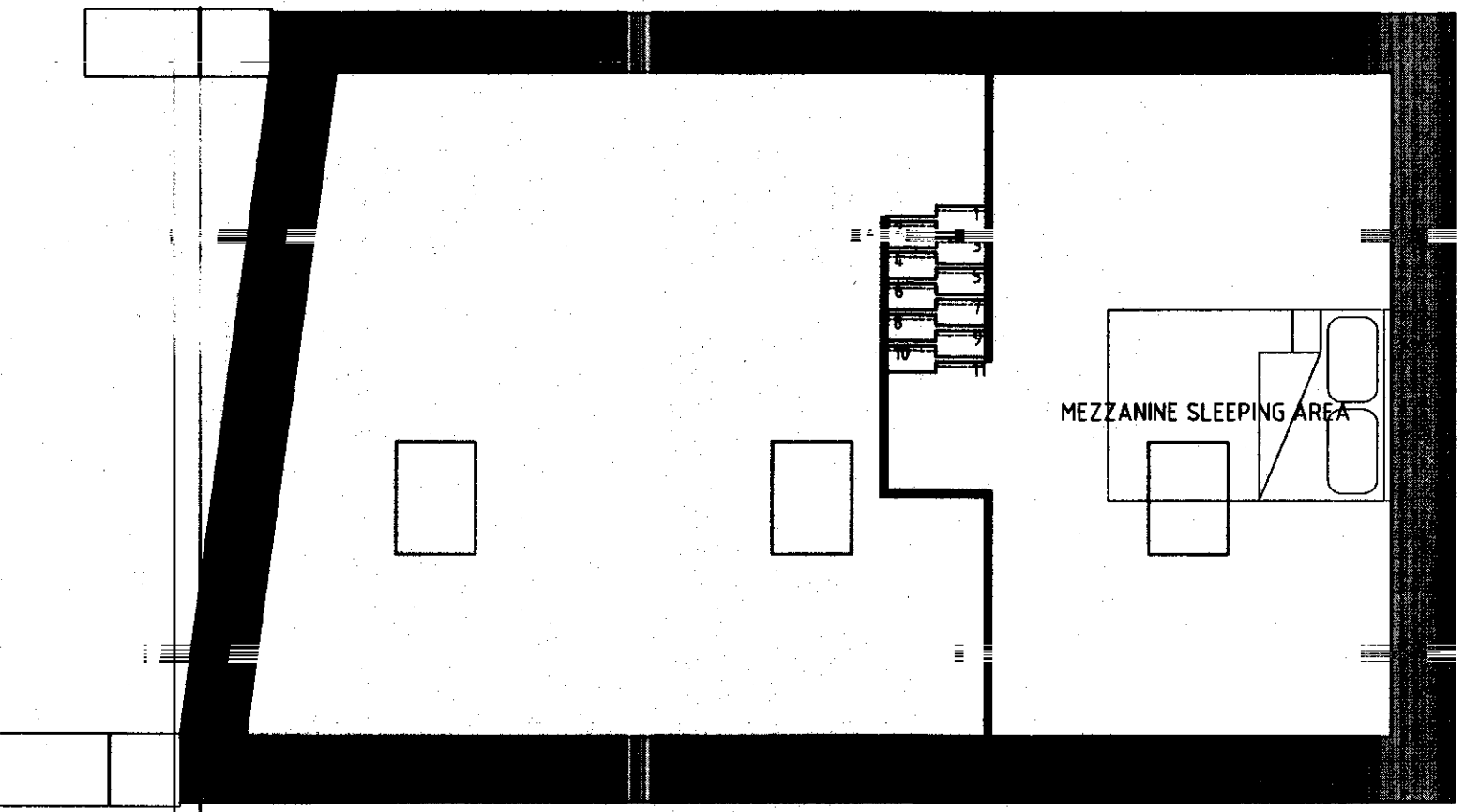
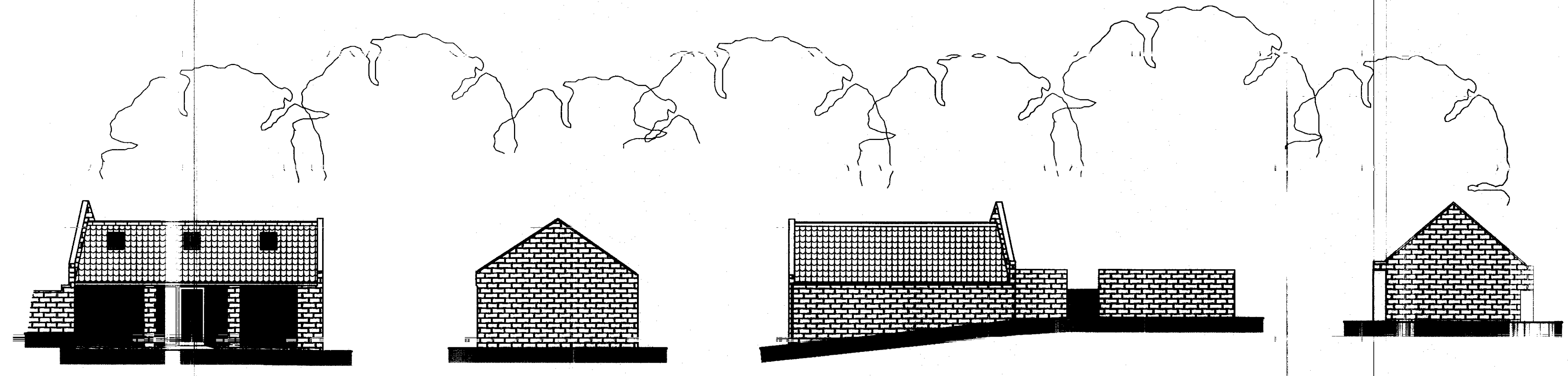


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First Floor Plan

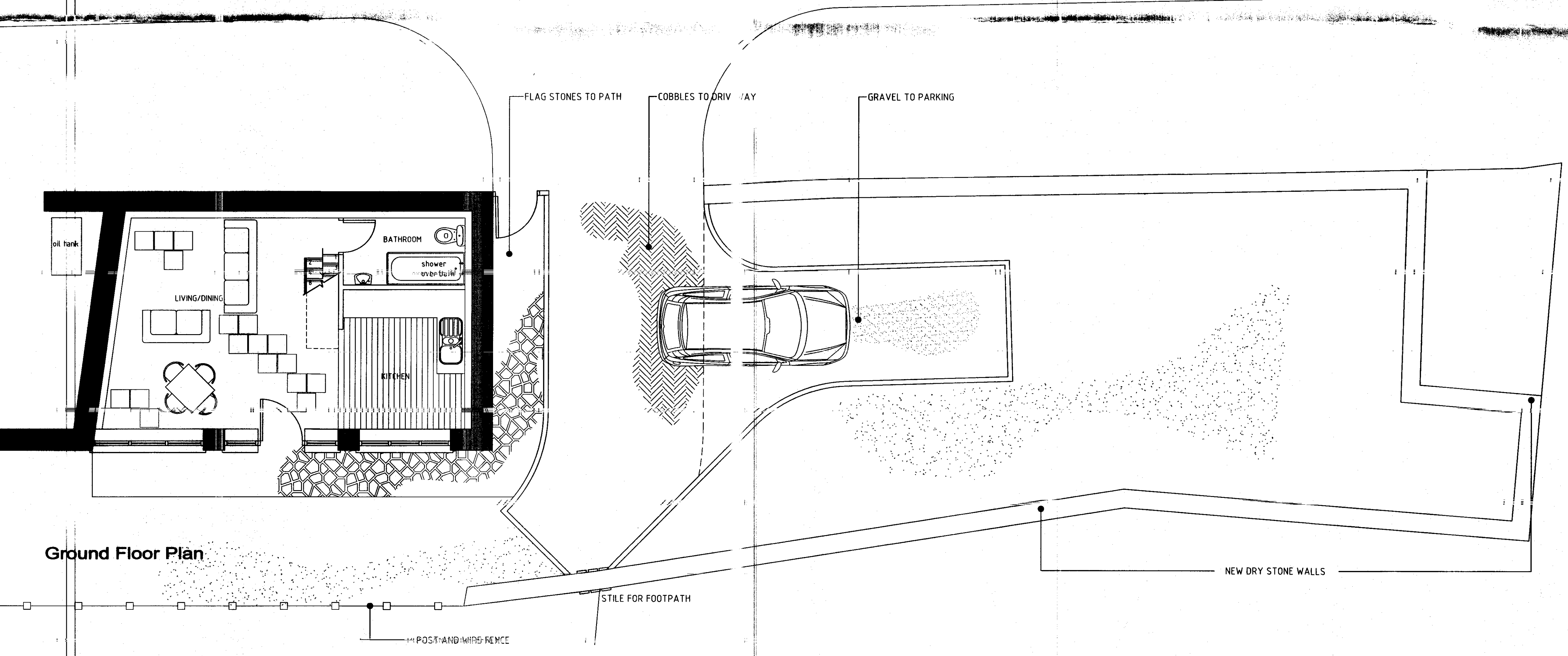


Front Elevation

Side Elevation

Rear Elevation

Side Elevation



Ground Floor Plan

**NYMIPA**  
77 Dec 2007

REV	DATE	BY	AMENDMENT	CRD	APD
F	14/12/07	ND	OIL TANK		
E	11.12.07	ND	AMEND EXTERNAL WORKS		
D	23.11.07	ND	ADDED STILE		
C	6 Nov 07	GR	Revised to suit National Park	ND	
B	1 Oct 07	GR	Revised to suit client comments	ND	
A	25 Aug 07	GR	Issued For Approval	ND	

**b h d partnership**  
 Airy Hill Manor, Whitby, North Yorkshire, UK, YO21 1QB.  
 Tel: 01947-604871 Fax: 01947-600010  
 general@bhdpartnership.com www.bhdpartnership.com

