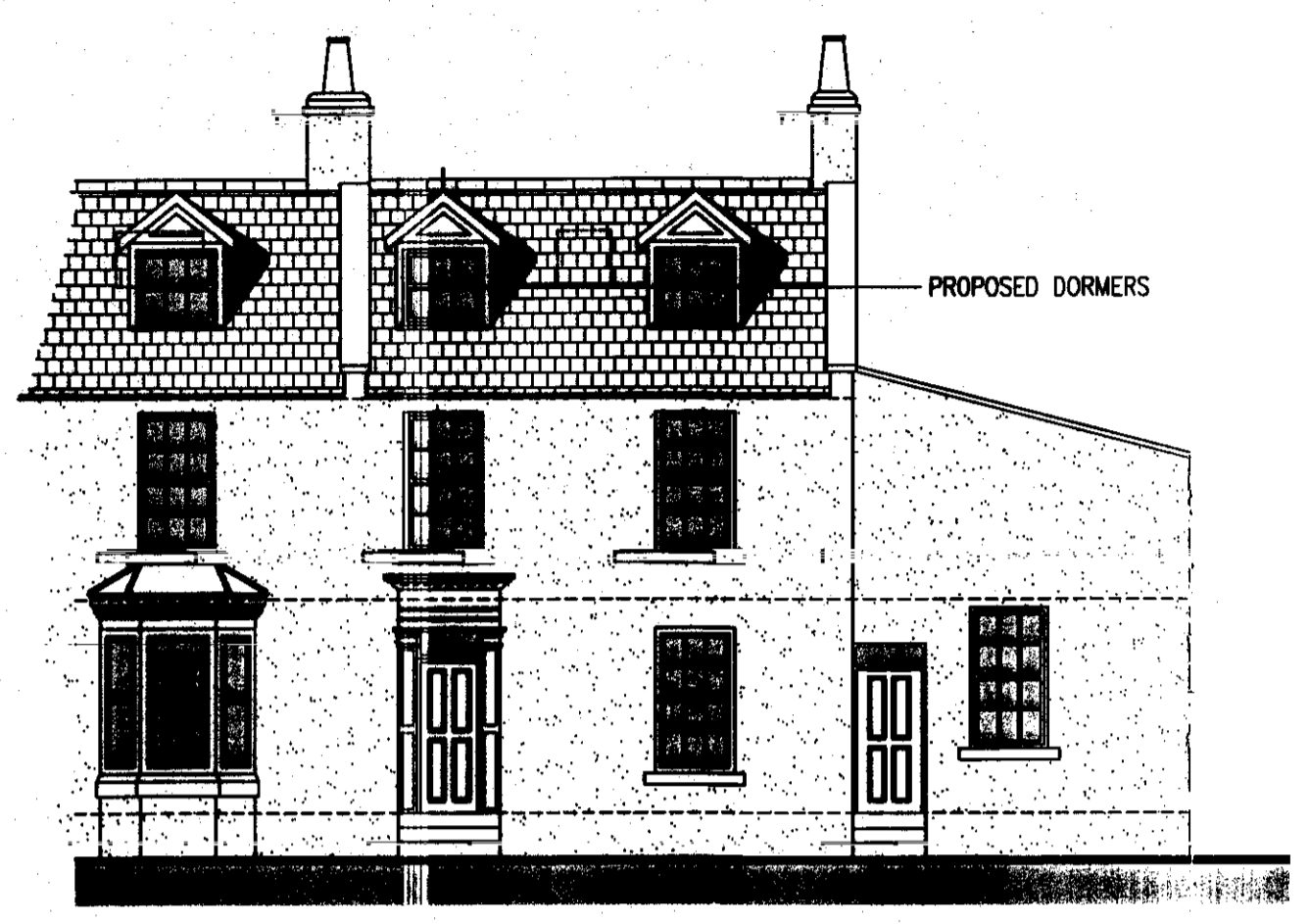
