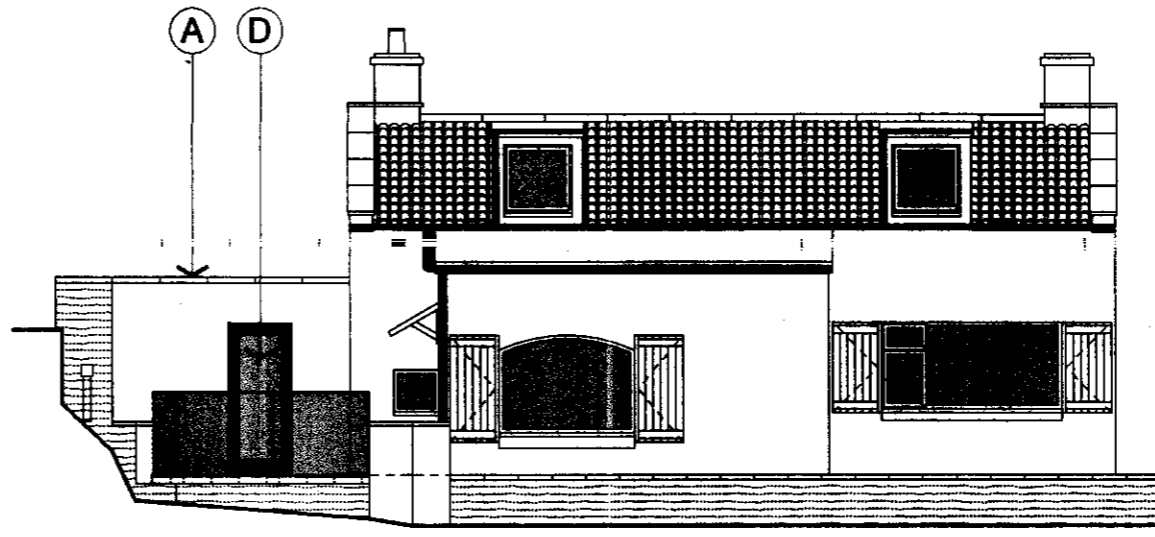
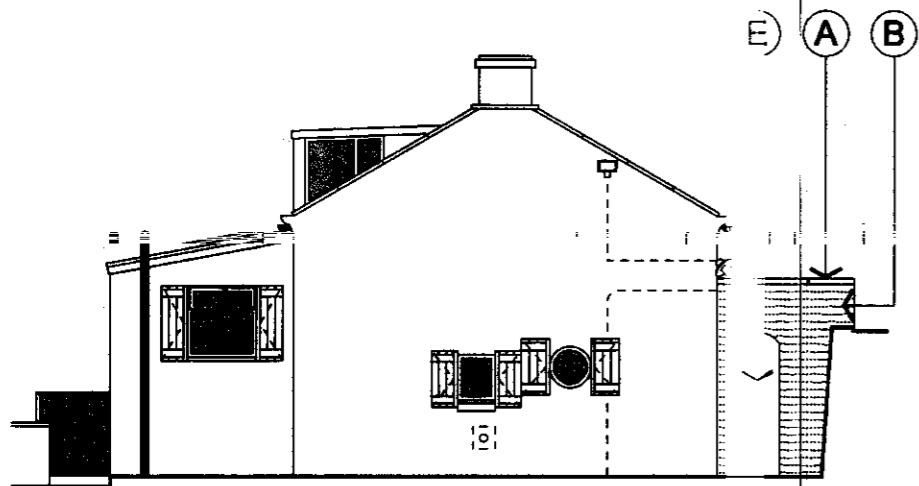


