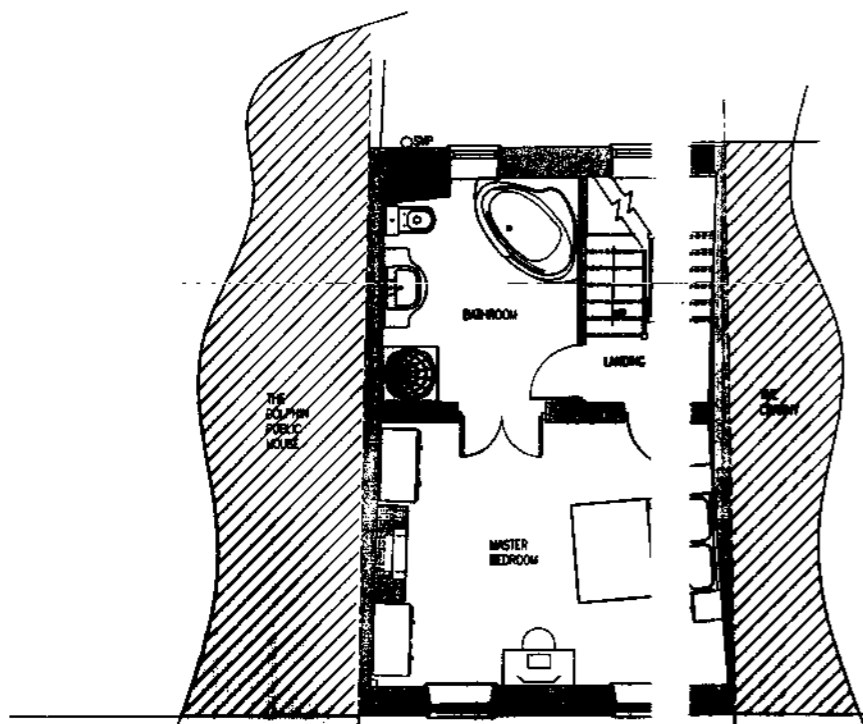
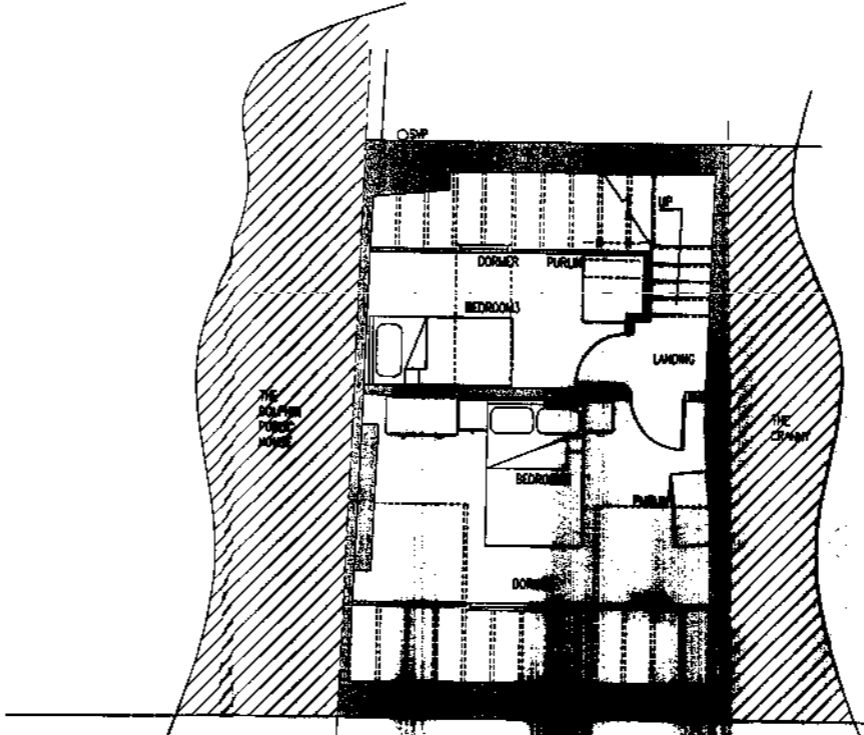