DISCIPLINE: ARCHITECTURAL

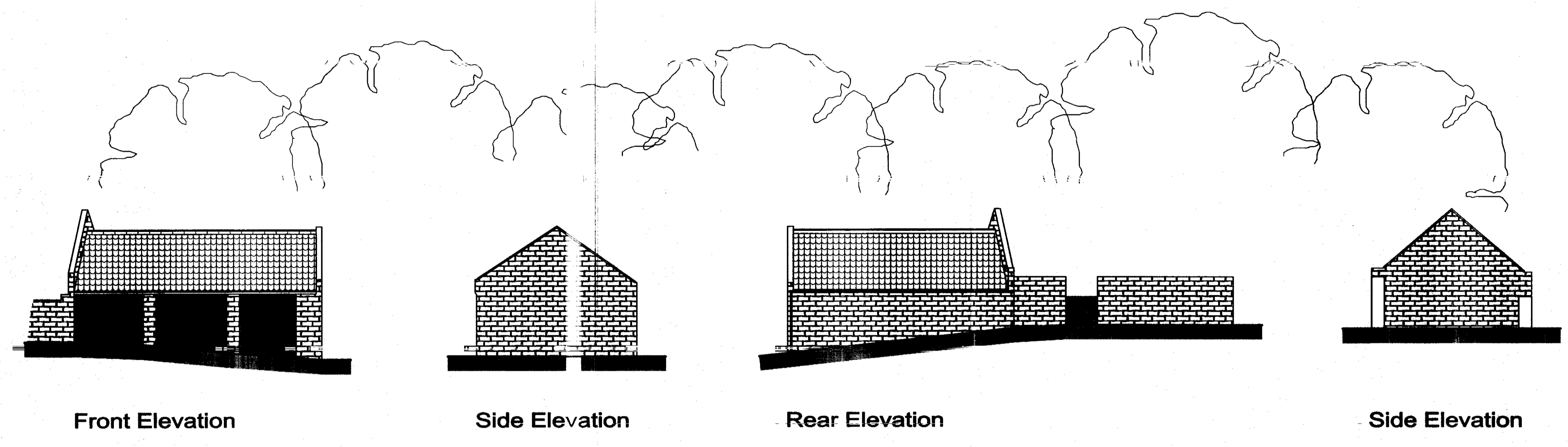
CLIENT: Mr. Wooding

PROJECT: Refurbishment of Old Smithy, Dunsley

TITLE: Proposed Plan and Elevations

DRAWN: G. Reed	CHECKED: N. I. Duffield	APPROVED:
SCALE: 1:50 & 1:100 @ A1	DATE: 23 Aug 07	DRAWING STATUS: Provisional
DRAWING No: D8376-02		REV: F

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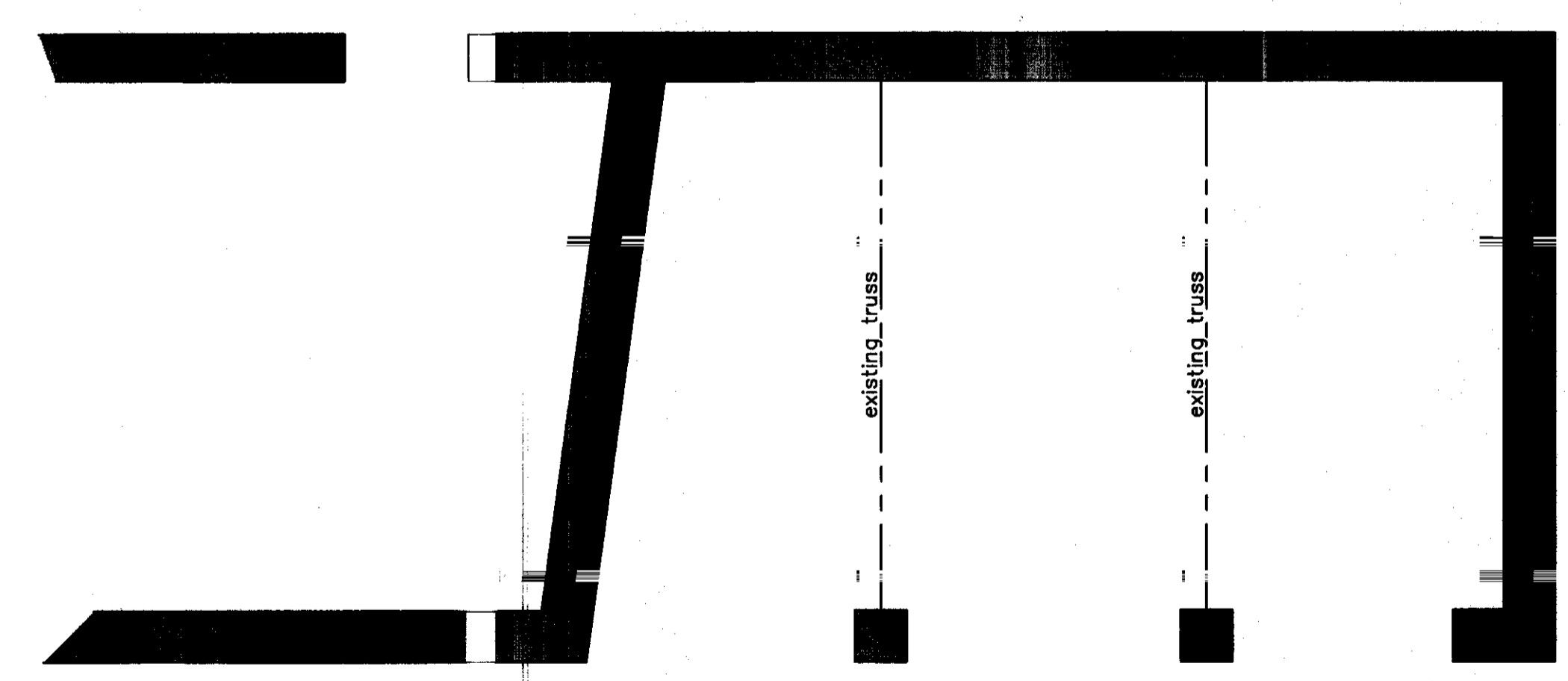


Front Elevation

Side Elevation

Rear Elevation

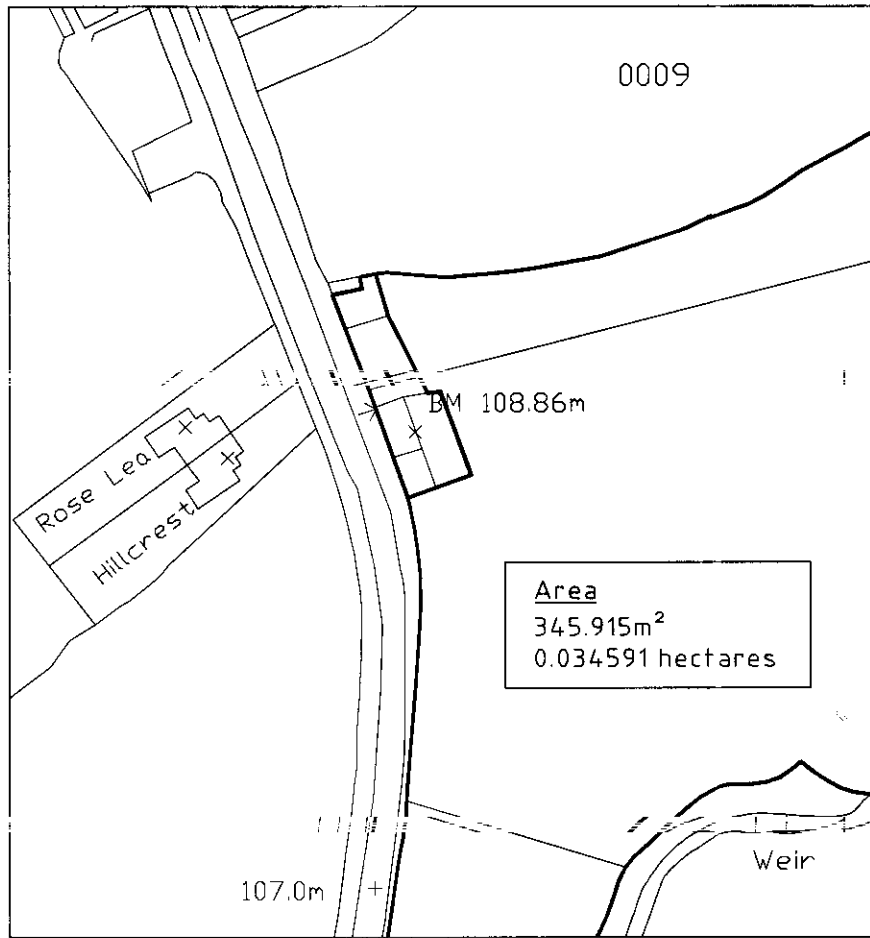
Side Elevation



Ground Floor Plan

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<b>b h d partnership</b> Airy Hill Manor, Whitby, North Yorkshire, UK, YO21 1QB. Tel: 01947-604871 Fax: 01947-600010 general@bhdpartnership.com www.bhdpartnership.com		
DESCRIPTION: ARCHITECTURAL		
CLIENT: Mr. Wooding		
PROJECT: Refurbishment of Old Smithy, Dunsley		
TITLE: Existing Plan and Elevations		
DRAWN: G. Reed	CHECKED: N. I. Duffield	APPROVED:
SCALE & SIZE: 1:50 & 1:100 @ A1	DATE: 23 Aug 07	DRAWING STATUS: Provisional
DRAWING No: D8376-01		REV: A



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17 DEC 2007

<b>b h d partnership</b> <small>Airy Hill Manor, Whitby, North Yorkshire, UK. YO21 1QB.                  Tel: 01947-604871 Fax: 01947-600010                  general@bhdpartnership.com www.bhdpartnership.com</small>	CLIENT: <b>Mr Wooding</b>		DRAWING TITLE: <b>Site Location Plan</b>	
	PROJECT: <b>Refurbishment of Old Smithy,                  Dunsley, Whitby</b>		A4	DRN: <b>G. Reed</b>
			DATE: <b>20 Sep 07</b>	SCALE: <b>1:1250@A4</b>
		ISSUE: <b>Provisional</b>		

REV	DATE	BY	AMENDMENT	CHKD	APVD	DRAWING NR: <b>D8376-03</b>	REV: <b>B</b>
E	26.11.07	NID	AMENDED RED LINE				

**SECTION 4 BUSINESS, RETAIL OR OTHER COM**

**ERCIAL USE**

**18. Proposed use**

Which of the following is involved in the development?