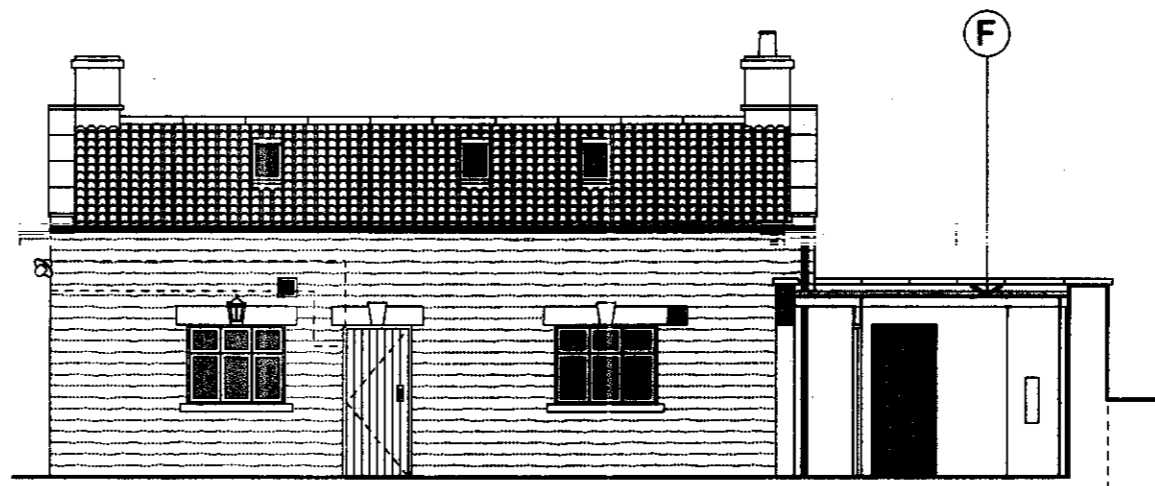
SOUTH ELEVATION - 1:100



EAST ELEVATION - 1:100

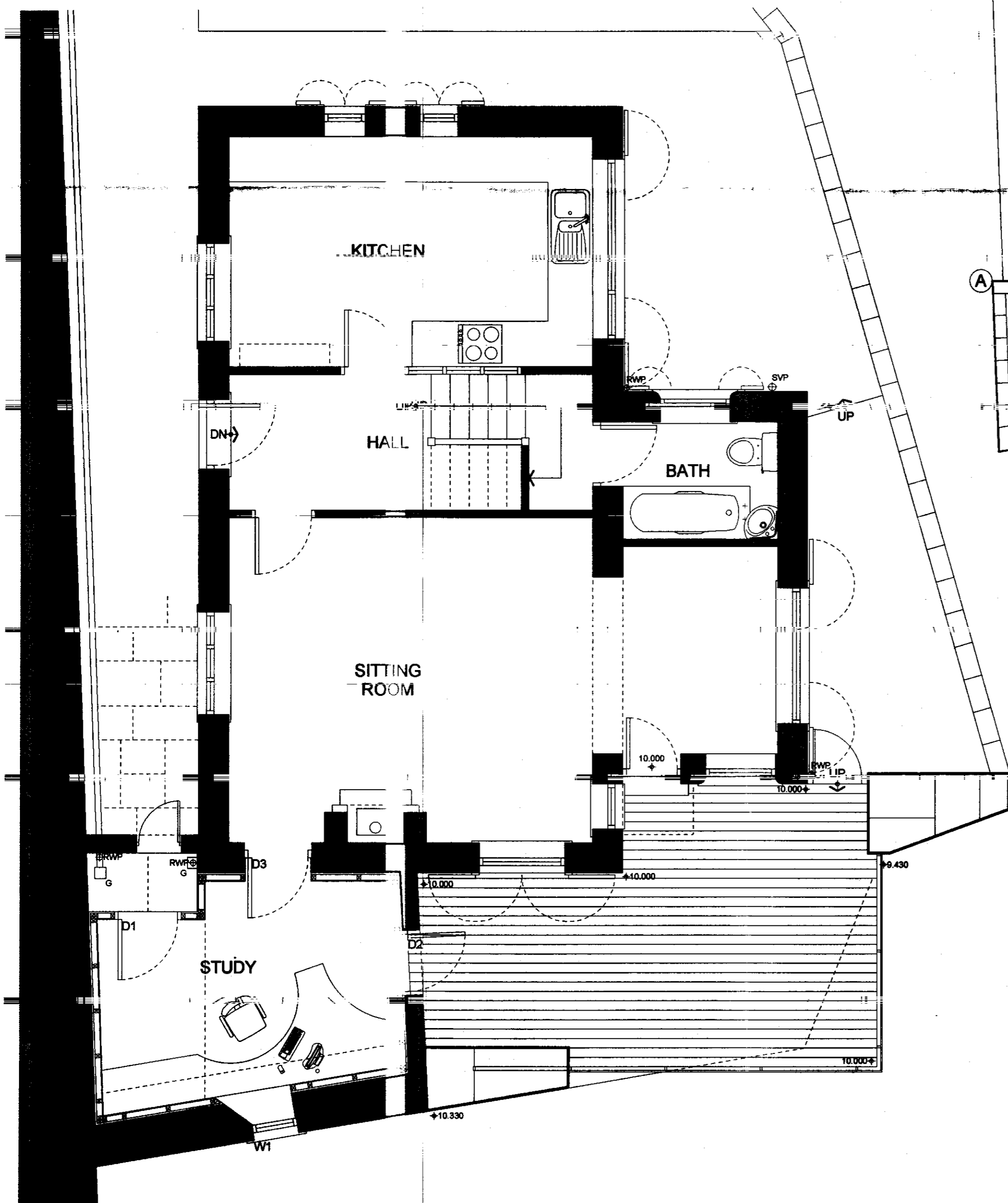


NORTH ELEVATION - 1:100

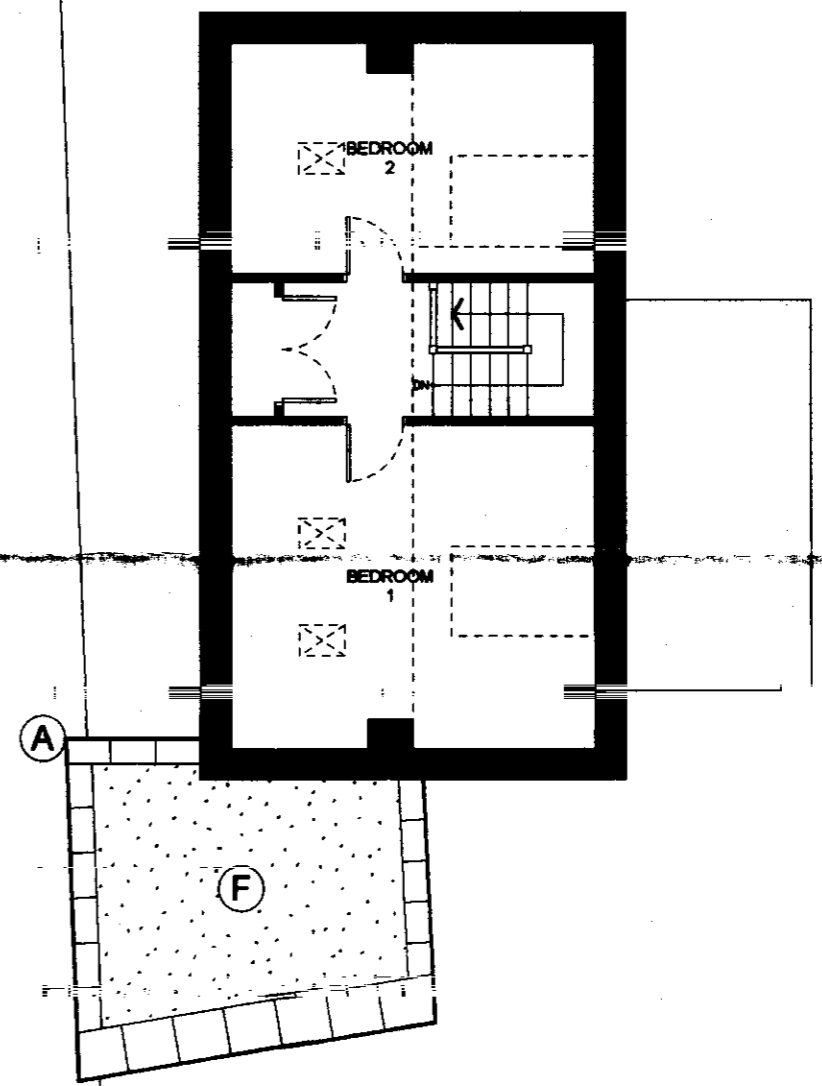


WEST ELEVATION - 1:100

NYMNP  
27 DEC 2007



GROUND FLOOR PLAN - 1:100



FIRST FLOOR PLAN - 1:100

- A 75mm PRECAST CONCRETE FLAG COPINGS AS DECK WALLS
- B EXISTING STONE WALLS REPAIRED
- C NEW GREY ALUMINIUM WINDOW IN EXISTING OPENING