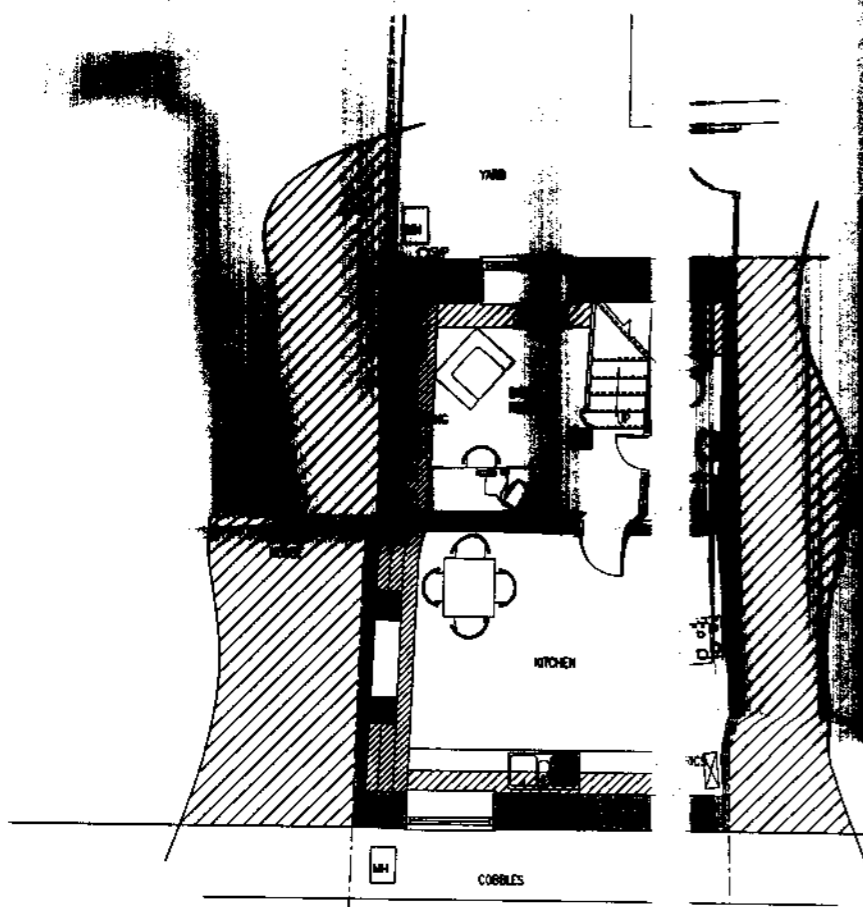
- DO NOT SCALE from this drawing. Only figured dimensions are to be taken from this drawing.
- The Contractor must verify all dimensions on site before commencing any work or shop drawings.
- The Contractor must report any discrepancies before commencing work. If this drawing includes the quantities taken in any way, the Technician is to be informed before work is initiated.
- Work shall be in accordance with the Construction (Design and Management) Regulations 1994 is not to start until a Health & Safety Plan has been produced. This drawing is Copyright and must not be reproduced without consent of BMD Partnership Ltd.