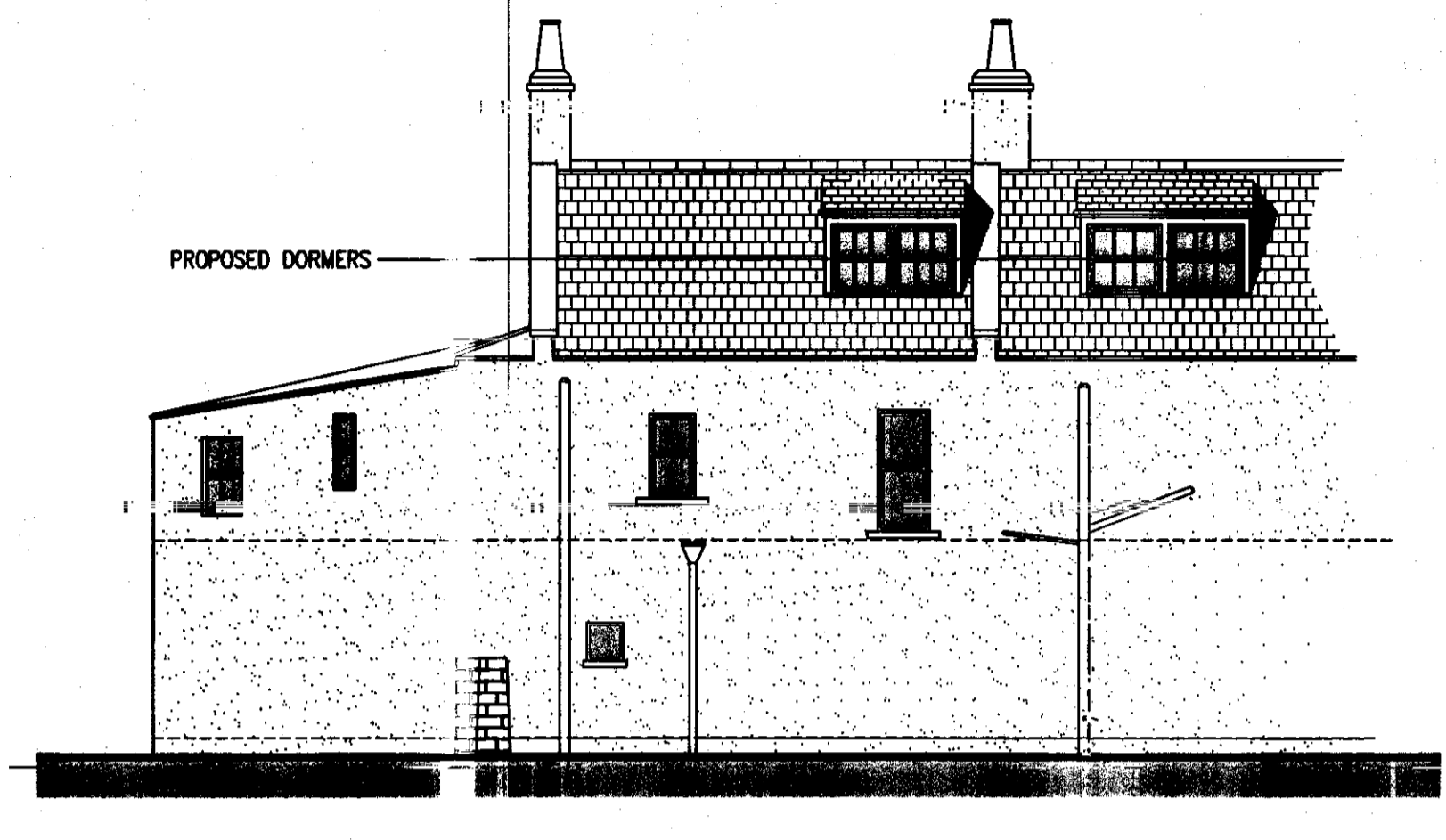