- D NEW GLAZED DOOR IN EXISTING OPENING
- E WROUGHT IRON GATE RETAINED IN EXISTING OPENING. BOARDED DOOR BEYOND
- F PLAY ROOM INSIDE EXISTING WALL PARAPET. FINISH WITH LOCAL GRAVEL BALLAST

**W.H.P**

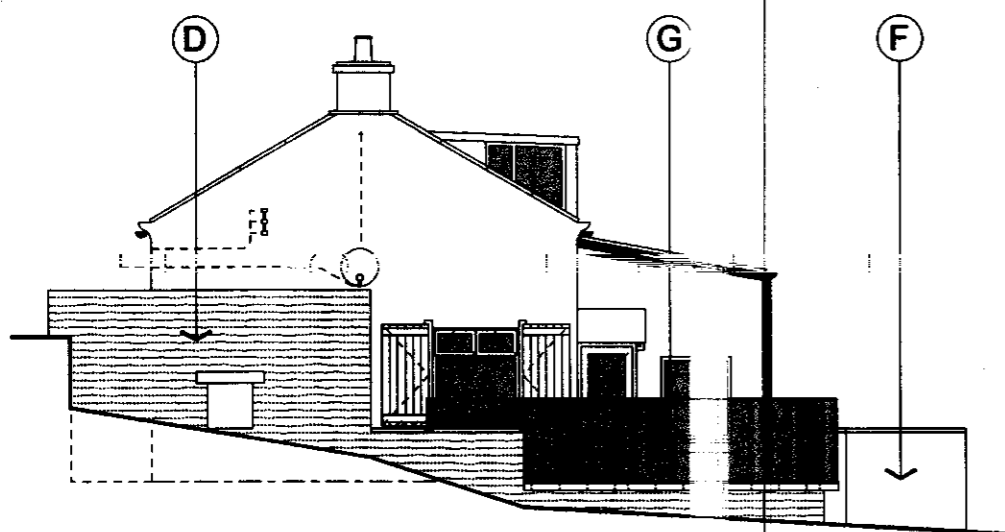
CLIENT  
MR & MRS S HEAD

PROJECT  
SUSANNAH HILL COTTAGE, RAVENSCAR

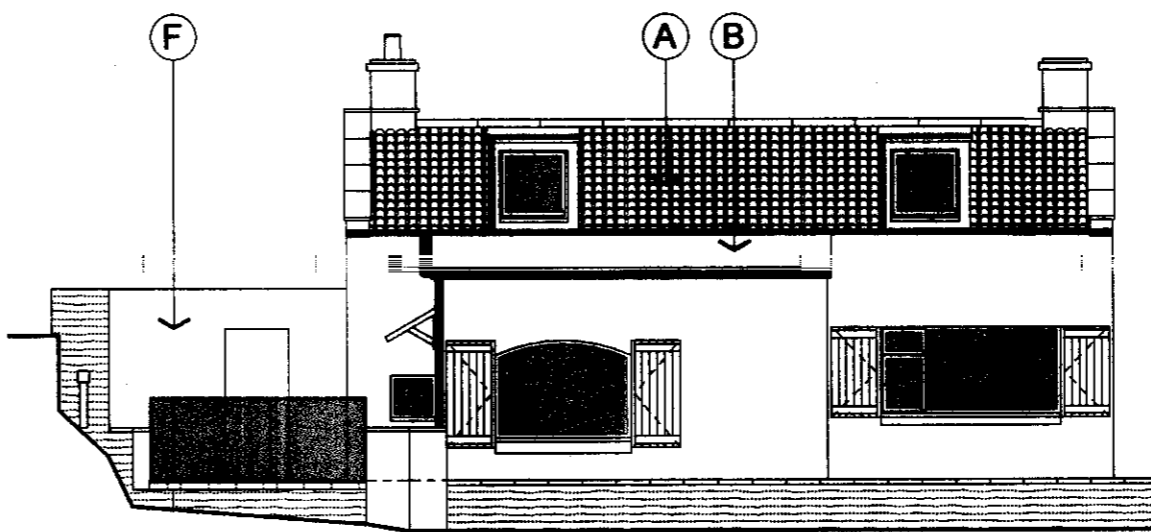
DRAWING TITLE  
PROPOSED STUDY CONVERSION