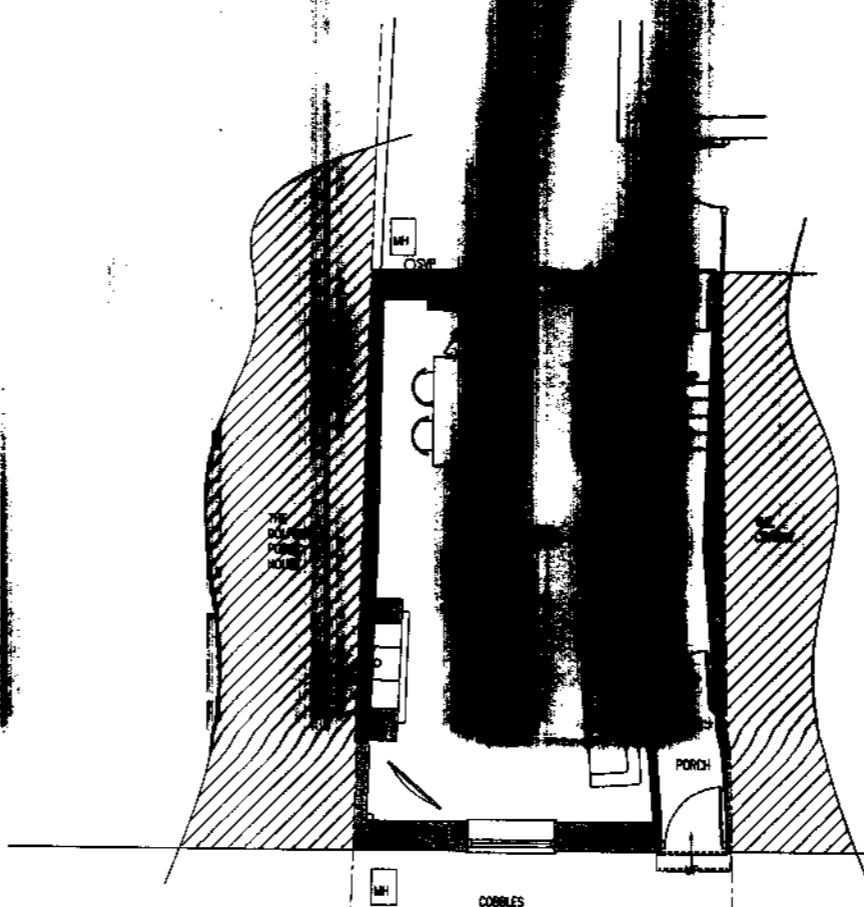
FIRST FLOOR



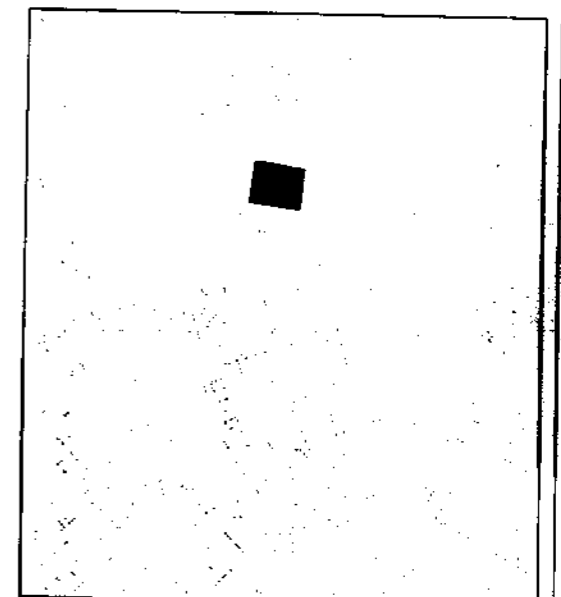
SECOND FLOOR



LOWER GROUND FLOOR



GROUND FLOOR



SITE PLAN  
SCALE 1:500

NYM/2007/A  
- 6 AUG 2007

|          |          |    |             |
|----------|----------|----|-------------|
| DATE     | 11/08/07 | BY | T. HARRISON |
| REVISION |          | BY | T. HARRISON |
| DATE     |          | BY | T. HARRISON |
| DATE     |          | BY | T. HARRISON |

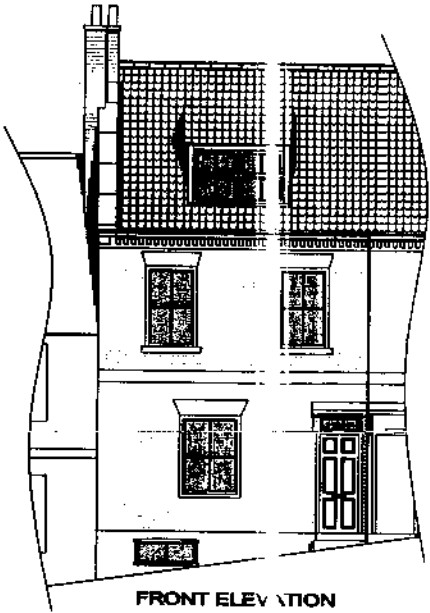
**Partnership**  
Architectural  
Tel: 01247-89471 Fax: 01247-89470  
www.bmdpartnership.com