- DO NOT SCALE from this drawing. Only figured dimensions are to be taken from this drawing.
- The Contractor must verify all dimensions on site before commencing any work or shop drawings.
- The Contractor must report any discrepancies before commencing work. If this drawing exceeds the quantities taken in any way, the Technician is to be informed before work is initiated.
- Work within The Construction (Design and Management) Regulations 1994 is not to start until a Health & Safety Plan has been produced. This drawing is Copyright and must not be reproduced without consent of BHD Partnership Ltd

NYMN
-7 JAN 2008

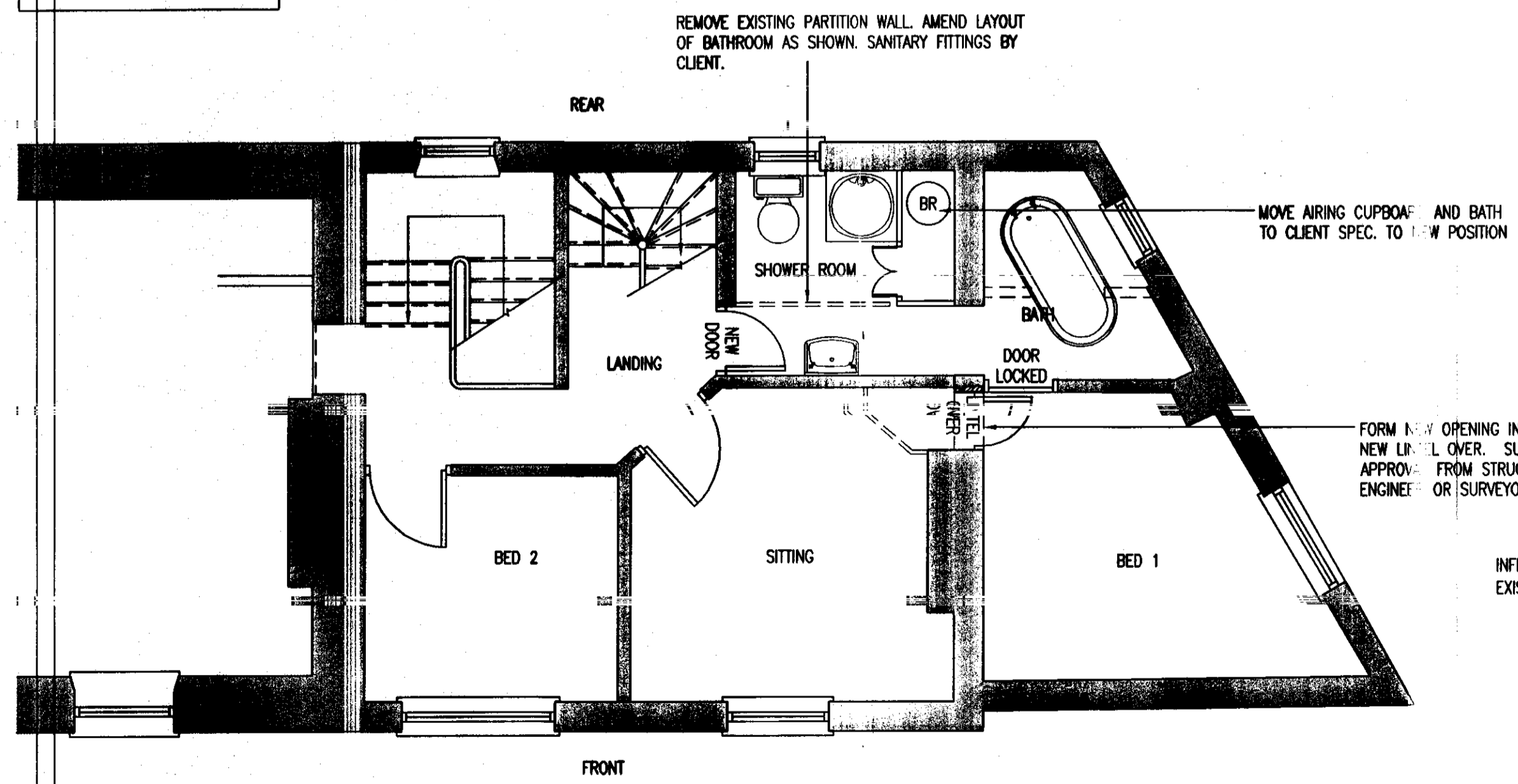


FRONT ELEVATION - proposed OPTION 1

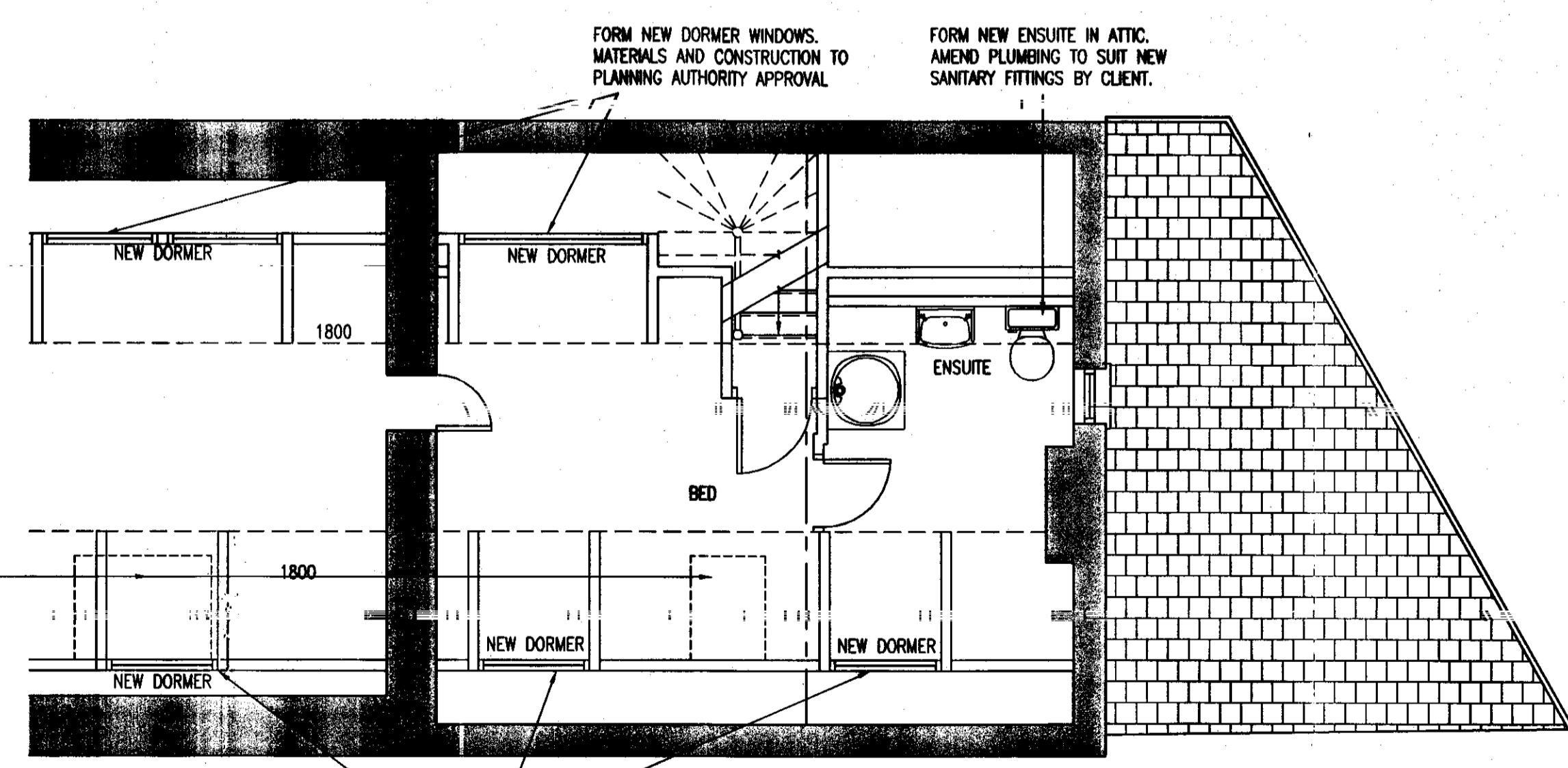


REAR ELEVATION - proposed

N.B. ALLOW FOR GENERAL UPGRADING OF ELECTRICAL PLUMBING AND HEATING SERVICES



FIRST FLOOR - proposed



ATTIC - proposed

Drawings for planning and client discussion only.
Construction details to follow.