JOB NO	DRG NO	REV	SCALE	DATE
3494	03	-	AS	20 12 07

This drawing is the property and copyright of Walton Horstall Partnership Ip, Shepley, Huddersfield. tel. 01484 602377, fax. 01484 602723, email enquiries@waltonhorstall.co.uk and must not be amended or reproduced without written consent. Do not scale. Use only figured dimensions, and report any anomalies.

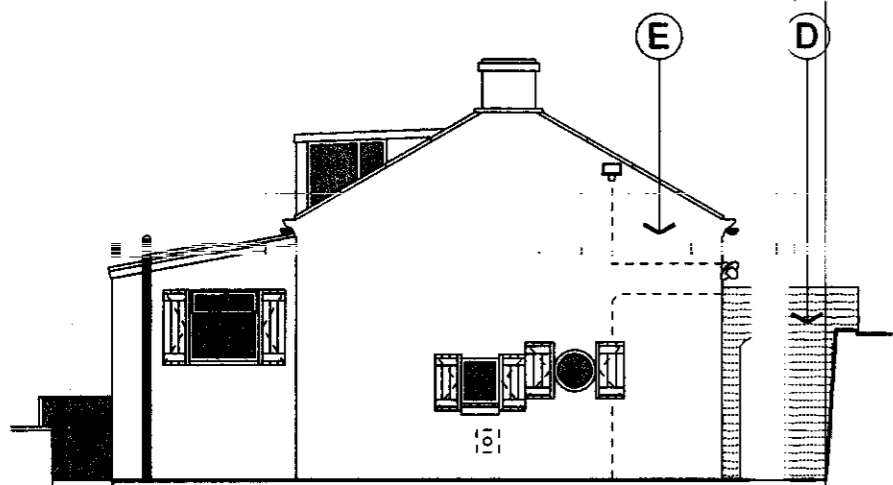


SOUTH ELEVATION - 1:100

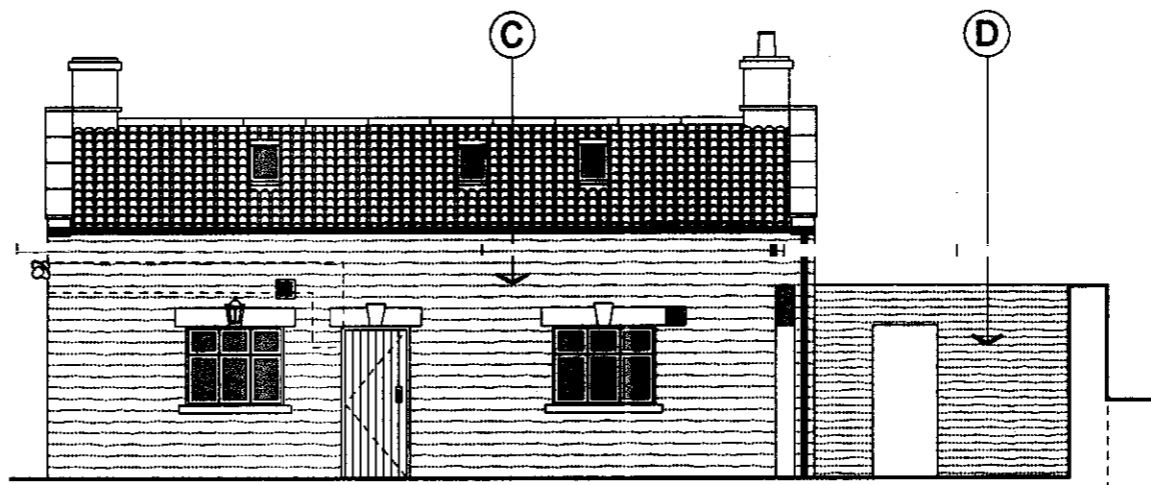


EAST ELEVATION - 1:100