Business  Retail

Other (please specify)

If industrial, please describe the process

Is the proposal part of a larger scheme? YES / NO (delete appropriate)

appropriate)

**19. Floor space**

Please provide the measurements of the following:

Total floor space of all buildings to which this application relates

Existing m<sup>2</sup> Proposed m<sup>2</sup>

Industrial floor space

Office floor space

Retail trading floor space

Storage floor space

Warehouse floor space

Other

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**20. Employment**

a) How many staff in total will be employed on the site as a result of the proposed development?

Industrial Other

b) How many of the employees will be new staff?

c) If staff are to be transferred from other premises, how many will be affected?

**21. Car parking**

How many car parking spaces are to be provided?

**22. Traffic**

How many vehicles will be visiting the site each day?

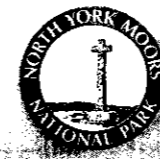
**23. Hazardous materials**

Please read Note 23 in the accompanying booklet. Does the proposal involve use or storage of hazardous materials?

YES/NO (tick as appropriate) YES/NO (tick as appropriate)

Please go back to Section 5 on page 2

Please send original to:  
The North York Moors National Park,  
The Old Vicarage, Bondgate,  
Helmston, York YO26 6BP



**North York Moors National Park Planning Application Form**

Read the booklet  
How to Complete Your Planning Application  
before completing the form

For office use only  
Ref: NYM/ 2007 / 1032 / P  
Admin Ref: 07/1032  
Date valid:  
Grid ref: NZ 85825, 10941

**SECTION 1 YOUR DETAILS**

**1. Applicant**

Name Mr M. Wooding

Address c/o Agent

Post Code

Tel No

**2. Agent**

Name bhd partnership Ltd.

Address Airy Hill Manor Whitby

Post Code YO21 1QB

Tel No [REDACTED]

**3. Applicant's interest in the land**

owner

**SECTION 2 YOUR PROPOSAL**

**4. Full postal address or location of the application site**

The Old Smithy, Dunbar YO21 3TL

**5. Applicant's interest in adjoining land**

owner

**6. Brief description of proposed development**

Conversion of redundant barn to form holiday cottage

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**SECTION 3 YOUR APPLICATION**

**7. Type of application (please tick ONE box only)**

- A. Full application including building works
- B. Application for change of use (no building works)
- C. Outline application
- D. Reserved matters application
- E. Removal or variation of condition
- F. Renewal of temporary permission

go to Question 12  
go to Question 12  
go to Question 8  
go to Question 9  
go to Question 10  
go to Question 11

**8. Outline Application**

What is the area of the site?

Please tick those details which you wish the Planning Committee to consider formally at this stage.

- Siting
- Design
- External appearance
- Means of access
- Landscaping
- None

go to Question 12

9. Reserved Matters Application

Date of outline permission \_\_\_\_\_ Application No \_\_\_\_\_  
Please tick those details which you wish the Planning Committee to consider formally at this stage.  
 Siting  Design  External appearance  Means of access  Landscaping

go to Question 12

10. Removal or variation of condition

Date condition imposed \_\_\_\_\_ Application No \_\_\_\_\_  
Condition No \_\_\_\_\_

go to Question 12

11. Renewal of temporary permission

Date permission granted \_\_\_\_\_ Application No \_\_\_\_\_

12. Use

What is the building / land used for at present ? \_\_\_\_\_  
If it is unused at present, what was its last use ? \_\_\_\_\_  
and on what date did it stop being used for this ? (if known) \_\_\_\_\_

13. Access

Does your proposal require new or altered access ? YES / ~~NO~~ (delete as appropriate)  
If YES, please tick the relevant boxes:  
New access to a road  Vehicular  Pedestrian  
Altered access to a road  Vehicular  Pedestrian

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14. Water Supply and Drainage

Please state (Please tick one box in each section) the method of:  
Water Supply  Mains  Private ~~existing~~ / proposed\*  
Surface Water Disposal  Public Surface Water Sewer  River/Stream ~~existing~~ / proposed\*  
 Soakaway  Other ~~existing~~ / proposed\*  
Foul Sewage  Public Foul Sewer  Septic Tank  Cesspit  Other ~~existing~~ / proposed\*  
\*delete as appropriate

Note: If foul drainage is not to be via a public foul sewer, a drainage assessment will be required. Please see Question 14

15. Trees

Does the application involve: Felling or lopping trees ~~YES~~ / NO (delete as appropriate)  
Planting trees ~~YES~~ / NO (delete as appropriate)

16. Materials

Walls ~~Existing~~ Natural coursed stone  
Roof Clay pantiles

17. Is your application for business, retail or other commercial use ?

YES / ~~NO~~ (delete as appropriate) If NO go to Section 5  
If YES please complete Questions 18 - 23 of Section 4 on page 4 of this form

SECTION 5 WHAT YOU NEED TO INCLUDE WITH YOUR APPLICATION

24. Plans

Please list below the plans which will accompany this application.  
DB376-01, 02E & 03B

25. Certificate of Ownership and Agricultural Holdings Certificate

You are required by law to complete either Certificate A or Certificate B (Ownership) and the Agricultural Holdings Certificate. It is an offence knowingly to make a false declaration.

CERTIFICATE OF OWNERSHIP : A

Complete if you are the owner of the building / land, along with Agricultural Holdings Certificate below.

I certify that: On the 21 days before the date of the accompanying application nobody, except the applicant, was the owner of any part of the land to which this application relates.

Signed bhd partnership Ltd. (Applicant/Agent)  
\* On behalf of Mr M Woodina (Applicant)  
Date 14.12.07

CERTIFICATE OF OWNERSHIP : B

Complete if you do not own any or all of the building / land, along with Agricultural Holdings Certificate below.

I certify that: I have /the applicant has given the requisite notice to everyone else who, on the 21 days before the date of the accompanying application, was the owner of any part of the land to which the application relates, as listed below.

~~Owner's name \_\_\_\_\_  
Address at which notice served \_\_\_\_\_  
Date on which notice was served \_\_\_\_\_  
Signed \_\_\_\_\_ (Applicant/Agent)  
\* On behalf of \_\_\_\_\_ (Applicant)  
Date \_\_\_\_\_~~

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AGRICULTURAL HOLDINGS CERTIFICATE

This section MUST be completed. Delete either A or B and complete C.

~~A. I certify that none of the land to which this application relates is, or forms part of, an agricultural holding.~~

B. I have /the applicant has given requisite notice to every person other than myself /himself who, 20 days before the date of the application was a tenant of any agricultural holding any part of which was comprised in the land to which this application relates:

Name of tenant Mr S Hodgeson  
Address Low Farm  
Dunsley, Whitby YO21 3TL  
Date notice was served 14.12.07

C. Signed bhd partnership Ltd. (Applicant/Agent)  
On behalf of Mr M Woodina (Applicant)  
Date 14.12.07

26. I / We hereby apply for planning permission or approval of reserved matters as described in this application and the accompanying plans. I / We attach:

- the necessary plans, numbered DB376-01, 02E & 03B
- completed, dated and signed Certificate of Ownership ( A or B above).
- completed, dated and signed Agricultural Holdings Certificate.

- the fee of £ 265 by cheque/postal order no  
Signed bhd partnership Ltd. (Applicant/Agent)  
On behalf of Mr M. Woodina (Applicant)  
Date 14.12.07

\* delete where appropriate

Mark Wooding. Conversion of the Old Smithy, Dunsley to a Holiday Cottage

Design and Access Statement  
for  
Proposed Conversion of The Old Smithy, Dunsley  
to  
~~A Holiday Cottage~~

Prepared by  
Liz Kettle  
of  
EnK Planning & Design Ltd

on behalf of

~~Mr Mark Wooding~~



Mark Wooding. Conversion of the Old Smithy, Dunsley to a Holiday Cottage

**Design and Access Statement**

for

**Proposed conversion of The Old Smithy, Dunsley.**

to

**A Holiday Cottage**

**1.0 INTRODUCTION**

**1.1 This document is a Design & Access Statement to accompany the enclosed full planning application for the conversion of the former Smithy in the village of Dunsley, to a small holiday cottage.**

**1.2 It should be read in conjunction with the enclosed *Supporting Planning Statement*. This report has also been prepared by this company and the second document also includes photographs of the site and the surrounding area which will assist in the comprehension of the proposed development.**



*A general view of the old smithy taken from the road is pictured here.*

**DESIGN**

**2.0 USE**

**2.1 The site lies to the east of the Dunsley Lane, the principal access into the village which joins the main Whitby/Guisborough moor road (A171) further to the south at Selly Hill. Opposite the site is a pair of stone cottages, pictured here. Further north is the large complex of Dunsley Hall and the main core of the village. In general planning land use/policy terms, the proposed conversion to a holiday cottage appears to be a suitable commercial use of an attractive redundant rural building, located in the countryside but close to the edge of the settlement.**



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Mark Wooding. Conversion of the Old Smithy, Dunsley to a Holiday Cottage

2.2 The siting of the building relates closely to the permanent residences opposite. The Smithy forms a natural boundary to the limit of the hamlet. Care has been taken to ensure the existing and proposed uses relate well to each other in terms of the detail of the design, including 'blind' western and gable elevations and use of an existing access, so that there will be no adverse impacts on the existing or the proposed occupiers.

2.3 It is intended that vehicular and pedestrian access to the holiday cottage will be from an improved existing agricultural access to the building, situated here.

Only minor alterations are anticipated, with no significant widening of the opening available by the access gate being planned. This access track runs immediately adjacent to the northern elevation of the building, into a small animal holding yard. There is no intention to amend the route of the public footpath here which crosses the agricultural land further to the east.



2.4 The proposed small holiday cottage use has the potential to be far *less* intensive in terms of traffic and noise than the original use as a smithy with horses and vehicles attending perhaps every hour all week, together with all the associated noise of hammering steel. It will also be less intensive and with *lighter* traffic than some other stable conditions such as storage with heavy commercial vehicles, or stables, with attendance to care for animals being at least twice a day all year round, and also visiting farriers, vets, bulky feed deliveries, horse trailers and wagons. A one bedroomed let in this type of location can be expected to attract one car, and be seasonal, and usually only operational in the summer months together with Christmas, New Year and Easter.

3.0 AMOUNT

3.1 The application is for a very modest development to provide a one-bedroomed holiday cottage. On the ground floor there will be an open plan kitchen/living area with a separate bathroom. Above this on a mezzanine area will be sleeping accommodation, with room for a double bed.