REV	DATE	BY	AMENDMENT	CHKD	APPD
F	07/01/08	KH	AMENDED TO CLIENTS COMMENTS	ND	ND
E	19/12/07	ND	MINOR ADJUSTMENTS	ND	ND
D	13/12/07	GR	REVISED TO SUIT CLIENTS	ND	ND
C	12/12/07	GR	REVISED TO SUIT CLIENTS	ND	ND
B	06/12/07	GR	AMENDMENTS TO SUIT CLIENTS COMMENTS	ND	ND
A	21/11/07	KH	ISSUED FOR APPROVAL	ND	ND

bhd partnership
Alyr Hill Manor, Whitby, North Yorkshire, UK, YO21 1QB.
Tel: 01947-604871 Fax: 01947-600010
general@bhdpartnership.com www.bhdpartnership.com

DISCIPLINE: ARCHITECTURAL

CLIENT: MR. & MRS. EVERTON

PROJECT: ALTERATIONS TO 1 SEAFIELD HOUSE, WHITBY ROAD, RHB.

TITLE: PROPOSED PLANS & ELEVATIONS

DRAWN: K. HOANG CHECKED: N.L.DUFFIELD APPROVED: N.L.DUFFIELD

SCALE & SIZE: 1:50 @ A1 DATE: 21/11/07 DRAWING STATUS: PRELIMINARY

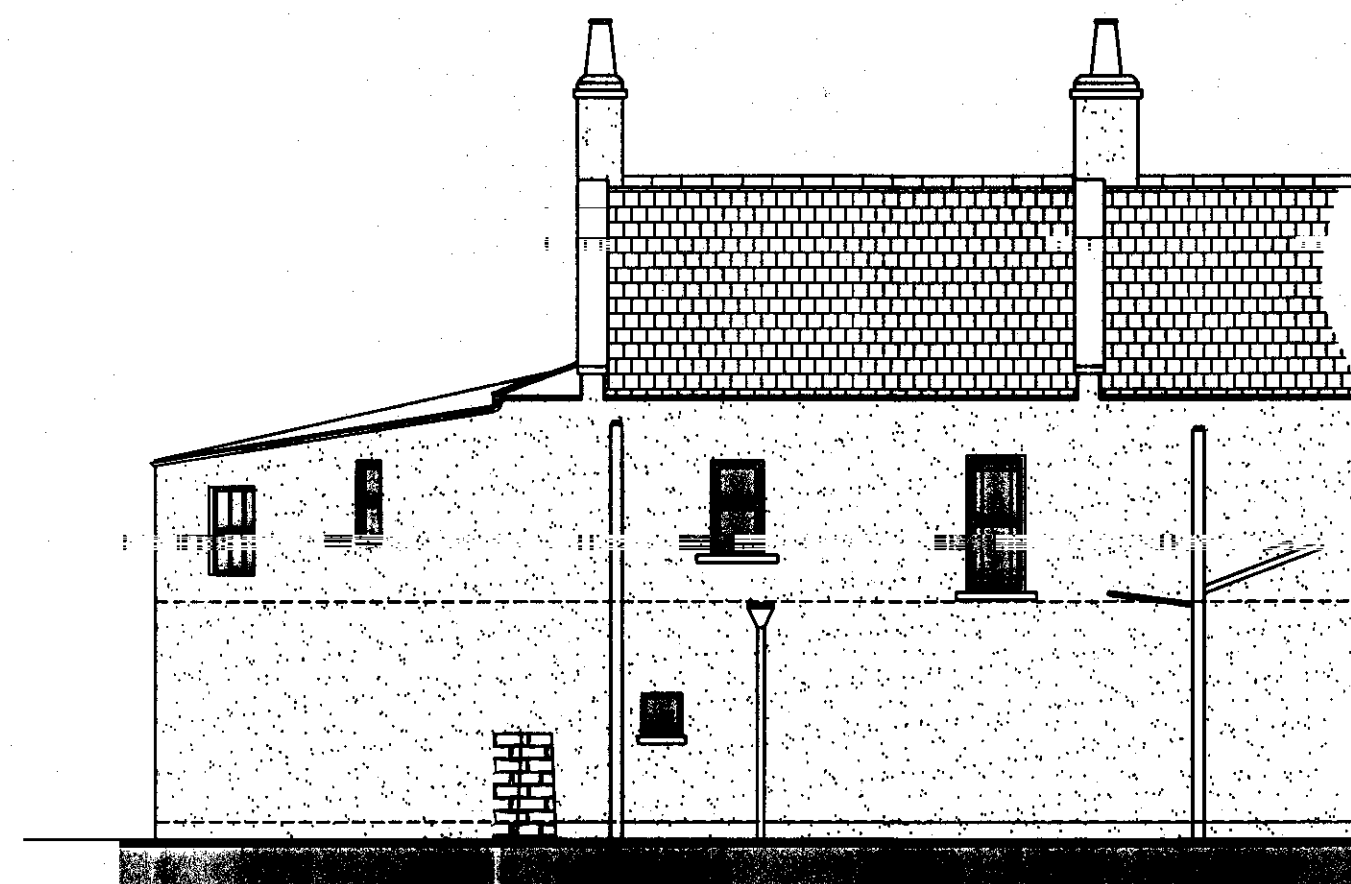
DRAWING No: D9124-02 No: F

- DO NOT SCALE from this drawing. Only figured dimensions are to be taken from this drawing.
- The Contractor must verify all dimensions on site before commencing any work or shop drawings.
- The Contractor must report any discrepancies before commencing work. If this drawing exceeds the quantities taken in any way, the Technician is to be informed before work is initiated.
- Work within The Construction (Design and Management) Regulations 1994 is not to start until a Health & Safety Plan has been produced. This drawing is Copyright and must not be reproduced without consent of BHD Partnership Ltd

