



WEST FACE ELEVATION  
SCALE 1:50

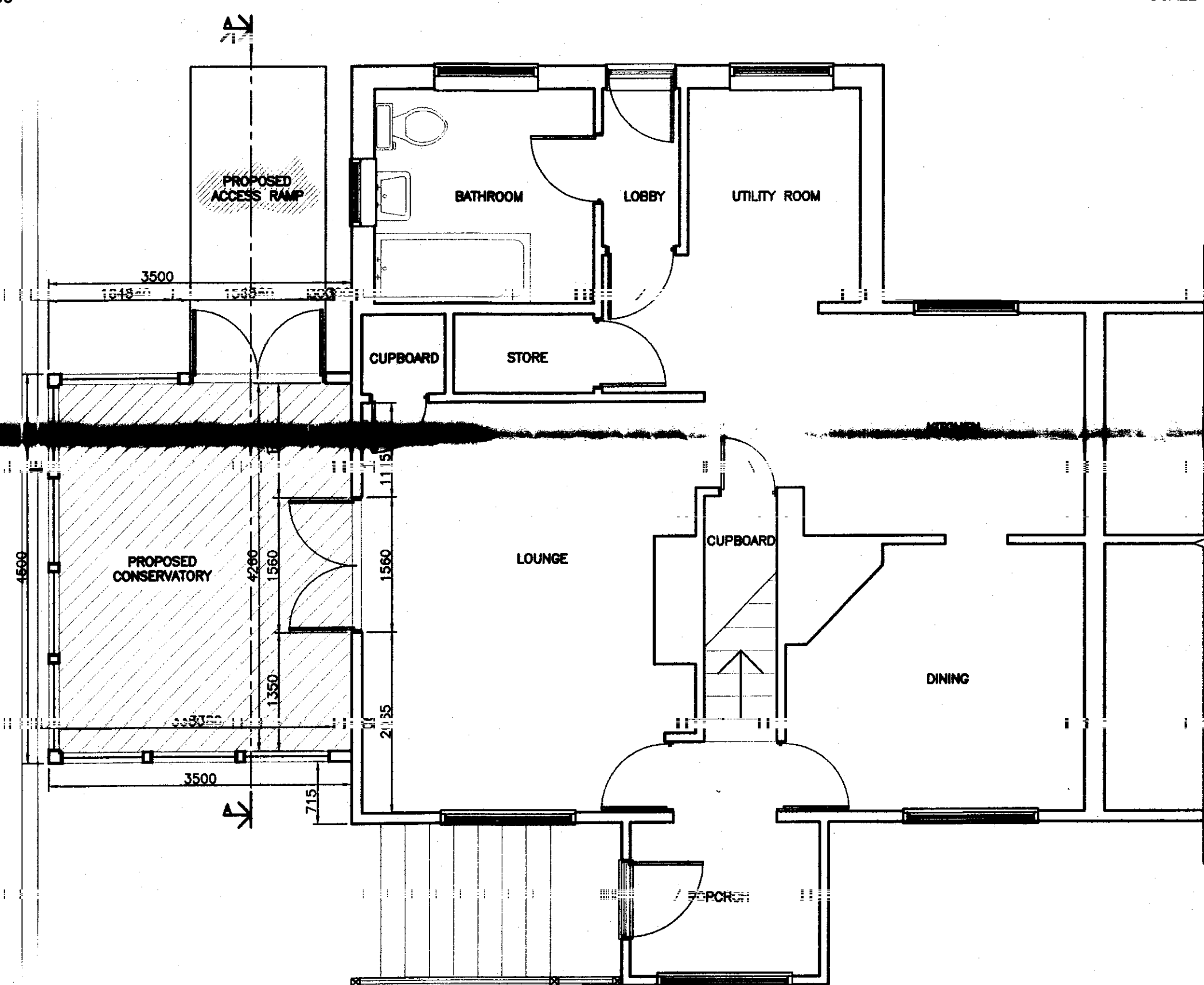


SOUTH FACE ELEVATION  
SCALE 1:50

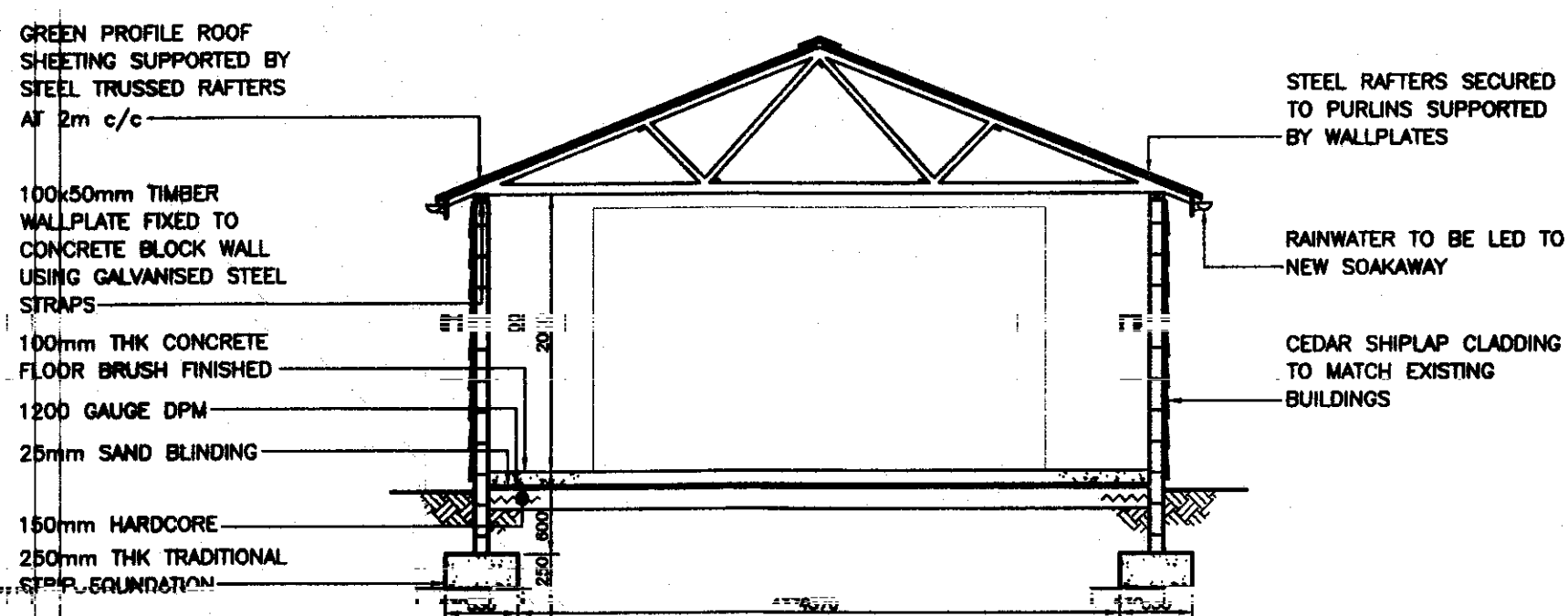


EAST FACE ELEVATION  
SCALE 1:50

NYM  
09.11.08



PROPOSED FLOOR PLAN  
SCALE 1:50



CUT B-B  
SCALE 1:50

GREEN PROFILE ROOF SHEETING SUPPORTED BY STEEL TRUSSED RAFTERS AT 2m c/c

100x50mm TIMBER WALLPLATE FIXED TO CONCRETE BLOCK WALL USING GALVANISED STEEL STRAPS