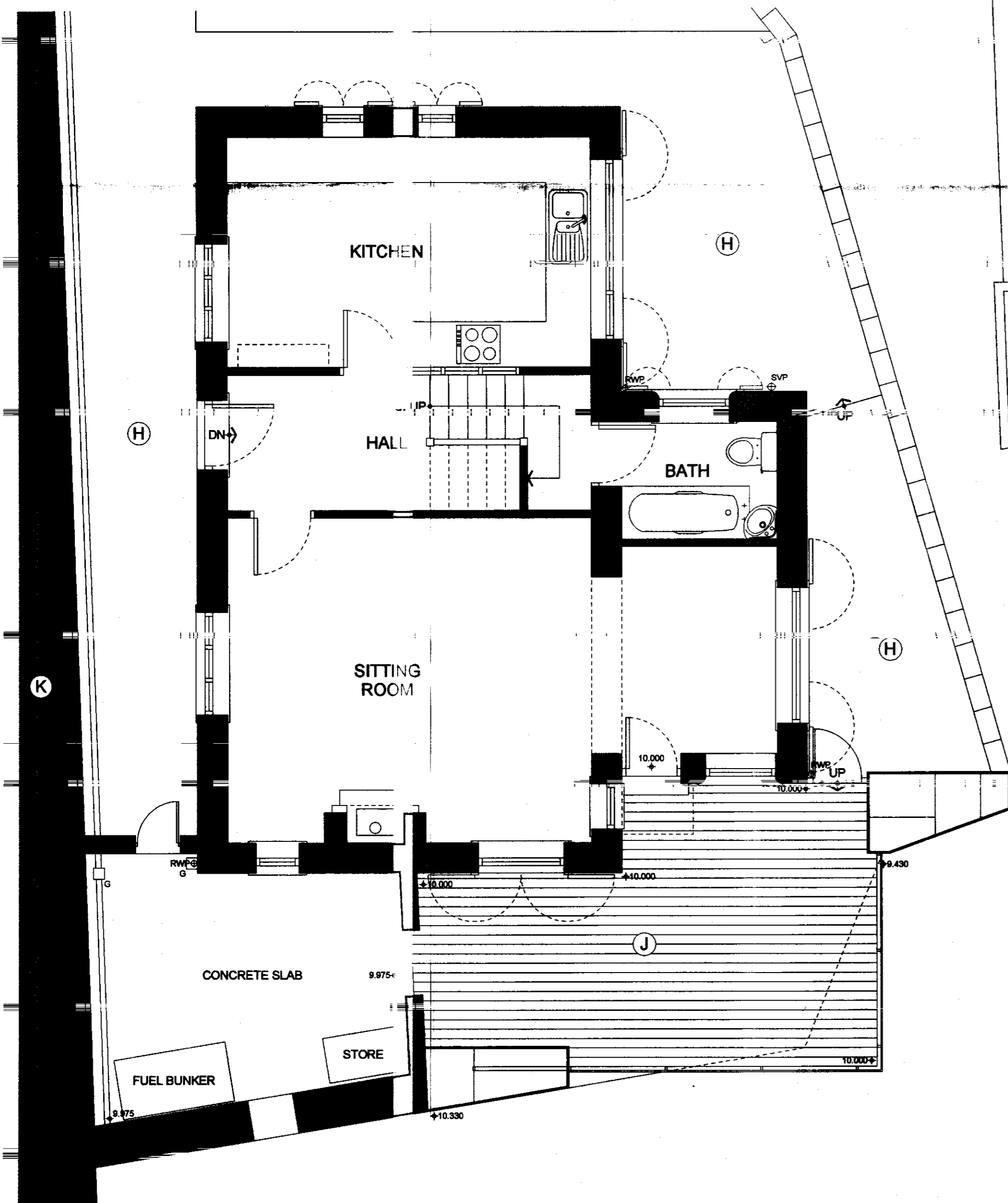
NYMNP  
27 DEC 2007



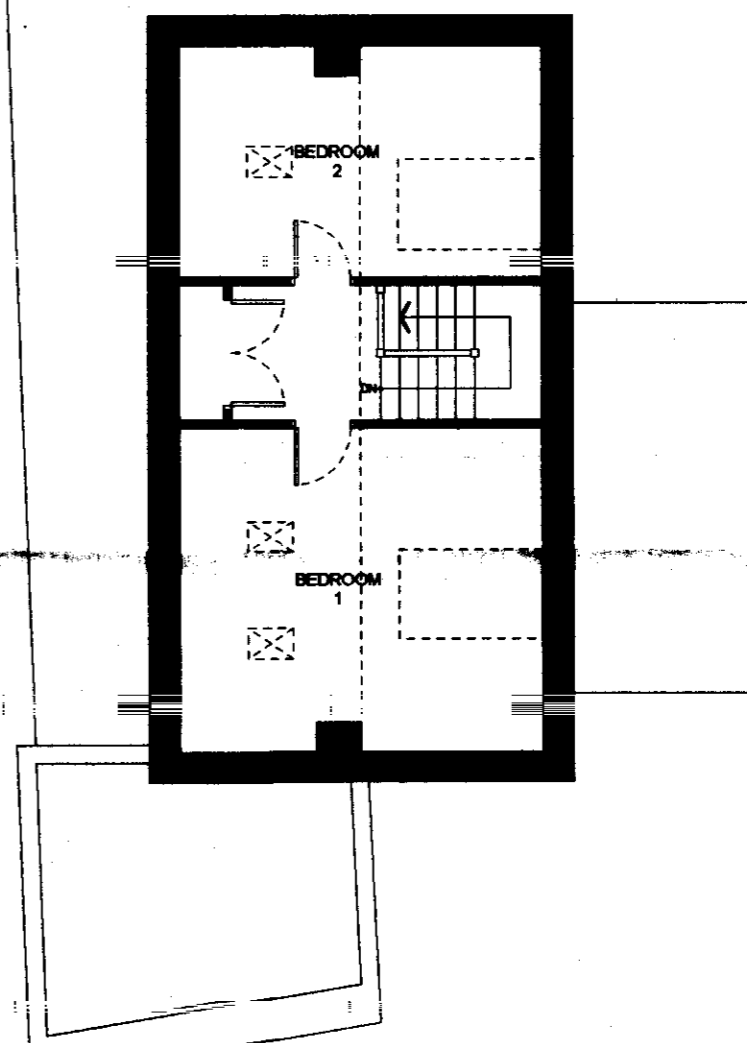
NORTH ELEVATION - 1:100



WEST ELEVATION - 1:100



GROUND FLOOR PLAN - 1:50



FIRST FLOOR PLAN - 1:100

- A CLAY PANTILES WITH LEAD FLASHINGS
- B GREY MINERALISED ROOFING FELT
- C TOOLED, COURSED LOCAL STONE
- D UNCOURSED LOCAL STONE
- E WHITE PAINTED COURSED STONE
- F WHITE PAINTED SMOOTH RENDER
- G GREY STEEL AND GLASS BALUSTRADE
- H ARTIFICIAL STONE FLAG PAVING
- J HARDWOOD DECK BOARDING
- K EXISTING STONE RETAINING WALL