|   |                   |      |          |
|---|-------------------|------|----------|
| ARCHITECTURAL   |                   |      |          |
| MR I. AND J. LINLEY                                     |                   |      |          |
| INTERNAL ALTERATIONS TO 12 KING STREET, ROBIN HOODS BAY |                   |      |          |
| PROPOSED FLOOR PLANS WITH SITE PLAN                     |                   |      |          |
| DESIGNER  | C. EYNON          | DATE | 31/08/07 |
| CHECKED   | T. HARRISON       | DATE | 31/08/07 |
| SCALE   | 1:50 & 1:100 @ A1 | DATE | 31/08/07 |
| PROJECT NO.   | D8948-03          | DATE |          |

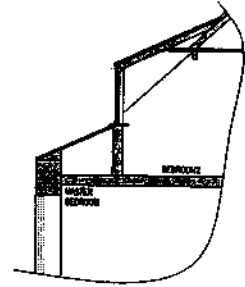
PROPOSED

**PROPOSED**

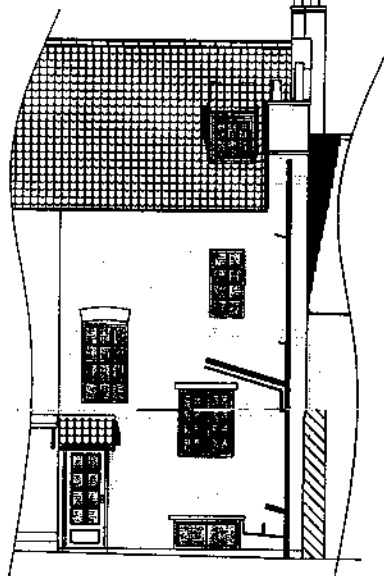
- DO NOT SCALE from this drawing. Only spaced dimensions are to be taken from this drawing.
- The Contractor shall verify all dimensions on site before commencing any work or other drawings.
- The Contractor shall read any Amendments before commencing work. If the drawings conflict with the contract take it as the "Latter" unless otherwise stated in writing.
- Work shall be undertaken during the day and night hours. It shall be carried out in accordance with the relevant regulations and codes of practice.



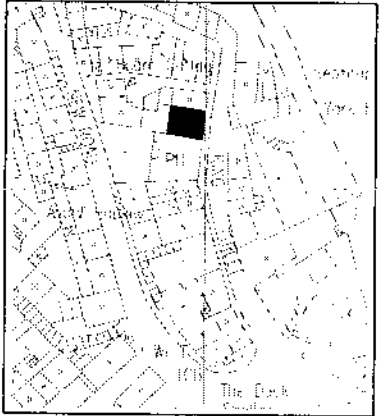
**FRONT ELEVATION**



**SECTION THROUGH FRONT DORMER**



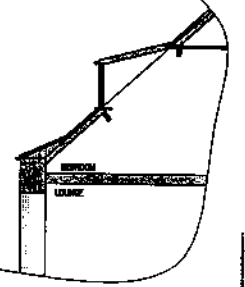
**REAR ELEVATION**



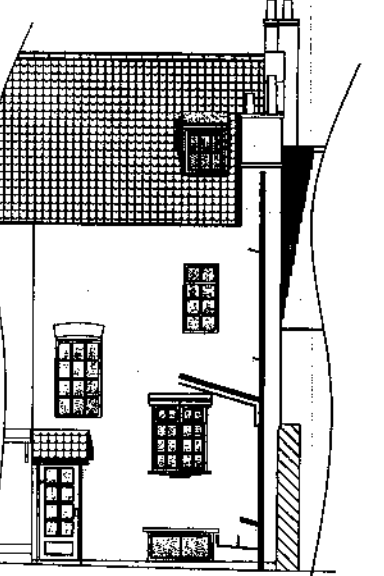
**SITE PLAN  
SCALE 1:500**



**FRONT ELEVATION**



**SECTION THROUGH FRONT DORMER**



**REAR ELEVATION**

**NYM/NPA  
17 JUL 2007**

**EXISTING**

**NYM/2007 / 116177LB**

|   |      |    |                      |     |
|---|------|----|----------------------|-----|
| 1 | 2007 | OC | REVISED TO SHW WORK  | NYM |
| 2 | 2007 | OC | REVISIONS MADE ALONG | NYM |
| 3 | 2007 | OC | ISSUED FOR APPROVAL  | NYM |
| 4 | 2007 | OC |                      | NYM |