100mm THK CONCRETE FLOOR BRUSH FINISHED

120D GAUGE DPM

25mm SAND BLINDING

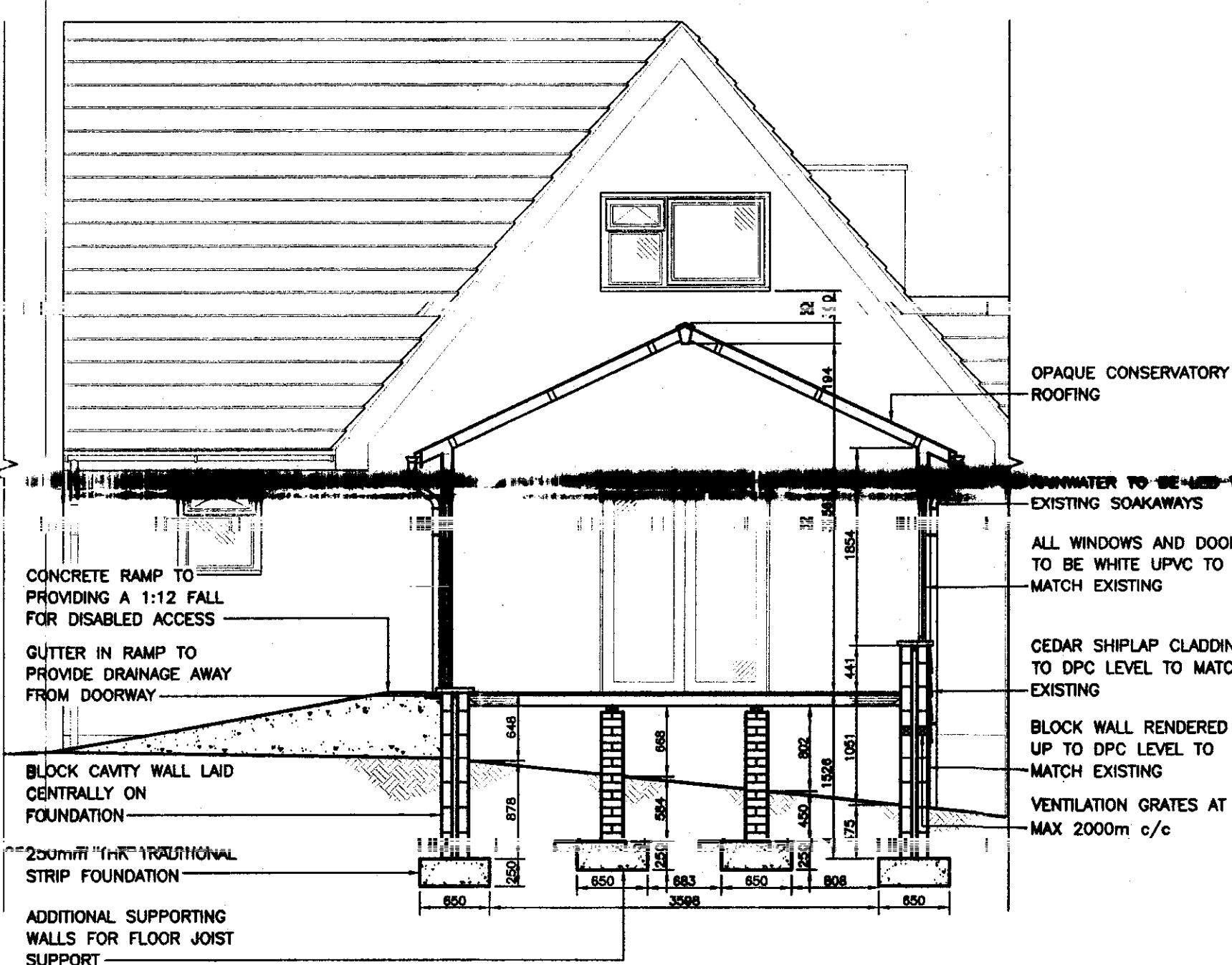
150mm HARDCORE

250mm THK TRADITIONAL CONCRETE FOUNDATION

STEEL RAFTERS SECURED TO PURLINS SUPPORTED BY WALLPLATES

RAINWATER TO BE LED TO NEW SOAKAWAY

CEDAR SHIPLAP CLADDING TO MATCH EXISTING BUILDINGS



PROPOSED CUT A-A  
SCALE 1:50