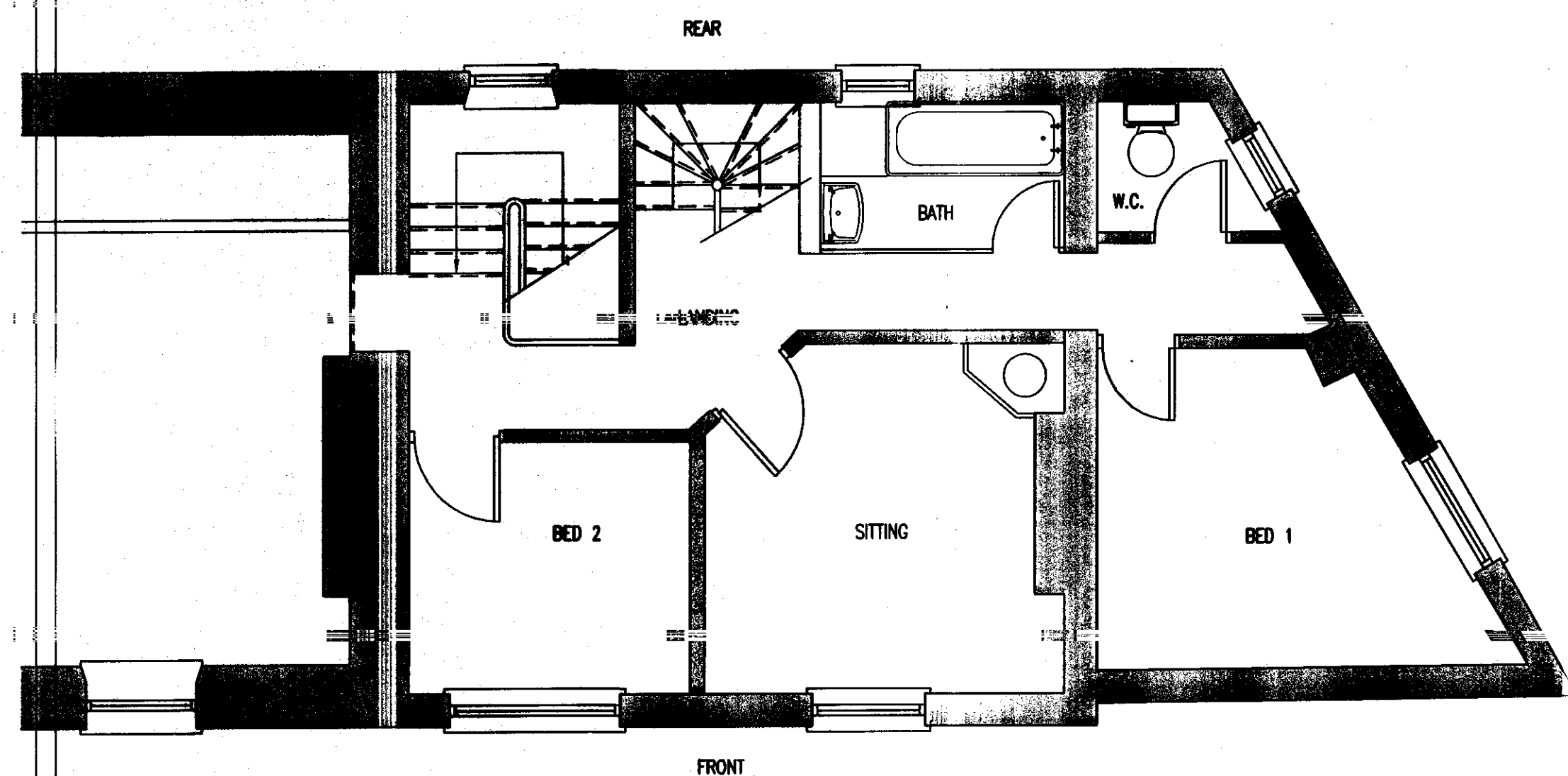
NY 2006
-7 JAN 08



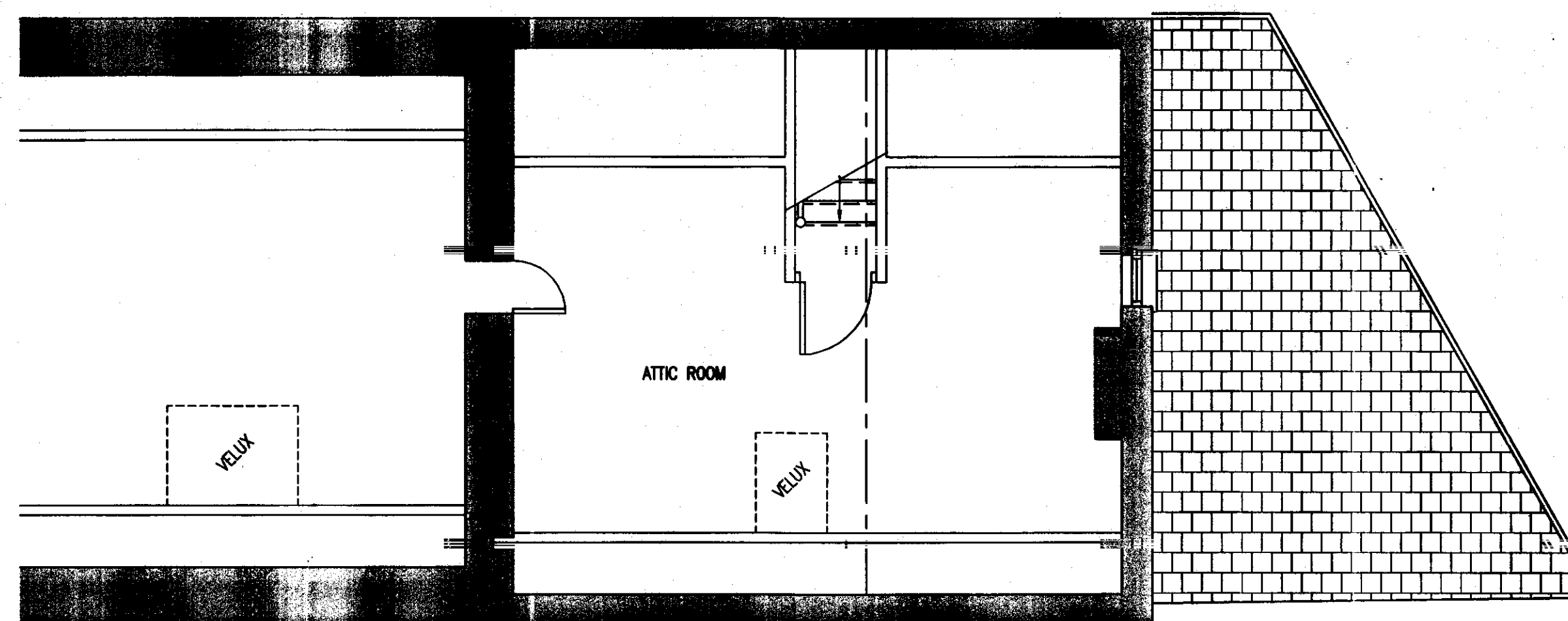
FRONT ELEVATION - EXISTING



REAR ELEVATION - EXISTING



FIRST FLOOR



ATTIC

REV	DATE	BY	REVISION	CHKD	APPD
A	21/11/07	KH	ISSUED FOR APPROVAL	ND	ND

b h d partnership
 Airy Hill Manor, Whitby, North Yorkshire, UK, YO21 1QB.
 Tel: 01947-604871 Fax: 01947-600010
 general@bhdpartnership.com www.bhdpartnership.com