3.2 The conversion is restricted to the main part of the building which has an intact roof and is in sound condition (see proposed structural survey). The

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Mark Wooding. Conversion of the Old Smithy, Dunsley to a Holiday Cottage  
 semi-derelict building, a former dwelling house adjoining to the south but which  
 is now simply an enclosed dry stone walled area, is not to be altered.

3.3 The plans indicate how the fenced animal holding area will be suitably improved  
 to provide room for only one car to be parked clear of the highway. Also  
 included is a turning area so that the vehicle  
 can enter and leave the public highway in a  
 forward gear. (*Location pictured here*). Other  
 than this parking and the footpaths around  
 the rear of the property, there will be no  
 provision of a formal garden area or any other  
 indicators of 'domesticity'. These  
 arrangements have been deliberately planned  
 to ensure that the activity levels and the  
 impact on the visual amenities of the area are  
 kept to a minimum.



3.4 The site in total measures 0.034 hectares and the footprint of the conversion  
 is only 45 square metres approx. This is a sloping site so the overall building  
 heights vary, however the height to the eaves measures from only 1.2m to 2.4m  
 and to the ridge 3.5 to 4.5m.

3.5 The design of the conversion ensures that the view to the road remains largely  
 unchanged, proposing only repairs and a  
 new roof in traditional red clay pantiles.  
 At the rear, the barn currently is open-  
 fronted with three bays, as pictured here.  
 This will be treated with simple glazing to  
 mirror the existing open aspect.  
 Conservation roof lights will be provided on  
 the rear roof slope to light the bed space.  
~~We believe that these particularly modest~~  
 external alterations will ensure the visual  
 impact of the conversion is extremely low  
 key, in keeping with the character of the building.



3.6 It is considered that this project represents a relatively minor development  
 which will have a negligible impact on the usage of the area around and about  
 the site or the village in general.

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Mark Wooding. Conversion of the Old Smithy, Dunsley to a Holiday Cottage

4.0 LAYOUT

4.1 In designing the layout the scheme simply reflects the facilities which are currently available at the property without any intrusion into other areas or extension of the property. For example; use of the existing access, retention of existing boundaries and furthermore use of the existing building without ~~any alteration to the envelope or the principal facade, to the west. We would~~ suggest that with these arrangements, from the public highway the development will be indiscernible; noting also that the parking will be in the existing animal holding area and behind the existing wall.

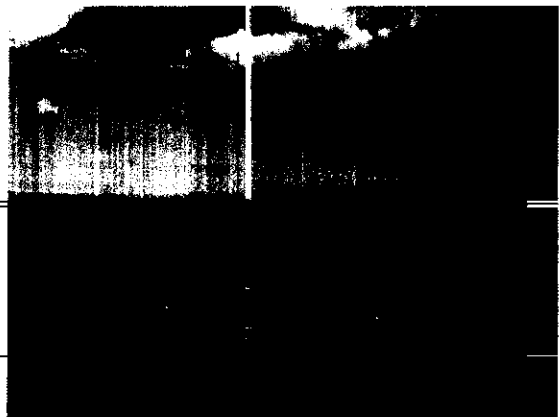
5.0 SCALE

5.1 The proposal is of a small scale which is appropriate for this former Smithy building. In particular with regard to the scale of the building, the height and overall size will be retained. This will ensure that the development will look ~~appropriate in its setting and with the overall village character.~~

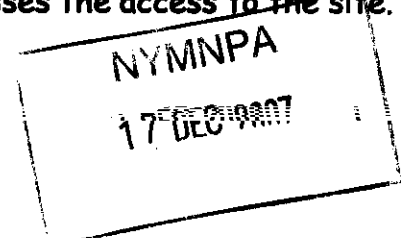
6.0 LANDSCAPING

6.1 The property sits in a relatively open immediate setting with some trees to the north. These will be retained.

~~There is significant tree cover a little~~ further to the north east and to the south east alongside Dunsley Beck, *as pictured here.* These screen the site from more distant views. The existing traditional frontage stone walls (*pictured below*) provide an attractive setting to the building, which also link it visually to the village and will help buffer the parking provision for the car.



6.2 Hard landscaping of a traditional type which one might expect to find around a ~~blacksmith's forge or an agricultural~~ building is indicated on the plans. This will also ensure that there is no damage to the surface of the public footpath where it crosses the access to the site.



Mark Wooding. Conversion of the Old Smithy, Dunsley to a Holiday Cottage

## 7.0 APPEARANCE

- 7.1 The underpinning concept relating to the appearance of the proposal is to ensure that the project is a low key development which blends into the existing natural and built environment and respects the character of this attractive National Park Village.
- 7.2 As indicated on the submitted plans, the proposed materials are natural and match the existing building, including natural sandstone for the walls, traditional red clay pantiles for the roof, stone flags traditionally laid and natural cobbles together with gravel, for the hard surface treatments. These materials match the older properties in the settlement and have been selected to ensure that the project will blend into the landscape and mellow down over the years.

## ACCESS

- 8.1 As mentioned above, the property will have an improved existing access to the side to access the private parking space, and a turning area.
- 8.2 The vehicular access on to the adopted highway has good sight lines in both directions and is within the 30mph speed limit.
- 8.3 The site is readily accessed by car, foot or bicycle from the adjacent adopted main village road. We conclude that given the location near this outlying rural hamlet, this site has acceptable access for all.



**John Drewett**  
Ecological Consultant

The Old Smithy, Dunsley,  
~~South of the Airedale~~  
Sarlusend, North Yorkshire  
Bat survey report  
17 October 2007

NYMRA  
17 DEC 2007



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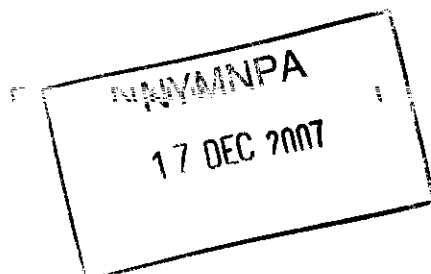
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**Record of report and revisions**

Date	Details	Issued by
17 October 2007	Original report	John Drewett



**1 Summary**

- 1.1.1 A bat survey of The Old Smithy, Dunsley, Sandsend, North Yorkshire was commissioned by Mark Wooding in September 2007.
- 1.1.2 The survey was carried out on 21 September 2007.
- 1.1.3 A few bat droppings were found on the internal west wall and a number of bats were observed in the vicinity during the survey. No bats emerged from the building and no evidence of a roost was found. It is considered that the droppings are a result of casual bat use.
- 1.1.4 The building does have some potential for roosting bats, but there is no evidence of a roost at present.
- 1.1.5 The proposed development is unlikely to have a significant adverse impact on bats. However, even where evidence of bats was not found during the survey individual bats may still be encountered during works. Mitigation measures to minimise the impact on such bats have been included in this report.
- 1.1.6 There is evidence of nesting birds using the building. All wild birds are protected by law throughout the UK when they are nesting. It is illegal to kill, injure or take any wild bird, or damage or destroy the nest or eggs of breeding birds. This includes commonly seen birds, such as blackbirds and robins.

**2 Introduction**

**2.1 Site description**

*Site name and address:* The Old Smithy, Dunsley, Sandsend, North Yorkshire

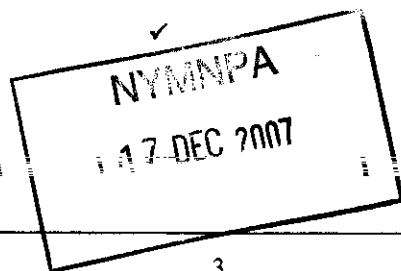
*OS Grid Ref.* NZ858109

*Altitude* 107m

*Local Planning Authority:* North Yorkshire Council *National Park Authority:*

**Features on site and adjacent to site**

Feature	On site	Adjacent	Comments
Buildings (more or less complete)	✓	✓	Opposite pair of terraced houses
Trees with visible cavities		✓	Within 50m
Other trees		✓	In hedgerows
Rivers or streams bordered by trees		✓	Wooded gill within 150m
Continuous hedgerows		✓	Linking building to gill
Walls		✓	Linking building to village
Livestock		✓	
Arable land		✓	
Improved grassland		✓	