**W.H.P**

CLIENT  
MR & MRS S HEAD

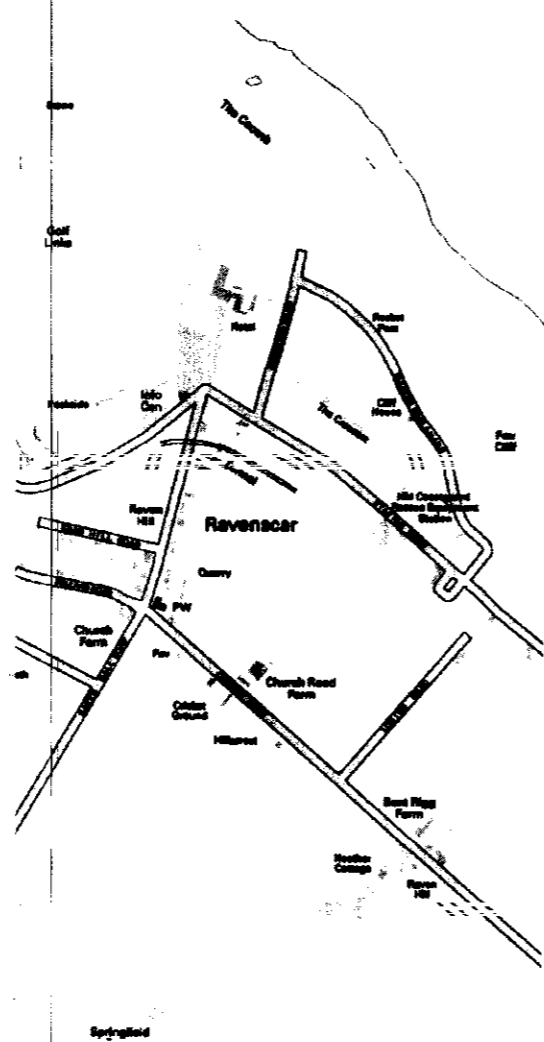
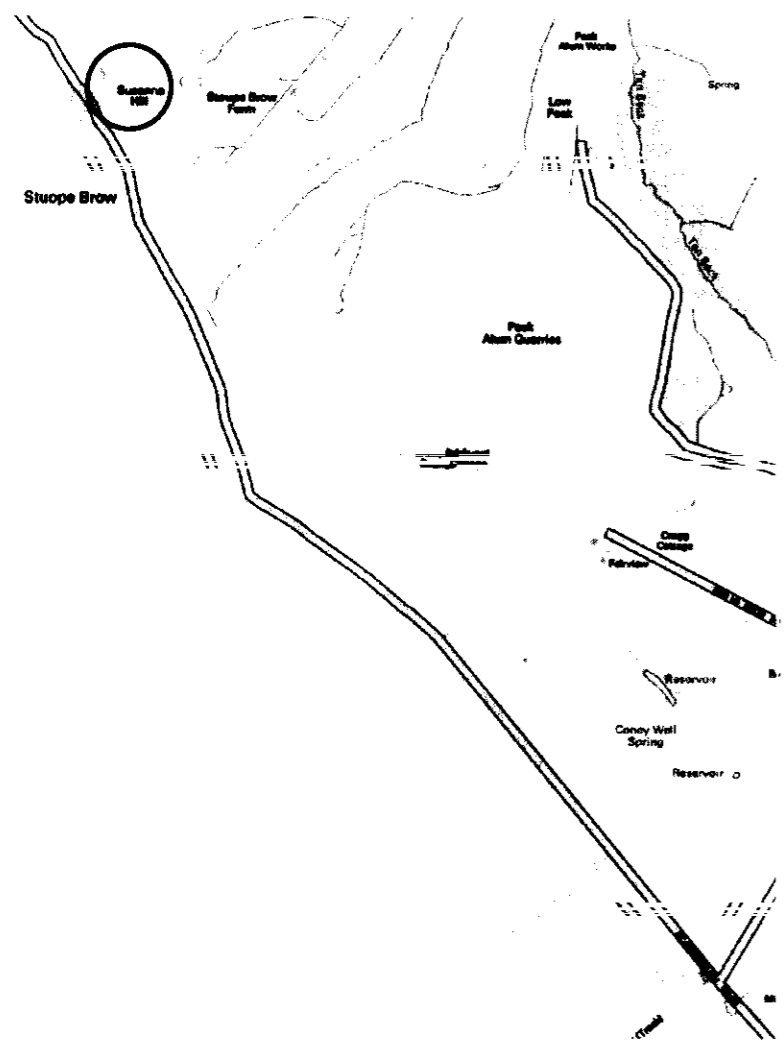
PROJECT  
SUSANNAH HILL COTTAGE, RAVENSCAR