CONCRETE RAMP TO PROVIDING A 1:12 FALL FOR DISABLED ACCESS

GLITTER IN RAMP TO PROVIDE DRAINAGE AWAY FROM DOORWAY

BLOCK CAVITY WALL LAID CENTRALLY ON FOUNDATION

250mm THK TRADITIONAL STRIP FOUNDATION

ADDITIONAL SUPPORTING WALLS FOR FLOOR JOIST SUPPORT

OPAQUE CONSERVATORY ROOFING

EXISTING SOAKAWAYS

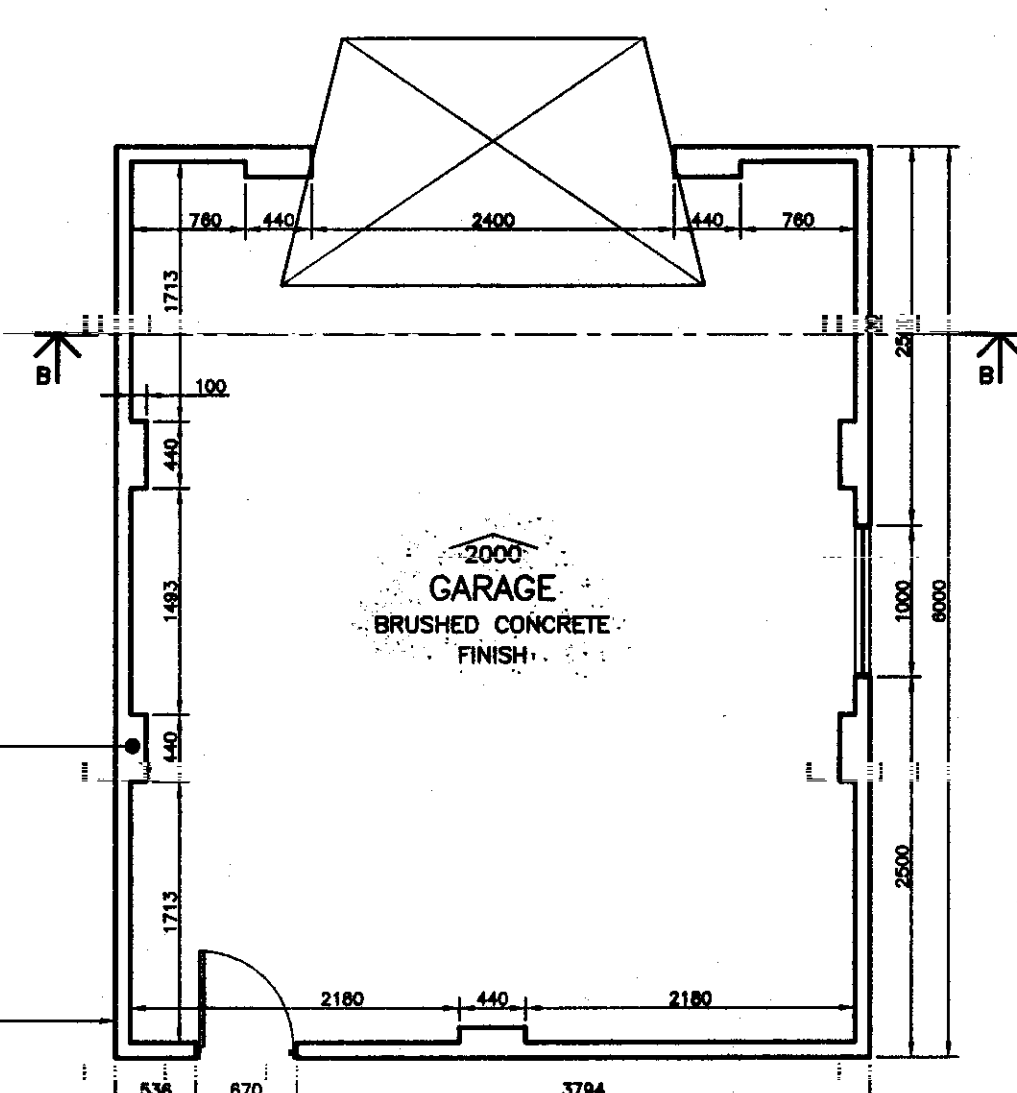
RAINWATER TO BE LED TO EXISTING SOAKAWAYS