DISCIPLINE: **ARCHITECTURAL**

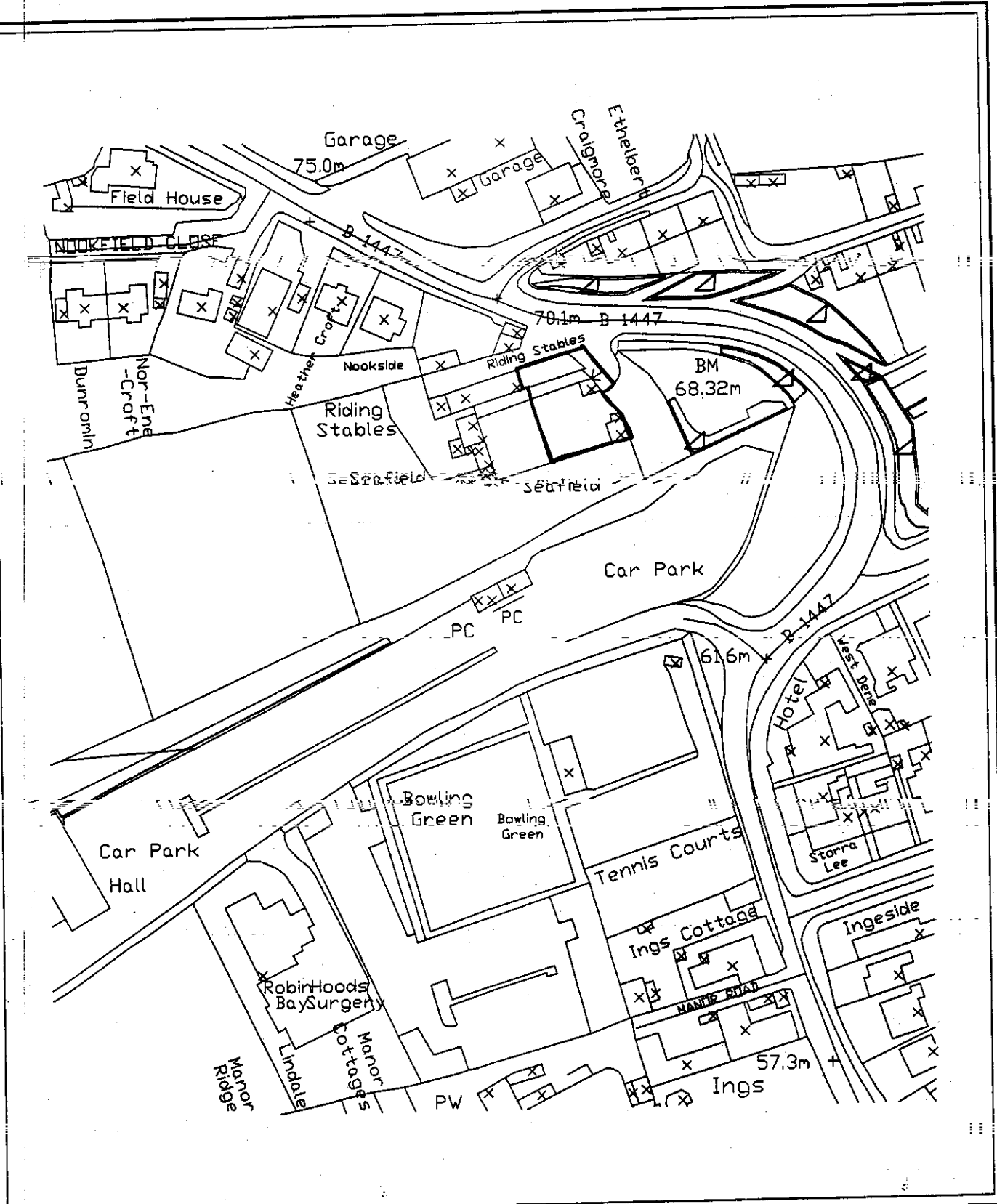
CLIENT: **MR. & MRS. EVERTON**

PROJECT: **ALTERATIONS TO 1 SEAFIELD HOUSE, WHITBY ROAD, RHB.**

TITLE: **EXISTING PLANS & ELEVATIONS**

DRAWN: K. HOANG	CHECKED: N.L. DUFFIELD	APPROVED: N.L. DUFFIELD
SCALE & SIZE: 1:50 @ A1	DATE: 21/11/07	DRAWING STATUS: PRELIMINARY

DRAWING No: **D9124-01** REV: **A**



b h d partnership
 Aiky Hill Manor, Whitey, North Yorkshire, UK, YO21 1QR.
 Tel: 01947-604871 Fax: 01947-600010
 general@bhdpartnership.com www.bhdpartnership.com

CLIENT:
Mr. & Mrs. Everton

PROJECT:
**Alterations to Seafield House,
 RHB.**

DRAWING TITLE:
Location Plan

DATE: **07/01/07**

SCALE: **1:1250** ISSUE: **Planning**

REV	DATE	BY	AMENDMENT	CHKD	APVD
A	07/01/07	KH			

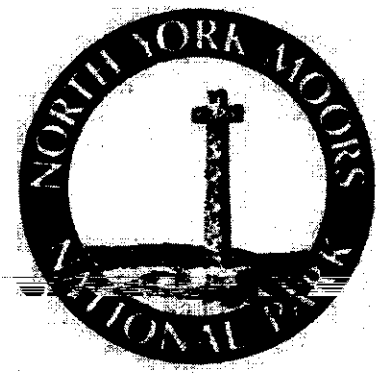
DRAWING NR:
D9124-03

REV:
A

Householder Application

Grid Ref NZ 95023,05529

PTI
08/14



A1. Applicant Details

Organisation	<input type="text"/>		
Name	Title	Forename	Surname
	Mr	T	Everton
A1.1 Address Details			
Name or flat number	<input type="text"/>		
Property number or name	1 Seafeld House		
Street	Whitby Road		
Locality	Robin Hoods Bay		
Town	Whitby		
County	North Yorkshire		
Postal Town	<input type="text"/>		
Postcode	YO22 4PB		

A1.2 Communication Details

Telephone No.	Telephone No.	Extn No.
	<input type="text"/>	<input type="text"/>
Daytime Telephone No.	<input type="text"/>	<input type="text"/>
Fax No.	<input type="text"/>	<input type="text"/>
Email Address	<input type="text"/>	
UK Number	<input type="text"/>	

NYMNPA
- 7 JAN 2008

A2. Agent Details

Organisation

BHD Partnership

Name

Title	Forename	Surname
Mr	Neil	Duffield

A2.1 Address Details

Name or flat number

Property number or name

Airy Hill Manor

Street

Waterstead Lane

Locality

Airy Hill

Town

Whitby

County

North Yorkshire

Postal Town

Postcode

YO21 1QB

A2.2 Communication Details

Telephone No.