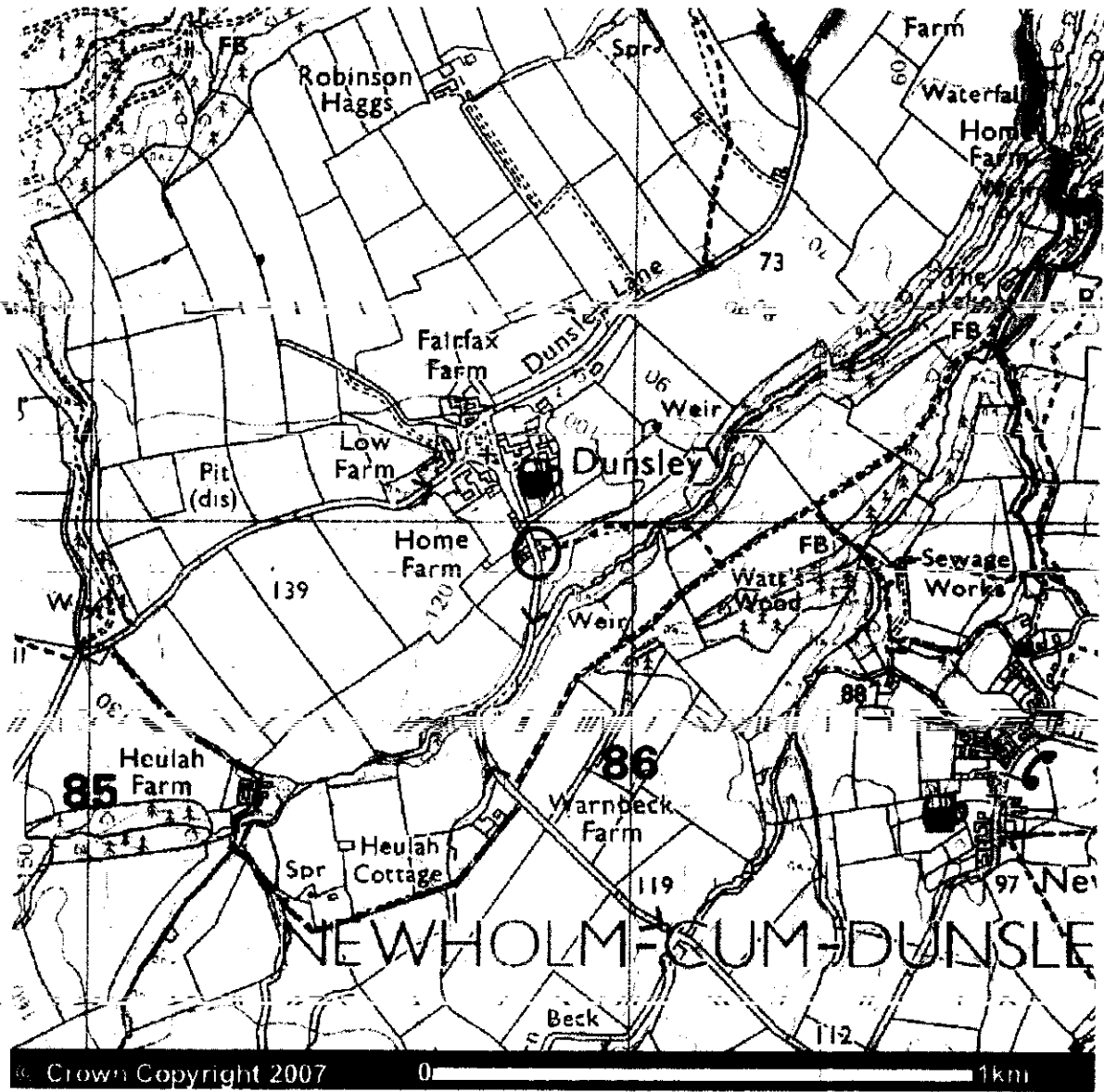


Fig. 1 Site location plan

**2.2 Proposed works**

2.2.1 The proposal is to convert the building for use as a holiday cottage. At the time of writing detailed plans had not been seen and no planning application had been submitted.

**2.3 Aims of survey**

2.3.3.1 The survey was carried out to establish the following:

- Likelihood of particular buildings to support bats
- The presence or absence of bats e.g. in a particular building
- The number of bats present
- Bat behaviour that may be affected by the proposed activity or development in terms of emergence, foraging, commuting or mating
- Opportunities for enhancement of bat habitat that may be possible with any given area

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### 3 Methodology

#### 3.1 Desk study

- 3.1.1 Information concerning designated sites was obtained from www.magic.gov.uk.
- 3.1.2 Information regarding bats previously recorded at the site or within 2km was obtained from North Yorkshire Bat Group.

#### 3.2 Field survey

3.2.1 The following personnel took part in this survey:

<b>Surveyor</b>	<b>Natural England Licence No. or status</b>
Digby Angus	20071088 (Conservation & scientific)
Alan Ryder	20071951 (Conservation & scientific)

3.2.2 The dates and weather conditions during surveys are detailed in the table below:

Date	Start	Finish	Temp (°C)	Wind speed	Cloud cover	Relative	Sun out/100
21.09.2007	1800	2015	13.1-12.4	None	51 - 75%	None	1908

3.2.3 The following activities were carried out during this survey:

- An examination and assessment of the site and habitats present within 300m
- An examination of the building to record its main structural features and condition and to identify features that may be suitable for roosting bats
- The making of a photographic record of the site, its features and any evidence of bats to illustrate the findings in this report
- A detailed check of the interior and exterior of buildings to look for bat droppings; feeding remains such as moth & butterfly wings; live bats; dead bats; stains and marks on surfaces indicating regular use by bats
- Bat activity surveys on one evening to record bat flying over or past the site, feeding at the site, leaving or entering buildings using two observers.
- Weather conditions were recorded

3.2.4 The following equipment was used in conducting this survey:

- Digital camera
- Digital thermometer / hygrometer
- Powerful torch
- 3m surveyors ladder
- Heterodyne bat detector (x2)
- Night vision scope (x2)



### 4 Results

#### 4.1 Desk study

- 4.1.1 There are no sites specifically designated for their conservation interest within close proximity to this location.
- 4.1.2 The following records of bats previously recorded within 2km of the site were supplied by North Yorkshire Bat Group.

Species	Site	Grid ref.	Date	Comment
Pipistrelle species	Bungalow Hotel, Sandsend, Whitby	NZ8512	28 Jul 2002	Two pups in room.





encountered during works. Works could result in death or injury to bats if mitigation not followed

Bat foraging and commuting habitat

None

None

#### 5.4 Legislation and policy guidance

5.4.1 Bats receive protection under the Wildlife and Countryside Act, 1981 (as amended) and under the Conservation (Natural Habitats &c.) Regulations, 1994 (as amended).

5.4.2 It is an offence to:-

- Deliberately capture (or take), injure or kill a bat
- Intentionally or recklessly disturb a group of bats where the disturbance is likely to significantly affect the ability of any significant group of animals of that species to survive, breed, rear or nurture their young or likely to significantly affect the local distribution or abundance of the species, whether in a roost or not
- Damage or destroy the breeding or resting place (roost) of a bat
- Possess a bat (alive or dead), or any part of a bat
- Intentionally or recklessly obstruct access to a bat roost
- Sell (or offer for sale) or exchange bats (alive or dead), or parts of bats

5.4.3 The Convention on Biological Diversity, signed in Rio de Janeiro, Brazil in 1992, requires states to develop national strategies and to undertake a range of actions aimed at maintaining or restoring biodiversity. The UK Biodiversity Strategy was produced in response to the Convention.

5.4.4 Individual Species Action Plans (SAPs) have been developed to address the causes of decline for those species that have been identified as priorities for UK conservation action. Country-level lists contain species considered of national importance in biodiversity strategies. The current list includes Bechstein's Bat, Greater Horseshoe Bat, Lesser Horseshoe Bat, Barbastelle, Noctule, Soprano Pipistrelle and Brown long-eared bat. At a more local level there are Local Biodiversity Action Plans for smaller geographical areas which may cover a greater or lesser range of bat species.

5.4.5 In England & Wales, the Natural Environment and Rural Communities (NERC) Act, 2006 imposes a duty on all public bodies, including local authorities and statutory bodies, in exercising their functions, "to have due regard, as far as is consistent with the proper exercise of those functions, to the purpose of conserving biodiversity". It notes that "conserving biodiversity includes restoring or enhancing a population or habitat".

5.4.6 Where it is proposed to carry out works which will have an adverse impact on bats or on a bat roost, a European Protected Species (EPS) licence must first be obtained from Natural England, even if no bats are expected to be present when the work is carried out.

5.4.7 An EPS licence application requires details of the proposed works, the bats which may be affected and the mitigation proposed to maintain the favourable status of bats in the region. The application is usually drawn up on behalf of the client by a specialist ecological consultant. The consultant is likely to be required to check that work is proceeding in accordance with the method statement and to also carry out monitoring of the impact on bats for sometime after completion of the works.

5.4.8 When considering an application, the Natural England licensing section may consult with the local planning authority and specialist conservation staff. This process may take a considerable length of time. Natural England presently states that it aims to make a decision on an application within 30 working days of receipt. There is no guarantee that a licence will be granted and no fast track process to obtaining a licence. Applications can only be made once planning permission has been granted (where appropriate).

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5.4.9 EPS licences can only be issued if Natural England is satisfied that there is no satisfactory alternative to the development and that the action authorised will not be detrimental to the maintenance of the population of the species at a favourable conservation status in their natural range.

5.4.10 PPS9: Biodiversity and Geological Conservation is the relevant national planning statement in relation to protected species. It provides guidance on how the Government's policies on nature conservation should be implemented through the land use planning system. PPS9 states that "the aim of planning decisions should be to prevent harm to biodiversity and geological conservation interests. Where granting planning permission would result in significant harm to those interests, local planning authorities will need to be satisfied that the development can reasonably be located on any alternative sites that would result in less or no harm. In the absence of any such alternatives, local planning authorities should ensure that... adequate mitigation measures are put in place... If that significant harm cannot be prevented, adequately mitigated against, or compensated for, then planning permission should be refused.

## 6 Recommendations and mitigation

### 6.1 Mitigation measures

#### Reason for mitigation

##### Mitigation for roost sites

Although no roost has been located there is a small risk that bats could roost between tiles and underfelt. Such a roost could be destroyed or obstructed during works, or bats disturbed.

Even where evidence of bats was not found during the survey individual bats may still be encountered during works.

##### Mitigation for nesting birds

There is evidence of nesting birds using the building. All wild birds are protected by law throughout the UK when they are nesting. It is illegal to kill, injure or take any wild

#### Methods to follow

Roof works and repairs must be avoided between May and September.

If roof repairs are to be carried out then roof coverings should be removed by hand and the areas beneath checked for the presence of bats. If bats are found work must stop and further advice be sought.

In the event that timber treatment should be necessary only products based on permethrin or cypermethrin may be used. A careful search must be undertaken first to ensure that no bats are present. Treatment must not take place when bats are present. Treatment must not take place between May and September, nor in January or February.