ALL WINDOWS AND DOORS TO BE WHITE UPVC TO MATCH EXISTING

CEDAR SHIPLAP CLADDING TO DPC LEVEL TO MATCH EXISTING

BLOCK WALL RENDERED UP TO DPC LEVEL TO MATCH EXISTING

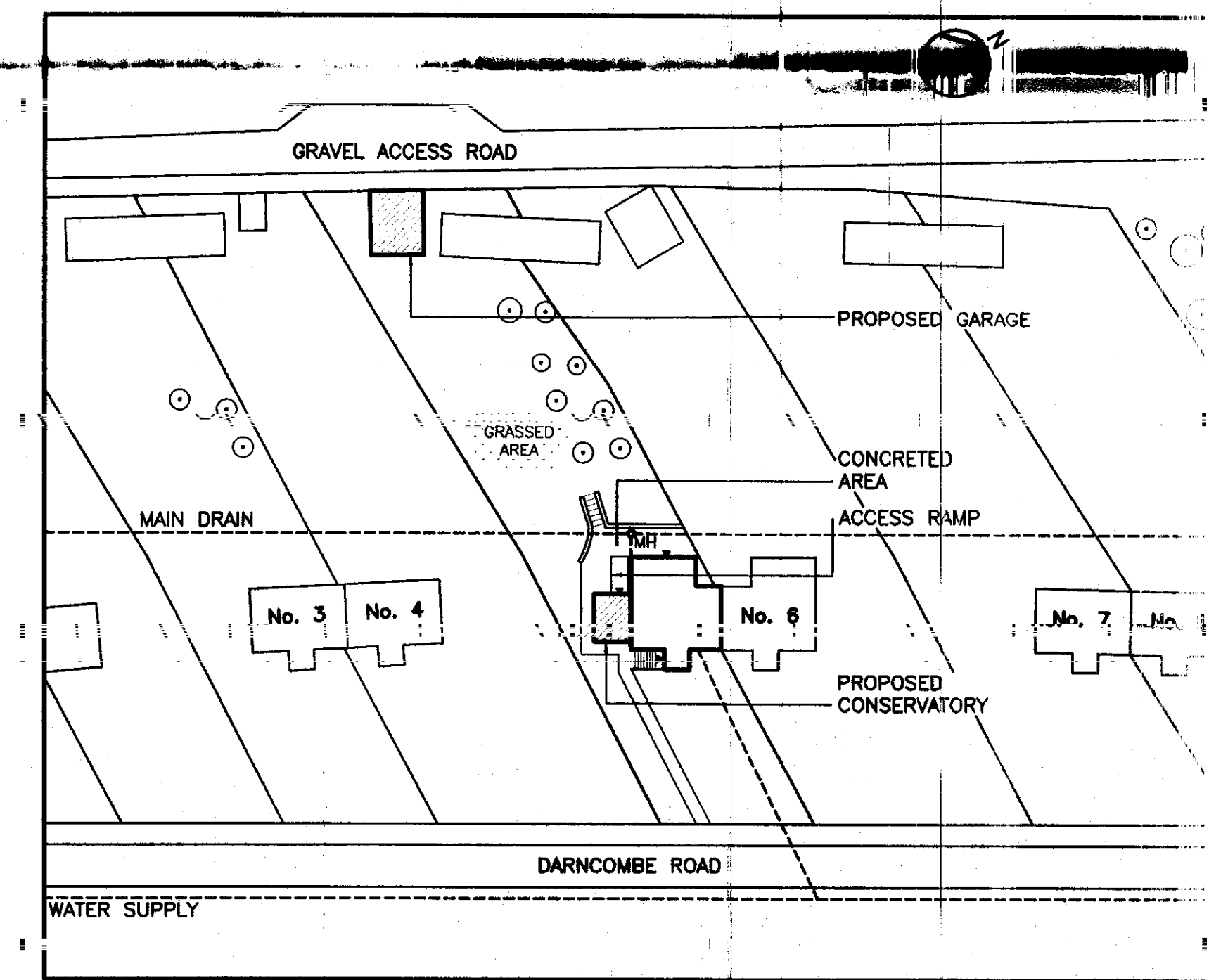
VENTILATION GRATES AT MAX 2000m c/c



PROPOSED GARAGE  
SCALE 1:50

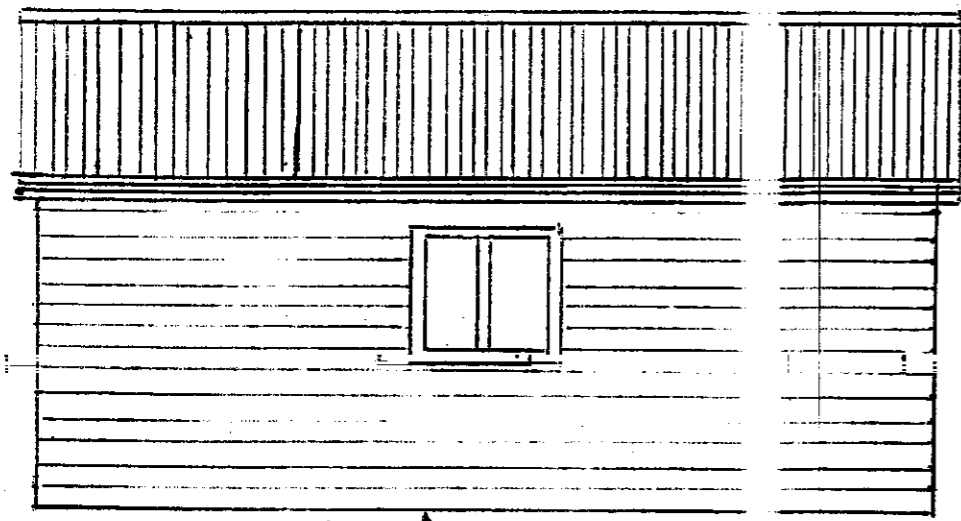