Telephone No.	Extn No.
[REDACTED]	

Daytime Telephone No.

--	--

Fax No.

[REDACTED]	
------------	--

Email Address

[REDACTED]

DX Number

NYMNPA
- 7 JAN 2008

1. Site Address Details

1.1 Address Details

Name or flat number	
Property number or name	Seafield House
Street	Whitby Road
Locality	Robin Hood's Bay
Town	WHITBY
County	North Yorkshire
Postal Town	
Postcode	YO22 4PB
UPRN	0
Location	

2. Description of the Proposed Development

Development Description

New Dormer windows

3. Access

Is existing access affected?

Pedestrian Yes No
 Vehicular Yes No

Is a new access type proposed?

Pedestrian Yes No
 Vehicular Yes No

Disability Access

N/A

4. Other Information

Does the proposal involve the lopping or topping of trees or the removal of trees, shrubs or hedges?

Yes

NYMNP

-7 JAN 2008

5. Public Rights Of Way

Do you propose to alter or divert a Public Right of Way?

Yes No

Is the site adjacent to a Public Right Of Way?

Yes No

Describe the proposed alteration of the Public Right of Way

[Empty text box]

6. Materials

Walls

N/A

Roof

Timber dormers, Lead cheeks, Slate tiles to match existing.

Site boundaries (fences, walls, etc.), driveways, paved areas and other hard surfaced areas

N/A

7. Floor Space

Please state the existing floorspace of the building

244

sq.m

Please state the proposed new floorspace

244

sq.m

Signature

Electronically submitted; no signature required.

NYMNPA
- 7 JAN 2008

Certificate A

I certify that:
on the day 21 days before the date of the accompanying application nobody, except the applicant, was the owner of any part of the building/land to which the application relates.

Signatory

Signatory

Title	Forename	Surname
Mr	Neil	Duffield

~~Signature~~ ~~Electronically submitted on a long term release~~

Date (yyyy-mm-dd)

2007-01-07

Under the provisions of the Planning Acts, if any person issues a certificate which purports to comply with the requirements of this Act and contains a statement which he knows to be false or misleading in a material particular, he shall be guilty of an offence. Please ensure that the information you have provided is accurate.

<p>NYMNPA</p> <p>-7 JAN 2008</p>

Agricultural Holdings Certificate

None of the land to which the application relates is, or is part of, an agricultural holding. I have/the applicant has given the requisite notice to every person other than my/him/herself who, on the day 21 days before the date of this application was a tenant of an agricultural holding on all or part of the land to which the application relates as follows:

Signatory

	Title	Forename	Surname
Signatory	Mr	Neil	Duffield
Signature	Electronically submitted; no signature required.		
Date (yyyy-mm-dd)	2007-01-07		

Under the provisions of the Planning Acts, if any person issues a certificate which purports to comply with the requirements of this Act and contains a statement which he knows to be false or misleading in a material particular, he shall be guilty of an offence. Please ensure that the information you have provided is accurate.

<p align="center">NYMNP -7 JAN 2008</p>

DESIGN & ACCESS STATEMENT

New Dormer Windows, 1 Seafield House, Robin Hood's Bay.

for

Mr. & Mrs. Everton

NYM/PA
-7 JAN 2008

b h d partnership ltd

Airy Hill Manor, Whitby, North Yorkshire, YO21 1OB

Tel: [REDACTED]

Fax: [REDACTED]

www.bhdpartnership.com

1.0 DESIGN

1.0 Context

The subject building is sited just off the main road running through the village of Robin Hood's Bay, and is the end terrace of a row of Georgian cottages constructed within the last 200 years. The house was originally two separate cottages and has at some stage been combined in to a single dwelling.

The proposals are for the construction of 5 new dormer windows, three two the front elevation and two to the rear.

The building is not know to be listed.

2.0 Amount of Development

At the front, the new dormers will measure 1.9m high from cill to ridge, and 1m approx. from floor to cill.

To the rear, the windows will measure approximately 2.1m from the attic floor level to the window head.

3.0 Layout

The new dormers are an essential part of the refurbishments that are proposed for the property ~~which includes refurbishing the roof space to provide a habitable area and en-suite bathroom.~~ The dormer would provide natural light and much needed headroom in the attic space.

The new windows does not overlook on to any other property.

NYMNP
- 7 JAN 2008

4.0 Scale

The dormers have been carefully proportioned to suit the scale of the property and are similar in width to the existing windows below.

5.0 Landscaping

Due to the minor nature of the application, there is no formal landscaping scheme.

6.0 Appearance

The windows to the front of the property will have gabled pitch roofs constructed in timber, and will be covered in grey natural slate tiles to match the existing. The cheeks of the dormers will be traditionally finished in lead.

To the rear, the windows will be mono pitched, and slightly wider to allow for increased headroom.

The new windows will have sub-divided lights, in keeping with the existing windows.

All windows will be constructed from timber and painted white to suit the existing windows.

7.0 CONCLUSION

Dormer windows of this type are not unusual in this area therefore a recommendation for approval is strongly advised.