**hhd partnership**  
 11th Floor, 11th Street, New York, NY 10011  
 Tel: 212 697 6000  
 www.hhdpartnership.com

**ARCHITECTURAL**

**MR I. AND J. LINDLEY**

**INTERNAL ALTERATIONS TO 12 KING STREET, ROSEN FIELDS BAY**

**EXISTING AND PROPOSED ELEVATIONS WITH SITE PLAN**

|        |                |        |        |
|--------|----------------|--------|--------|
| CLIENT | L.S. ROSENBERG | DATE   |        |
| NO. 10 | NO. 10         | NO. 10 | NO. 10 |
| NO. 10 | NO. 10         | NO. 10 | NO. 10 |

**DATE 11** **DESE-04** **C**



North York Moors National Park

**Listed Building Consent  
Application Form**

Please read the leaflet *How to fill in your Listed Building Consent Application Form* before completing this form.

For office use only

Ref: 07/0617

Date Received:

Grid ref:

~~EXEMPT LB~~

07

**SECTION 1 YOUR DETAILS**

1. Applicant Name LINLEY PROPERTIES 2. Agent Name

Name LINLEY PROPERTIES Name

Address 11 CALLADING GROVE Address

BOTTON IN ASHFIELD

NOTTS

Post Code NG17 1NP Post Code

Tel No [REDACTED] Tel No

Full postal address of the building(s) for which consent is being sought

12 KING STREET

ROBIN HOODS BAY

N. YORKS

YO22 4SH

Existing use of buildings

RESIDENTIAL

NYMNPA  
17 JUL 2007

**SECTION 2 YOUR PROPOSAL**

5 Brief description of the proposed works

CONVERT FROM THREE FLATS TO A

SINGLE DWELLING

6. Type of application (please tick at least one box)

- A. Application for works including partial or total demolition of a Listed Building.
- B. Application for alteration or extension of a Listed Building.
- C. Application for works to the interior only of a Grade II (unstarred) Listed Building.
- D. Application for variation or discharge of conditions of an existing Listed Building Consent.

7. Full description of the proposed works

CONVERT FROM THREE SELF CONTAINED FLATS TO A SINGLE DWELLING FULLY REFURBISHING THE PROPERTY INTERIOR.

8. Details of materials for construction and finishes

|                   | Existing            | Proposed            |
|-------------------|---------------------|---------------------|
| Chimneys          | <u>BRICK</u>        | <u>BRICK</u>        |
| Roof finish       | <u>TILE</u>         | <u>TILE</u>         |
| Rainwater goods   | <u>PLASTIC/CAST</u> | <u>PLASTIC/CAST</u> |
| Walls             | <u>BRICK</u>        | <u>BRICK</u>        |
| Windows           | <u>TIMBER</u>       | <u>TIMBER</u>       |
| Doors             | <u>TIMBER</u>       | <u>TIMBER</u>       |
| Shop front        | <u>N/A</u>          | <u>N/A</u>          |
| Internal features | <u>N/A</u>          | <u>N/A</u>          |

SECTION 3

WHAT YOU NEED TO INCLUDE WITH YOUR APPLICATION

NYMINPA

17 JUL 2007

9. Plans

Please list below the plans, sections, elevations, photographs, schedules etc. which are included with this application.

RE SUBMISSION OF PREVIOUS APPLICATION OMITTING ROOF TERRACE + FRENCH DOOR - PROPOSED + EXISTING ELEVATIONS + FLOOR PLANS ENCLOSED TO TAKE ACCOUNT OF AMENDMENTS.