CONCRETE BLOCK TO BE DOUBLED UP TO PROVIDE PIERS IN LOCATIONS SHOWN

100mm THK LOAD BEARING BLOCK WALL

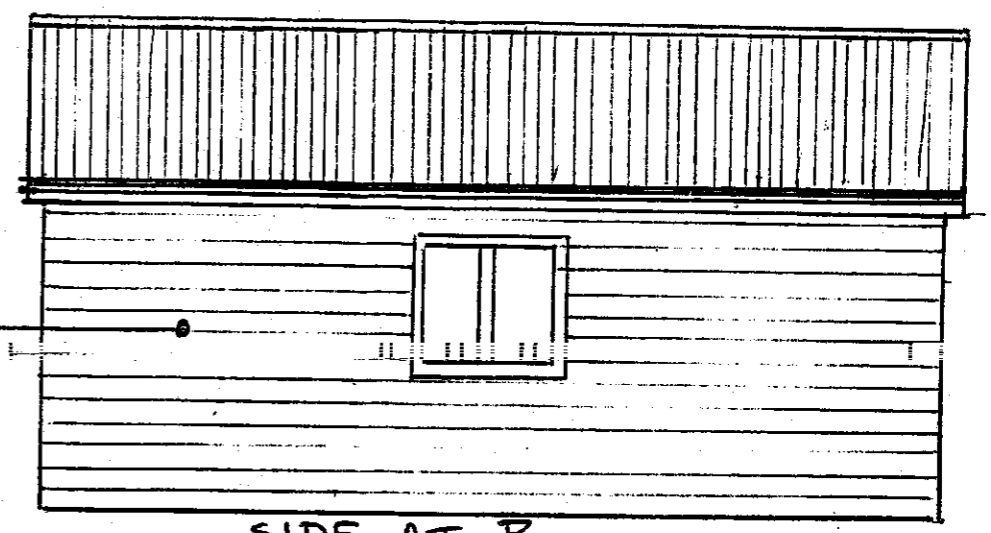


SITE PLAN  
SCALE 1:500

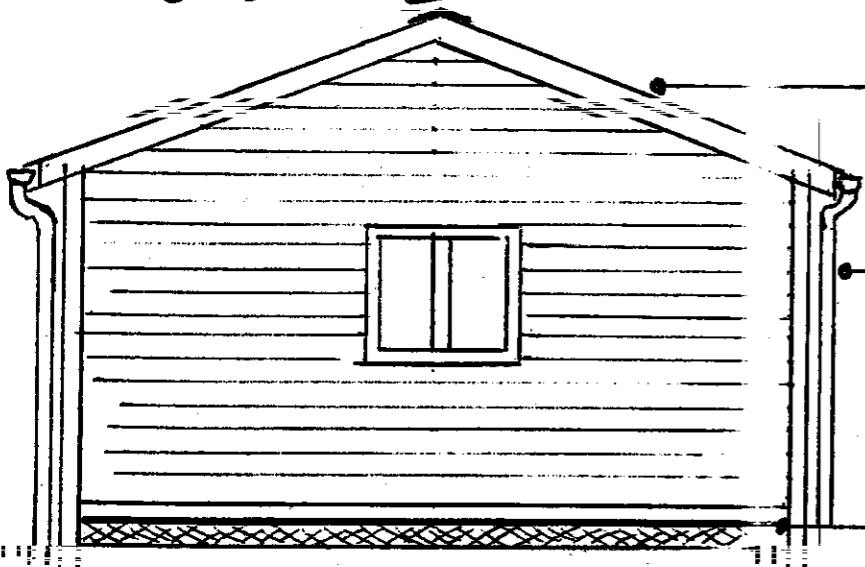
NOTES		5 DARNCOMBE BUNGALOWS LANGDALE END	
1. ALL DIMENSIONS ARE IN MILLIMETRES		PROPOSED CONSERVATORY & GARAGE GENERAL ARRANGEMENT	