DRAWING TITLE  
SURVEY DRAWING

JOB NO	DRG NO	REV	SCALE @ A2	DATE
3494	02	-	AS	06 07 07

NYM/ 2007 / 1 0 4 8 / FL

NYMNPA  
27 DEC 2007



**W.H.P**

CLIENT <b>MR &amp; MRS S HEAD</b>		DRAWING TITLE <b>LOCATION PLAN</b>			
PROJECT <b>SUSANNAH HILL COTTAGE, RAVENSCAR</b>	JOB NO <b>3494</b>	DRG NO <b>01</b>	REV <b>-</b>	SCALE @ A3 <b>1:1250</b>	DATE <b>11 12 07</b>

This drawing is the property and copyright of Walton Horsfall Partnership Ip, Shepley, Huddersfield, Tel. 01484 602377, Fax. 01484 602723, Email. enquiries@waltonhorsfall.co.uk and must not be amended or reproduced without written consent. Use only figured dimensions, do not scale, and report any anomalies.



Grid Ref NZ 9650302175

07/11/08

PH

North York Moors National Park Authority  
The Old Vicarage  
Bordgale  
Helmley  
York  
YO62 8BP

Telephone: 01430 770577  
Email: dc@northyorkmoors-npa.gov.uk  
Website: www.moors.nk.net

**Householder Application for Planning Permission for works or extension to a dwelling.  
Town and Country Planning Act 1990**

**Publication of planning applications on council websites**

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as contact information will be used for the processing of your application.

1. Applicant Name and Address	2. Agent Name and Address
Title: <b>MR+MRS</b> First name: <input type="text"/>	Title: <input type="text"/> First name: <input type="text"/>
Last name: <b>HEAD</b>	Last name: <input type="text"/>
Company (optional): <input type="text"/>	Company (optional): <b>WALTON HEORSFALL PARTNERSHIP</b>
Unit: <input type="text"/> House number: <input type="text"/> House suffix: <input type="text"/>	Unit: <input type="text"/> House number: <b>18</b> House suffix: <b>A</b>
House name: <b>SUSANNAH HILL COTTAGE</b>	House name: <input type="text"/>
Address 1: <b>BROWSIDE</b>	Address 1: <b>ABBEY ROAD</b>
Address 2: <b>WETTEDALE</b>	Address 2: <b>WETTEDALE</b>
Address 3: <input type="text"/>	Address 3: <b>HUDDERSFIELD</b>
Town: <b>SCARBOROUGH</b>	Town: <input type="text"/>
County: <b>YORKSHIRE</b>	County: <b>WEST YORKSHIRE</b>
Country: <b>ENGLAND</b>	Country: <b>ENGLAND</b>
Postcode: <b>YO13 0HH</b>	Postcode: <b>HD8 8EP</b>

**3. Description of Proposed Works**

Please describe the proposed works:

**CONVERSION OF EXISTING WALLED ENCLOSURE, ATTACHED TO COTTAGE, INTO A STUDY, WITH INTERNAL ACCESS FROM COTTAGE.**

**3. Description of Proposed Works (continued)**

Has the work already been started without planning permission?  Yes  No

If Yes, please state when the works were started (DD/MM/YYYY):  (date must be pre-application submission)

Has the work already been completed without planning permission?  Yes  No

If Yes, please state when the works were completed (DD/MM/YYYY):  (date must be pre-application submission)

Please provide the full postal address of the application site.

Unit:  House number:  House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Postcode (optional):

Is a new or altered vehicle access proposed to or from the public highway?  Yes  No

Is a new or altered pedestrian access proposed to or from the public highway?  Yes  No

Do the proposals require any diversions, extinguishments and/or creation of public rights of way?  Yes  No

If Yes to any questions, please show details on your plans or drawings and state the reference number(s) of the plan(s)/drawing(s):

**6. Pre-application Advice**

Has assistance or prior advice been sought from the local authority about this application?  Yes  No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently). Please tick if the full contact details are not known and then complete on a separate sheet:

Officer name:

Reference:

Date (DD MM YYYY):  (must be pre-application submission)

Advice given:

**7. Trees and Hedges**

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your boundary?  Yes  No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?  Yes  No

If Yes, please show on your plans, indicating the scale, which trees by giving them numbers e.g. T1, T2 etc. and state the reference number of any plans or drawings:

**8. Parking**

Will the proposed works affect existing car parking arrangements?  Yes  No

If Yes, please describe:

**9. Council Employee / Member**

Is the applicant or agent related to any member of staff or elected member of the Council?  Yes  No

If Yes, please provide details:

10. Materials

If applicable, please state what materials are to be used externally. Include type, colour and name for each material:

	Existing (where applicable)	Proposed	Not applicable	Don't Know	Drawing references if applicable
Walls	NON-COURSED LOCAL STONE  PAINTED SMOOTH RENDER	NON-COURSED LOCAL STONE  PAINTED RENDER	<input type="checkbox"/>	<input type="checkbox"/>	
Roof	—	LOCAL GRAVEL BALLAST	<input type="checkbox"/>	<input type="checkbox"/>	
Windows	—	ALUMINIUM CASE WITH POWDER-COATED RAL 7037	<input type="checkbox"/>	<input type="checkbox"/>	
Doors	—	ALUMINIUM PAT. 10 POWDER COATED RAL 7037 RECLAIMED BOARDING	<input type="checkbox"/>	<input type="checkbox"/>	
Boundary treatments (e.g. fences, walls)	—	—	<input type="checkbox"/>	<input type="checkbox"/>	
Vehicle access and hard-standing	—	—	<input type="checkbox"/>	<input type="checkbox"/>	
Lighting	—	—	<input type="checkbox"/>	<input type="checkbox"/>	
Others (please specify)	—	—	<input type="checkbox"/>	<input type="checkbox"/>	

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?  Yes  No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

DRAWINGS NOS. 3494.02 AND 03.