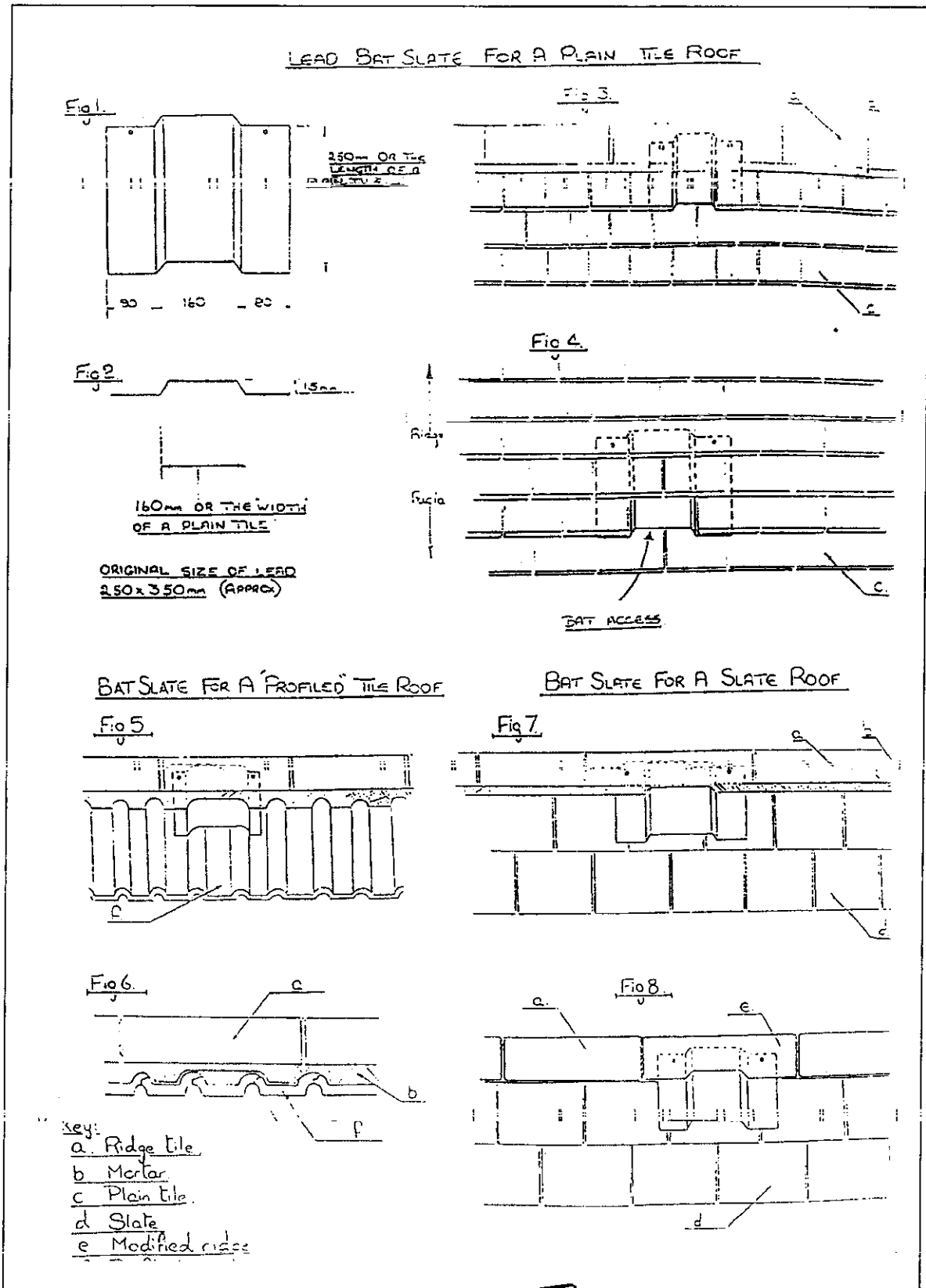
To preserve access for roosting bats at least one bat access tile should be installed at the ridge. A 300mm square of lead (at the very least Code 6 quality) is sufficient to construct a bat slate. The bat slate should take no more than a couple of minutes to make and can be fitted during the normal roofing process. See diagram below.

The greatest risk of casual bat use is in early autumn when non-breeding bats, young bats and males are all using casual roosts. However, casual use cannot be ruled out at any time of the year. Work practice should be such that potential roost sites are exposed and examined for bats before they have the potential to be damaged. This will require roofing, beams, rafters and any other woodwork and fixtures to be removed by hand.

If nesting wild birds are present works must be organised to avoid disturbing the birds whilst their nests are in use. This may require securing the building or in the worst to event continue

bird, or damage or destroy the nest or eggs of breeding birds. This includes commonly seen birds, such as blackbirds and robins.

attempts. The main nesting season is March to July, although Swallows may nest through to September.



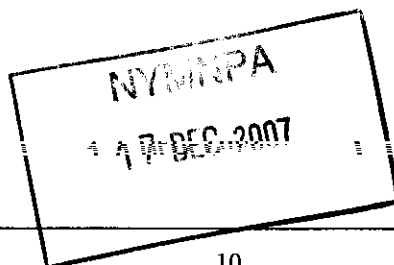
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## 7 Brief summary of bat biology

- 7.1.1 Bats are the only mammals to have developed powered flight. They are the second largest group of mammals in the world, with almost 1000 different species. In Britain 17 species occur, with the variety generally declining northwards. All British bats feed solely on invertebrates.
- 7.1.2 British bats live in crevices in trees, caves, buildings, bridges, tunnels and other structures. They are long-lived animals which use roost sites to which they return in subsequent years. In summer females are generally colonial, each species gathering together in warm maternity roosts to give birth to their single young. Males often spend the summer singly or in smaller groups. Bats may use several different roosts over a summer, moving between sites depending on prevailing weather and other conditions.
- 7.1.3 In winter bats hibernate. During hibernation their body temperature falls close to the ambient temperature of their chosen hibernaculum and their heart rate and metabolism drop dramatically. In this state they use little energy, allowing them to survive until spring on their fat reserves. They are very sensitive to temperature changes which cause them to wake, a process which uses considerable energy. Repeated arousal in winter can threaten their survival. Many species hibernate in cool, stable underground sites such as caves and tunnels.
- 7.1.4 For more than 50 years bats have undergone a major decline in numbers. The reasons for these declines are many and varied, but include destruction of roost sites, a reduction in insect prey and direct and indirect poisoning from toxic chemicals. Even our commonest species, the Pipistrelle bats, have declined by more than 60% in recent years.
- 7.1.5 The survival of a colony of bats depends on there being a range of suitable summer roost sites, hibernation sites and feeding areas within a reasonable distance. For most species, these various sites must be linked by a more or less continuous network of linear features such as rivers, woodland edges and hedgerows, along which the bats commute from place to place (Limpens & Kapteyn 1991).

## 8 References

- Anon (2005) *Planning Policy Statement 9: Biodiversity & Geological Conservation*, Office of the Deputy Prime Minister
- Bat Conservation Trust (2007) *Bat Surveys – Good Practice Guidelines*, Bat Conservation Trust, London
- Billington G E & Norman G M (1997) *The Conservation of Bats in Bridges Project – A Report on the Survey and Conservation of Bat Roosts in Cumbria*, English Nature
- Forestry Commission for England and Wales, Bat Conservation Trust, Countryside Council for Wales and English Nature (2005) *Woodland Management for Bats*, Forestry Commission
- Institute of Ecology and Environmental Management (2006) *Guidelines for Ecological Impact Assessment in the United Kingdom*, IEEM
- Limpens H J & Kapteyn K (1991) *Bats, their behaviour and linear landscape elements*, *Myotis* 29, 39-47.
- Mitchell-Jones A J (2004) *Bat mitigation guidelines*, English Nature.
- Mitchell-Jones A J & McLeish A P (2004) *Bat Workers' Manual*, JNCC.



**10 Bat record summary sheet**

The following bats were recorded during this survey. In order to further bat conservation it is important that all records of bats are passed to the relevant local biological records centre. This helps build up a picture of which bats occur in an area.

Unless agreed otherwise a copy of this page only will be passed to the compiler of the local bat record database.

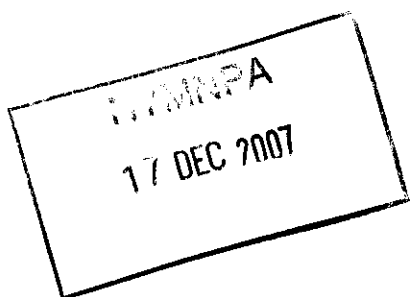
John Brewer BSc, MFLM  
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 3 Victoria Row  
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Tel. [REDACTED]  
 Mobile [REDACTED]

**Site name:** The Old Smithy, Dunsley, Sandsead, North Yorkshire

**OS Grid Ref.** NZ858109

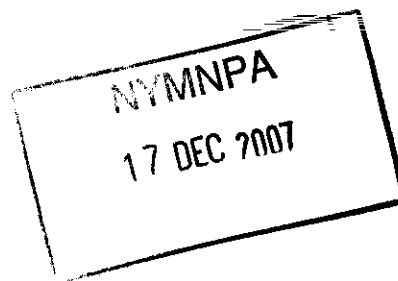
<b>Date</b>	<b>Species</b>	<b>Number</b>	<b>Notes</b>
21.09.2007	Noctule	1	Heard
	<i>Myotis</i> sp.	1	Feeding under trees
	Common Pipistrelle	1	Feeding under trees



**INSPECTION OF THE OLD SMITHY  
"DUNGLIN" WHITBY**

**FOR**

**MR. M. WOODING**



**BY R. O. BIRDSALL M.Sc., M.I.C.E.  
CHARTERED ENGINEER**

**b h d p a r t n e r s h i p l t d**

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**1.0 INTRODUCTION**

- 1.1 We confirm that we made an inspection of the Old Smithy, Dunsley (see Plate 1) on 14<sup>th</sup> August 2007.
- 1.2 Unless otherwise noted the stone walls are approximately 400mm thick.
- 1.3 The roof will be removed and rebuilt and so the existing roof details are not referred to in this report.
- 1.4 The existing plan can be seen on drawing D8376-01 and the proposed layout on drawing D8376-02.
- 1.5 We have not inspected woodwork, or other parts of the structure which are covered, unexposed or inaccessible and we are therefore unable to report that any such part of the property is free from defect.

**2.0 OBSERVATIONS**

- 2.1 Cracking was noted just above the ground on the west facing elevation, see Plate 2. At the southern end of this wall there appears to be a lack of bonding between the side wall and gable wall, see Plate 3.
- 2.2 The north facing gable wall is in reasonable condition and can be seen on Plate 4.
- 2.3 The east facing elevation can be seen on Plate 5. It consists of two stone pillars and gable return all of which are in reasonable condition.
- 2.4 The south facing gable wall can be seen on Plate 5. The wall is in reasonable condition except the copings will need some attention.