DRAWN	M HARRISON	DATE	16 NOV 07
CLIENT	MR AND MRS D COLLINS	SCALE	AS SHOWN



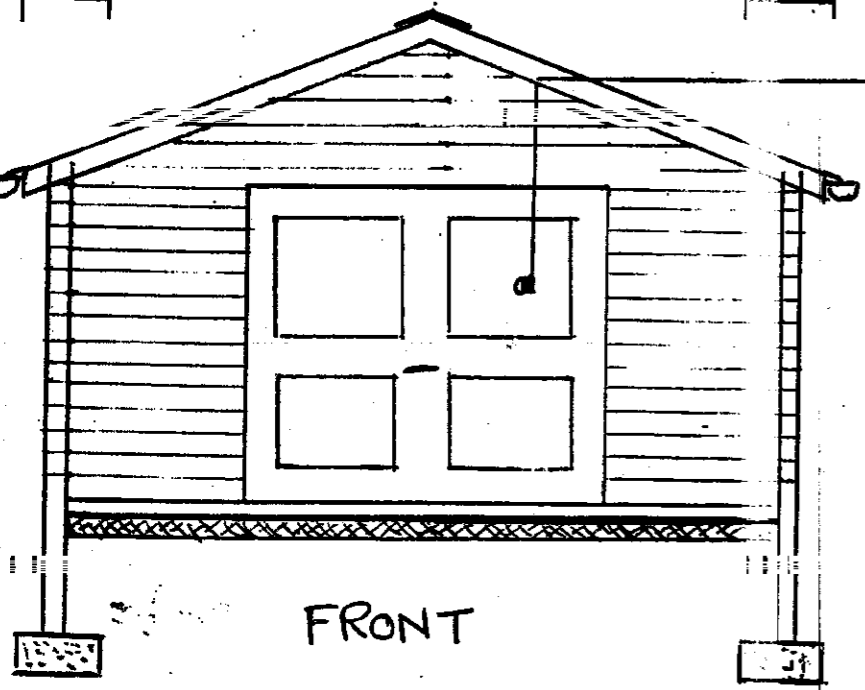
SIDE AT A



SIDE AT B



REAR



FRONT

THE WHOLE OF THE EXTERIOR WALLS TO BE CLAD IN SHIPLAP BOARDING AND STAINED DARK BROWN TO MATCH EXISTING.