10. Declaration

I/We\* hereby apply for Listed Building Consent in accordance with the above details and the accompanying information. (\*delete as necessary)

Signed: [Redacted Signature] (Applicant/Agent\*)

On behalf of: LINLEY PROPERTIES (Applicant)

Date: 16/7/07.

11. Certificates

You are required to complete an ownership certificate, usually either Certificate A or Certificate B. Please cross out the one which does not apply.

Please note that it is an offence knowingly to make a false declaration.

**CERTIFICATE A**

I hereby certify that:

No person other than myself/the applicant\* was an owner† of the building(s) to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

Signed: \_\_\_\_\_

\* On behalf of: \_\_\_\_\_

Date: \_\_\_\_\_

\*delete where inappropriate

**CERTIFICATE B**

I hereby certify that:

I have/the owner has\* given the requisite notice to all persons other than myself/the applicant\* who, 21 days ending with the date of the accompanying application were owners of the building to which the application relates, viz.

Owner's name: MR LOFTHOUSE

Address: C/O BAIRSTON EYES

27 FLOWERGATE

WHITBY, NORTH YORKS

YO21 3AX

Date on which notice was served: 23 MARCH 2007

Signed: 

\* On behalf of: LINLEY PROPERTIES

Date: 16/7/07.

|             |
|-------------|
| NYMNPA      |
| 17 JUL 2007 |

\* delete where inappropriate

† 'owner' means a person having a freehold interest or a leasehold interest the unexpired term of which is not less than 7 years.

**DESIGN & ACCESS STATEMENT**  
**PROPOSED ALTERATIONS**  
**NO.12 KING STREET, ROBIN HOODS BAY, WHITBY**  
**FOR**  
**MESSRS I. & J. LINLEY**

NYM/ NPA

- 6 AUG 2007

**b h d partnership ltd**

**Airy Hill Manor, Whitby, North Yorkshire, YO21 1QB**

**---Tel: 01947 604871**

**---Fax: 01947 600010**

**general@bhdpartnership.com**

**www.bhdpartnership.com**

## 1.0 DESIGN

### 1.1 Context

The property consists of a four storey terraced dwelling which currently forms 2no 1 bed flats and 1no 2 bed flat in a poor state of repair and badly planned.

The applicants propose to revert the property back to one single dwelling and to retain and refurbish the existing original features and to improve the standard of accommodation by removing the small flats bathroom facilities and kitchens.

General repairs and upgrading of the roof, walls, windows and doors will also be carried out.

These alterations are considered to be to the overall benefit of the building and comply with the following policies: -

- GP3 - General Development Policy
- BE1 - Conservation Areas
- BE3 - Changes to Listed Buildings
- BE6 - Design of New Development

### 1.2 Amount of Development

The building will alter from 2no 1 bed flats plus 1no 2 bed flat to 1no 3 bed house and the internal floor area is in the region of 110m<sup>2</sup>.

### 1.3 Layout and Scale

The building is located in the old village of Robin Hoods Bay on King Street which rises steeply from The Dock. No.12 is adjacent to The Dolphin Public House to the South and a similar terraced house to the North.

No.12 faces a gap of approximately 4 metres wide between York House and the property to the south of that which are on the opposite side of the street 6m to 8m away.

The existing premises has one solid front door and a glazed rear door, which is only accessed via a narrow passage and rear yard.

The external doors will include new Chubb mortice locks for improved security.

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- 6 AUG 2007

1.4 Appearance

The felt dormer roof is to be replaced with a natural clay pantiled roof at a steeper pitch to enhance the appearance.

The overall width of the front dormer will not change.

The timber windows will be retained and repaired where necessary.

All external timber windows and doors will be painted to match the existing colours.

The brickwork will be re-pointed where necessary using a lime mix mortar and re-pointed to match the existing colours.

2.0 ACCESS

The existing access doors to the property are to be retained and entrance details.

Any new internal doors will be 841mm wide in order to provide ease of access between rooms.

Any new electrical works will ensure that light switches or socket outlets will be positioned within the height range required by Building Regulations to allow ease of use by all.