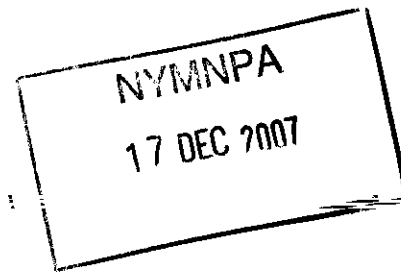
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**3.0 CONCLUSIONS AND RECOMMENDATIONS**

- 3.1 We are satisfied that the Old Smithy, Dunsley can safely be converted into a dwelling ~~subject to the recommendations set out below.~~
- 3.2 As stated in 1.3 above the existing roof should be removed and replaced with new traditional roofing. This new roof should be designed to fully comply with current Building Regulations and to prevent any roof spread.
- 3.3 The roof and suspended floor should be supported on new block walls and tied to the existing walls using stainless steel ties, resin boded.
- 3.4 The new blockwork walls should be sat on new concrete foundations, formed by underpinning the existing walls.
- 3.5 All ~~damaged masonry should be carefully repaired and areas of damaged mortar~~ should be re-pointed. The south gable wall should be tied to the west facing side wall.



- 3.6 Timber lintels should generally be replaced with concrete or hidden galvanised/stainless steel lintels. Defective concrete and steel lintels should also be replaced. All exposed timber embedded in walls should be carefully removed and replaced with new masonry.
- 3.7 First floor timber joists should be supported by new internal block walls and steel beams where needed to satisfy Building Regulations. The first floor joists should be strapped to the surrounding walls to enhance lateral stability.
- 3.8 All aspects of the conversion should comply with current Building Regulations.



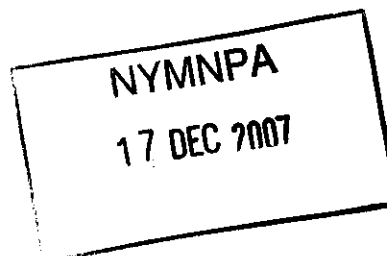
Mark Wooding. Conversion of the Old Smithy, Dunsley to a Holiday Cottage

**Supporting Planning Statement  
for  
Proposed Conversion of The Old Smithy, Dunsley  
to  
A Holiday Cottage**

Prepared by  
Liz Kettle  
of  
EnK Planning & Design Ltd

on behalf of

Mr Mark Wooding

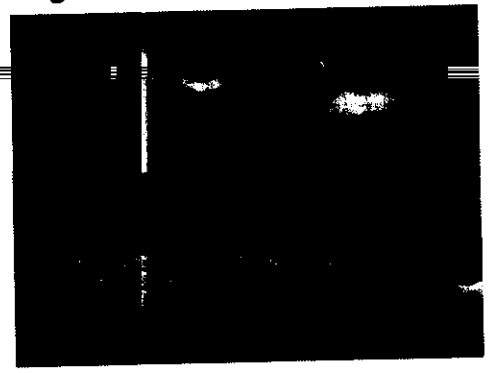


Mark Wooding. Conversion of the Old Smithy, Dunsley to a Holiday Cottage

Supporting Planning Statement  
for  
Proposed Conversion of The Old Smithy, Dunsley  
to  
A Holiday Cottage

1.0 INTRODUCTION

1.1 This report is a Supporting Planning Statement in respect of the enclosed planning application submitted by Mr Mark Wooding for the conversion of the former smithy at Dunsley to a small holiday cottage. It supplements the ~~Design & Access Statement~~ which has also been prepared by this Company. *This picture is a general view of the building taken from the village road, Dunsley Lane.*



1.2 Our clients have employed a team of qualified professionals to fully prepare this submission including: lead Agents the bhd Partnership, experienced architecture and engineering designers, who are affiliated to the RIBA and based in Whitby. ~~They prepared the plans together with the required structural survey.~~ John Drewett BSc MIEEM is the ecological consultant who prepared the wildlife survey (principally in respects of bats). Our Company has been engaged as town and country planning consultants for the scheme.

1.3 In October 2007 we informally discussed the preliminary proposals with the NYM National Park Planning Officers and we are pleased to note that there is general support for the proposed development, subject to small revisions on the design which have now been incorporated into the formal submission.

1.4 ~~This report will describe the background to the application, the application and site, briefly review the planning history, and outline the relevant local and National Planning Policies, and finally review the proposal in the light of those policies.~~

1.5 Having regard to all of the above it is suggested that the proposed scheme accords with the planning policies and should be considered to be satisfactory in planning terms.

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Mark Wooding. Conversion of the Old Smithy, Dunsley to a Holiday Cottage

2.0 BACKGROUND

2.1 Our client has strong, long standing family connections to the village of Dunsley and his father once owned the imposing Dunsley Hall. He owns the application site and the agricultural land to the rear. He has maintained the building in good order and now wishes to bring this redundant smithy back into an appropriate new use. Having reviewed various options he has decided that he wishes to convert the premises into a small holiday let.

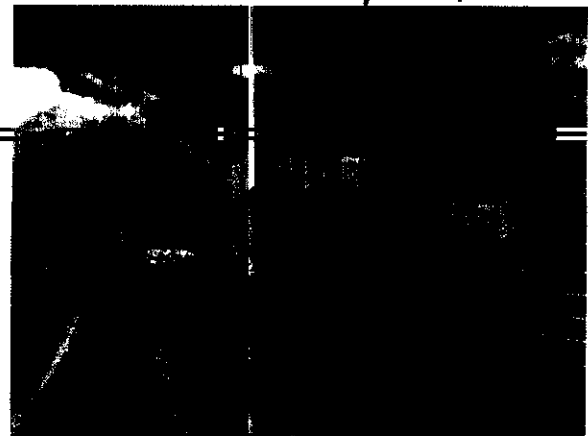
2.2 This development route has been chosen in the light of the planning history at the site, the property's location, size and type and the current planning policies which we discuss later in this report.

3.0 THE SITE AND THE APPLICATION

3.1 This site measures approximately 0.034. hectares. It contains this small, traditional stone barn pictured on page one, and here, which was used as a smithy but other than occasional agricultural storage, is now unused. To the south of the main building is the remains of an associated dwelling which now has no roof. It stands as an enclosed dry stone walled area which is considered to be semi-derelict and will not be altered. *(This part of the site is pictured here).*



The property lies beside a raised verge at the east side of Dunsley Lane, the main access into the village from the A171 Moor Road. The property is located just inside the village 30mph speed limit. *(As pictured here).* Almost opposite are a pair of stone cottages and a recent large detached private garage. Further to the north is a recent farm worker's dwelling and on the same side of the road as the application site is Dunsley Hall.

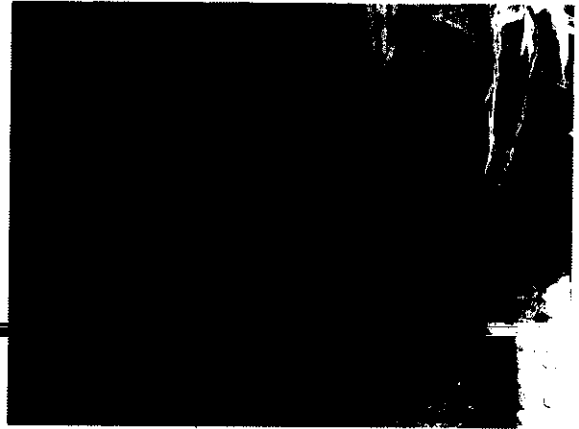


The building is single storey in height with open rafters to the roof *as pictured here.* It is only approximately 45 square metres in size. As a small traditional barn, it is fairly typical of its type.

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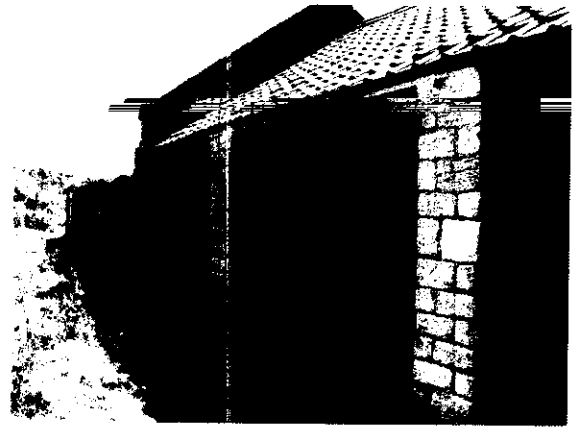
Mark Wooding. Conversion of the Old Smithy, Dunsley to a Holiday Cottage

Eaves heights vary from only 1.2m to 2.4m and the ridge height between 3.5m to 4.5m. However, it has sufficient height to accommodate room in the roof space without raising the roof.



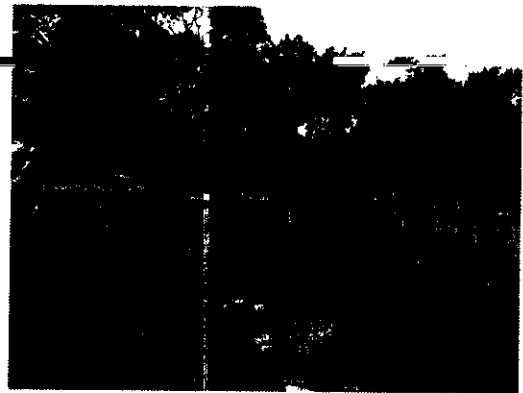
The pictures earlier show how the building has a blind elevation to the road. At the rear however it has an open aspect with three large bays with dividing stone columns *as picture here.*

The red line defining the application site is drawn relatively tightly to the site as ~~there is no intention of providing any~~ formal garden.



Other than paths to access the property the only outside associated development will be the formation of a small parking and turning area for one car within an existing animal holding area just inside the access gates, *shown below.*

3.2 The proposal is to simply convert the building to a one bed-roomed holiday cottage with the bed-space in the roof, and the kitchen, living and bathroom areas on the ground floor. Only minor external alterations are required; these being the re-roofing with traditional clay pantiles (the property has a miss-match of tiles at the moment), the provision of glazing to the existing openings at he rear, and installation of conservation roof lights on the rear roof slope only. Hard surfacing for the paths and parking will be in traditional materials.



4.0 PLANNING HISTORY

4.1 The site has a fairly lengthy planning history. Briefly, there have been various applications dating back to 1978 to convert the building to a dwelling house, all of which have been refused. An application following a refusal in 1977 for the conversion and alterations to a three bed-roomed dwelling was dismissed in 1998. The most recent scheme was an application to erect 6

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Mark Wooding. Conversion of the Old Smithy, Dunsley to a Holiday Cottage

loose boxes and a stable block close to the Smithy (also to be a stable) to be used in connection with an equestrian establishment. This was refused in 2001, principally because the associated parking and the new buildings would be intrusive and incongruous in the landscape.