CORRUGATED CEMENTONE ROOF SHEETS SUPPORTED BY TRUSSED RAFTERS AND TURENS FIXED TO THE WALLS BY GALVANISED STEEL STRAPS

RAIN WATER TO BE TAKEN TO A NEW SOAKAWAY RAIN WATER GOODS GREY PLASTIC

100 MM THK CONCRETE FLOOR WITH 1200 GAUGE DPM ON 25mm SAND BLINDING AND 150mm HARD CORE

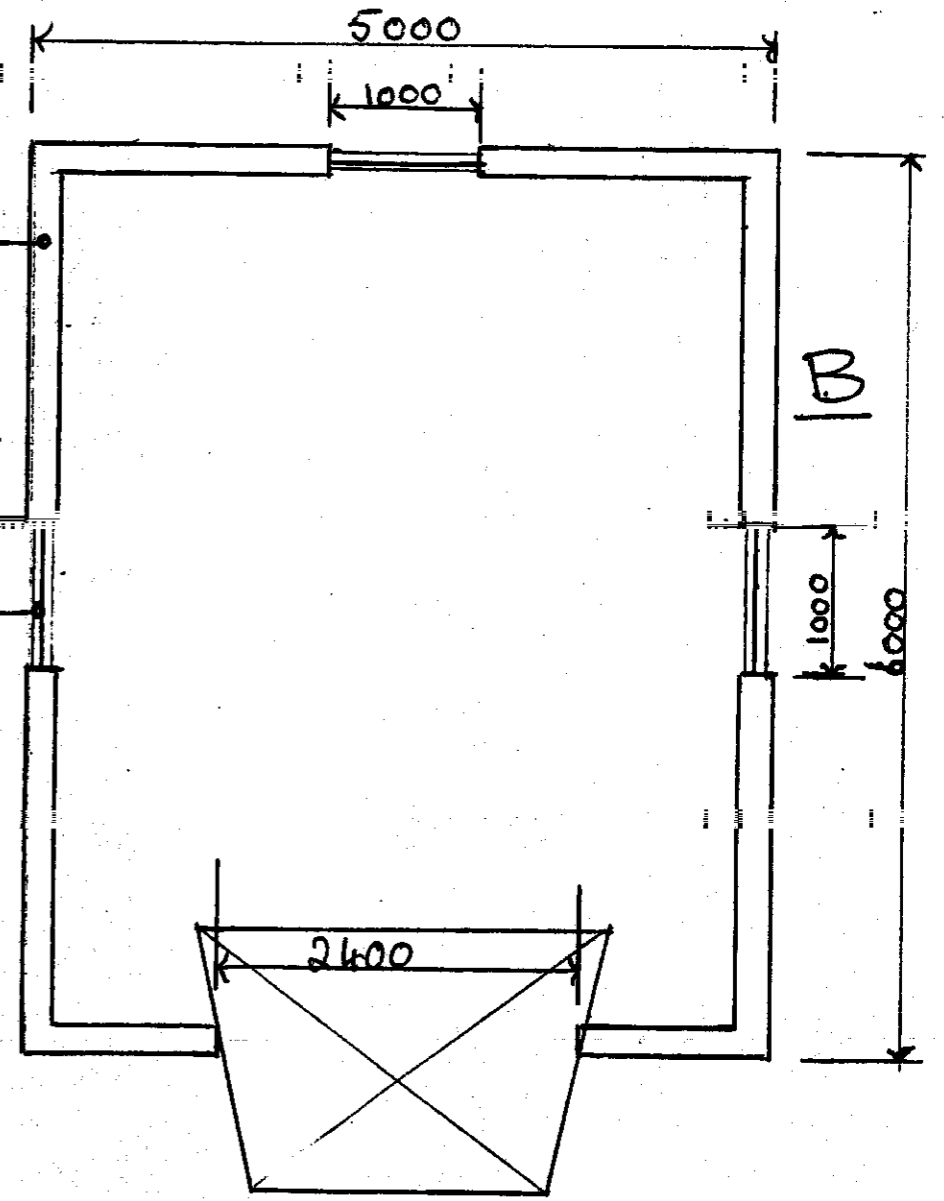
3350

200mm HOLLOW CONCRETE BLOCK WALLS