**11. Certificates**

One Certificate A, B, C, or D, must be completed, together with the Agricultural Holdings Certificate with this application form  
**CERTIFICATE OF OWNERSHIP - CERTIFICATE A**

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):



21.12.2007

~~CERTIFICATE OF OWNERSHIP - CERTIFICATE B~~

~~Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7~~

~~I certify/ The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which this application relates.~~

Name of Owner	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):




~~CERTIFICATE OF OWNERSHIP - CERTIFICATE C~~

~~Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7~~

~~I certify/ The applicant certifies that:~~

- ~~Neither Certificate A or B can be issued for this application~~
- ~~All reasonable steps have been taken to find out the names and addresses of the other owners (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of the land or building or of a part of it, but I have/ the applicant has been unable to do so.~~

~~The steps taken were:~~

Name of Owner	Address	Date Notice Served

~~Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):~~

~~On the following date (which must not be earlier than 21 days before the date of the application):~~



Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

11. Certificates (continued)

**CERTIFICATE OF OWNERSHIP - CERTIFICATE D**

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 2 years left to run) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

The steps taken were:

[Empty box for steps taken]

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

[Empty boxes for newspaper name and date]

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

[Empty signature and date boxes]

**AGRICULTURAL HOLDINGS CERTIFICATE**

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is or is part of an agricultural holding.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

[Signature box] [Redacted signature] [Date: 21.12.2007]

(B) I have/ The applicant has given the requisite notice to every person other than myself/ the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Name of Tenant	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

[Empty signature and date boxes]

12. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Council has been submitted.

- 4 ✓ copies of a completed and dated application form:
- 4 ✓ copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North:
- 4 ✓ copies of other plans and drawings or information necessary to describe the subject of the application:
- 4 ✓ copies of a design and access statement where proposed works fall within one of the following designated areas: 
  - National Park
  - Site of special scientific interest
  - Conservation area
  - Area of outstanding natural beauty
  - World Heritage Site
  - The Broads
- The correct fee: 
  - 4 ✓ copies of the completed, dated Article 7 Certificate (Agricultural Holdings):
  - 4 ✓ copies of the completed, dated Ownership Certificate (A, B, C or D - as applicable):

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

[Signature box] [Redacted signature] [Date: 21.12.2007] (date cannot be pre-application)



NYM/ 2007 / 1 0 4 8 /

NYMNPA  
FL 27 DEC 2007

**14. Applicant Contact Details**

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

**15. Agent Contact Details**

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

**16. Site Visit**

Can the site be seen from a public road, public footpath, bridleway or other public land?  Yes  No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)  Agent  Applicant  Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name: MR OR MRS HEND Telephone number: [redacted]

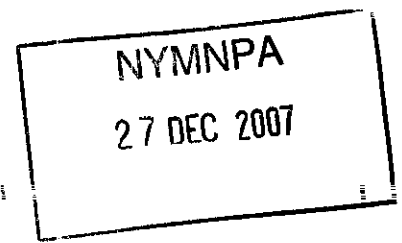
Email address: [redacted]

**12. Planning Application Requirements - Checklist**

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted. The correct fee:  The original and 3 copies of the following documents:

<input type="checkbox"/> The completed and dated application form	<input type="checkbox"/> The completed, dated Article 7 Certificate (Agricultural Holdings)	<input type="checkbox"/> A design and access statement where proposed works fall within one of the following designated areas:
<input type="checkbox"/> A plan which identifies the land to which the application relates, drawn to a standard scale and showing the direction of north	<input type="checkbox"/> The completed, dated Ownership Certificate (A, B, C or D - as applicable)	<ul style="list-style-type: none"> <li>• National Park</li> <li>• Site of special scientific interest</li> <li>• Conservation area</li> <li>• Area of outstanding natural beauty</li> <li>• World Heritage Site</li> <li>• The Broads</li> </ul>
<input type="checkbox"/> Other plans and drawings or information necessary to describe the subject of the application		

3494 SUSANNAH HILL COTTAGE, RAVENSCAR  
STUDY EXTENSION FOR MR & MRS HEAD  
DESIGN AND ACCESS STATEMENT – DECEMBER 2007



DESIGN

The proposal is to convert an existing walled enclosure, which is attached to the southern gable of Susannah Hill Cottage, into a study, with external access through existing openings, and a new internal door from the cottage sitting room.

The existing enclosure walls are high enough to conceal a new flat roof inside a shallow parapet, with the only external change being the introduction of a common coping to the wall top, a gravel-ballasted roof within the parapet, and the installation of one window and two doors into existing openings. The design is intended to have minimal effect upon the perception of the property by immediate neighbours or the general public, and will ensure adequate maintenance of this, hitherto dilapidated structure.

ACCESS

Notwithstanding the several existing steps in the access path from the approach drive and parking area, the doors will provide the required 775mm clear openings, and the 38mmstepped threshold will be ramped locally, but this proposal does not affect the status of the property with regard to Part M of the Building Regulations.