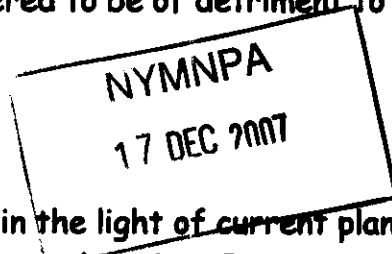
4.2 It appears from our reading of the various documents that the Inspectors on each occasion have concluded that due to the very loose knit nature of this part of the village, the site is outside of the village limits and is considered to be in the countryside. We fully appreciate that in such locations there must be an overriding consideration to protect the beauty of the National Park in its own right and there will always be significant constraints on the construction of dwellings unless they are essential for agriculture, or other rural needs, and also for other new developments of a significant nature in terms of amount, scale and activity. However, adopted Local and National Policies indicate that in such locations a different approach can be taken for appropriate commercial conversions of existing traditional buildings such as the application site which are worthy of retention. (Policy comments are discussed later).

4.3 We also would suggest that and whilst it has to be accepted that the Inspectorate conclude that it lies outside of the settlement, this site is not entirely *isolated*. It does sit quite close to the village, positioned as it is opposite housing and within the village speed limit zone. Further, it has strong street scene (visual) attachments to the core of the settlement by virtue of the stone wall which runs along the frontage of the site and then continues later in similar nature further north and finally to form the boundary to Dunsley Hall. These factors which link the site to the nearby settlement must have some bearing in favour of appropriate commercial development in view of the fact that the application property is not for example an outlying remote barn in the Park where activity, parking etc might be considered to be of detriment to the rural idyll.



5.0 PLANNING POLICIES

5.1 Planning applications have to be determined in the light of current planning policies, unless material considerations dictate otherwise. In respect of this application we believe that the main policies in the adopted North York Moors Local Plan (2003), which are "saved policies" in the emerging Local



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Development Framework are as outlined below. These 2003 policies set the decision in are more recent planning framework than the earlier refusals.

5.2 Policy GP3 is a general development policy which applies to all applications and sets down a series of four criteria which should be met. Development which ~~accords with this and other relevant policies in the Plan will be permitted~~ where these criteria are met. These concern (in summary):

- 1. The design of the scheme respects or enhances the character, special qualities and distinctiveness of the locality and the wider landscape,
- 2. The nature of the proposal in terms of type and use and level of activity would not have an unacceptable impact on the character and other special qualities of the area,
- ~~3. The proposal has safe and convenient access for all and suitable parking and services can be suitable provided, and there are no unacceptable levels of pollution, and~~
- 4. Suitable services can be provided.

5.3 Policy BE10 considers landscaping and requires, where appropriate, development to incorporate a suitable landscaping scheme which is (briefly):

- 1. Planned as part of the development,
- 2. Is appropriate to the character of the locality,
- 3. Ensures safe and convenient access for all,
- 4. Retains important habitats and features, and

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~~5. Design with indigenous species appropriate to the locality.~~

5.4 Policy BE15 is a key policy as it considers the "conversion of traditional buildings to tourist accommodation". It states that proposals for tourist accommodation will be permitted where a series of seven criteria are met. These are directly relevant to this application and therefore we set out a summary as follows:

- 1. The building makes a positive contribution to the character of the landscape of the National Park, in terms of its' architectural, historic or group

Mark Wooding. Conversion of the Old Smithy, Dunsley to a Holiday Cottage

merit and the scheme can be achieved without unacceptable impact on the character or appearance of the building, its setting and the wider landscape,

2. The building is of permanent and substantial construction and capable of conversion without significant re-building,

3. It is compatible in terms of its sale, use, and activity,

~~4. The design and materials are appropriate for the setting and help to retain~~  
the character of the building and provide adequate standards of residential amenity without significant extensions and/or alterations,

5. Storage and garaging can be provided within buildings,

6. It has sufficient land attached to provide for the functional needs of the building and which would not have an unacceptable effect on the setting or wider landscape, and

7. The proposal accords with Policy GP3.

5.5 Within Policy BE15, guidance is set out that an initial policy test for all proposals such as this is that the building must make an existing, positive contribution to the landscape. Paragraph 4.84 explains that a structural engineer's report will be required. This is to demonstrate that the building is capable of conversion without major re-building. Paragraph 4.85 explains that in isolated locations it must not detract from the character of the landscape. Issues to consider are significant increases and changes in activity levels or visual changes to the building and its setting which could erode the special qualities and character of the area. Government guidance is discussed at Paragraph 4.87, where it is stated that Government policy is to favour the re-use of buildings for economic purposes. Paragraph 4.93 requires that the building should make a positive contribution to the landscape. ~~The appropriate~~ design of the scheme is a priority discussed in paragraph 4.94.

5.6 Policy E2 considers the re-use of rural buildings for economic use. A series of 6 criteria must be met. These cover issues such as:

1. The scale and location and the nature of the use are not detrimental to the character and appearance of the locality,

2. Alterations, design and materials reflect the functional form and character of the building which should be large enough to accommodate the use without significant extensions etc,

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3. The building has sufficient land attached to it to provide for the functional needs and service/storage space can be suitably provided,

4. Conformation with Policy GP3,

5. (Relates to non traditional buildings), and

~~6. It is of permanent and substantial construction, without need for significant re-building.~~

5.7 National Planning Policy is primarily contained within PPS1 and PPS7.

PPS1's principal aim is to deliver sustainable development. The Government's objectives as set out in the early paragraphs include the following guidance. Paragraph 3 notes that at the heart of sustainable development is the objective of *securing a better life for everyone and one of the 4 aims at paragraph 4 is "social progress which recognises the needs of everyone"*. At paragraph 5, guidance is given that planning should protect and enhance the natural and historic environment, the quality and character of the countryside, and existing communities, and further looks to meeting the needs of all members of the community. It aims to protect and enhance the environment, at paragraph 18 stating: *"Planning should seek to maintain and improve the local environment and help to mitigate the effects of declining environmental quality through positive policies..."* And at 20 through *"the preservation and enhancement of built and archaeological heritage"*. Paragraph 27 in discussing the general approach to the delivery of sustainable development, recognises that in rural areas it is more difficult to access services, and jobs etc other than by car.

PPS7 examines sustainable development in rural areas. In paragraph 17, consideration is given to the re-use of buildings in the countryside. The Government's Policy is positive in terms of support for the re-use of these buildings. It states that re-use for economic development purposes *"will usually be preferable, but residential conversions may be appropriate in some locations, and for some types of buildings. Planning Authorities should therefore set out in their LDDs the guiding criteria for permitting the conversion and re-use of buildings in the countryside for economic, residential and any other purpose including mixed uses"*. Within the criteria to be taken into account is *"the need to preserve, or the desirability of preserving, buildings of historic or architectural importance or interest, or which otherwise contribute to local character."*

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6.0 A REVIEW OF THE PROPOSAL IN THE LIGHT OF POLICIES.

6.1 The building is a typical modest agricultural building of simple architecture. It is of some age; Ordnance Survey maps show it on the site in 1750 and it may be even older. It has been suitably maintained. In our view it clearly makes a positive contribution to the rural scene and is worthy of retention.

~~6.2 The Structural Engineer's report shows it is suitable for conversion without any major re-building works being required. It has sufficient land about it, including an existing access and yard area to be screened for one car only, which would be appropriate for this new use. The former dwelling area could provide some screened outside storage, if required. We believe that the conversion proposals we have indicated reflect the style of the building and retain its inherent character and appearance. The low key nature of the proposed development, without requiring extensions or significant building works, is surely an ideal use to retain the building on this site. We therefore consider that the proposal fully accords with the principal Policy, BE15.~~

6.3 Similar planning considerations apply in respect of Policy E2. We believe we have shown within the detailed design details indicated on the plans and in the supporting documents that we have carefully ensured that all of the criteria within this Policy are also satisfied. In particular, the only noticeable external changes are to be at the rear and the glazing there will echo the existing openings. Re-cessing of the glazing will reduce potential for glare. The small area for one car will be screened by new dry stone walling on existing boundaries and additional tree planting. No domestic garden area is to be set out.

6.4 We firmly are of the opinion that it will hardly be noticeable that this change of use has taken place, so the proposals can not introduce any significant ~~impact on the character or appearance of the area.~~ Bringing the property into this new economic use can only have a positive outcome; that of securing the future maintenance of the building as an asset to the rural setting and the wider landscape.

6.5 With respect to the remaining policies there is only two aspects which perhaps require further comment, that of the wildlife and access considerations. A bat survey has been carried out. Noting the specialist's conclusions, it is our client's intention to comply with the mitigation measures recommended, particularly in respect of the timing of the working on the roof to avoid bat roosts, ~~the working on the roof by hand and the provision of bat boxes.~~ Care will of course also be taken if nesting birds are found. The property has an existing access and would have attracted traffic ~~to the Old Smithy.~~ Other uses such

Mark Wooding. Conversion of the Old Smithy, Dunsley to a Holiday Cottage

as stabling would have the potential for large vehicles to visit the site as discussed in the Design and Access Statement. Generally we believe that the very low scale nature of the traffic which would visit the property is far less than may have been the case in the past or could be with some other potential future uses. Good sight lines are in place and the access is within the 30mph speed limit. With this background, there should be no concerns about vehicular activity to the new use or the access provisions to the site.

6.6 We would further argue that this commercial re-use falls clearly in line with Government's positive approach to such applications as outlined in Policies PPS1 and especially PPS7, in that it seeks to retain part of the area's built heritage. The proposed use is considered to be a suitable new use for a building which adds to local character.

~~7.0 CONCLUSION~~

7.1 This application has been prepared in the light of the adopted and retained Local Plan Policies and National planning guidelines. There are no conflicts with these policies.

7.2 Preliminary discussion has been carried out with the Officers with a positive response.

7.3 This is a small traditional rural building in sound condition which is worthy of retention. ~~The proposed use is a one bed named holiday cottage is an~~ extremely modest, low key development. The project will preserve a building which contributes to local character.

7.4 Traditional detailing and design is incorporated throughout the very minor external alterations. The new use will hardly be noticeable.

~~7.5 We remain convinced that this application is worthy of full support and hope~~ that the Authority can agree to permit the proposed development with suitable planning conditions.

NYMNPA  
 17 DEC 2007