WINDOWS 1000 WIDE x 900 HIGH 2 PANES WITH A VERTICAL CENTRE. IN BROWN UPVC

450mm x 200mm THK CONCRETE FOUNDATION TAKE DOWN TO A FIRM BASE

UP AND OVER TYPE GARAGE DOOR



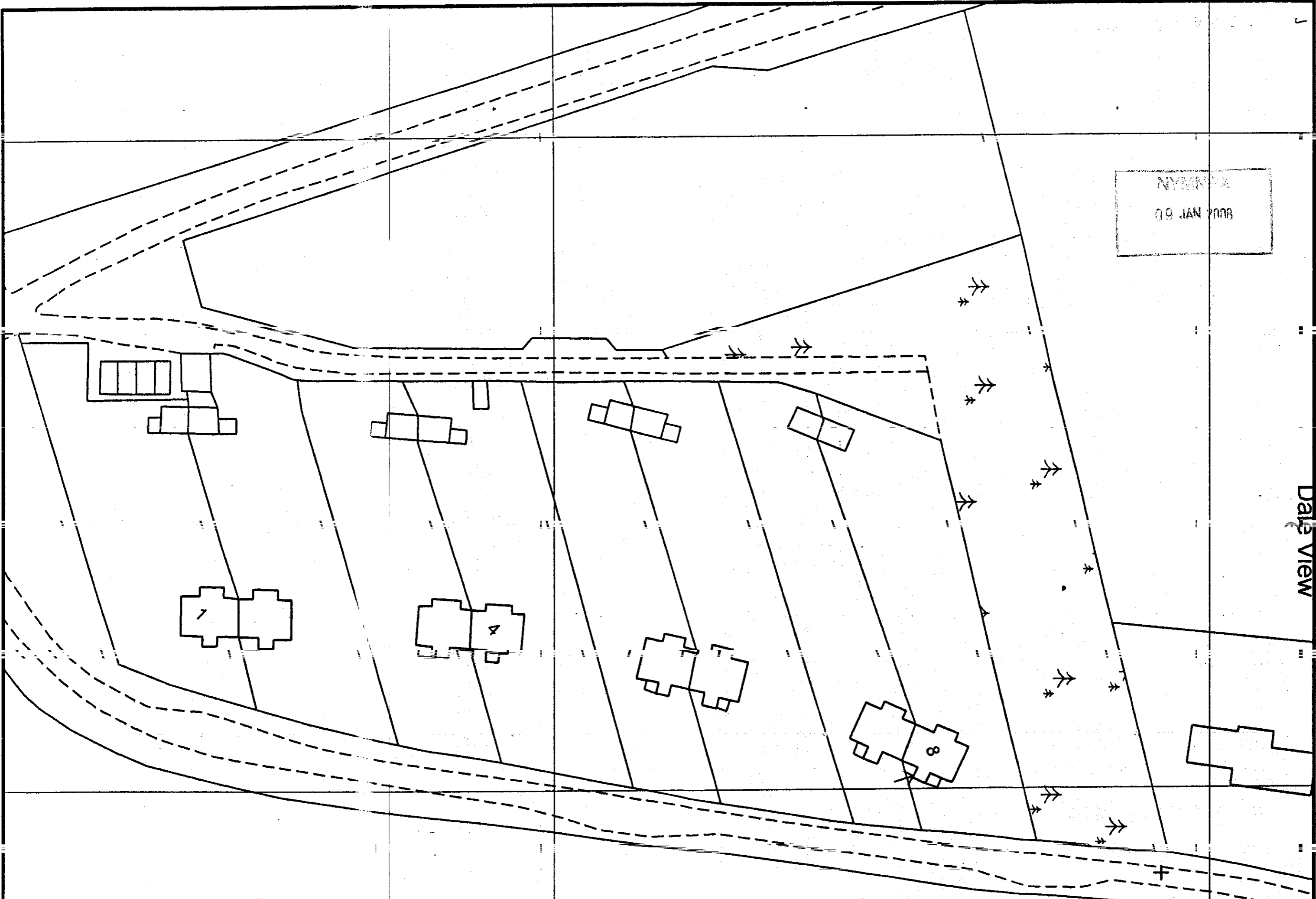
ALL DIMENSIONS ARE IN MILLIMETRES  
SCALE 1:50  
PROPOSED GARAGE  
MR AND MRS N COLLINS  
5 DARNCAMRE BUNGALOWS  
LANGDALE END, YO13 0LJ.

NYMIPA  
09 JAN 2008

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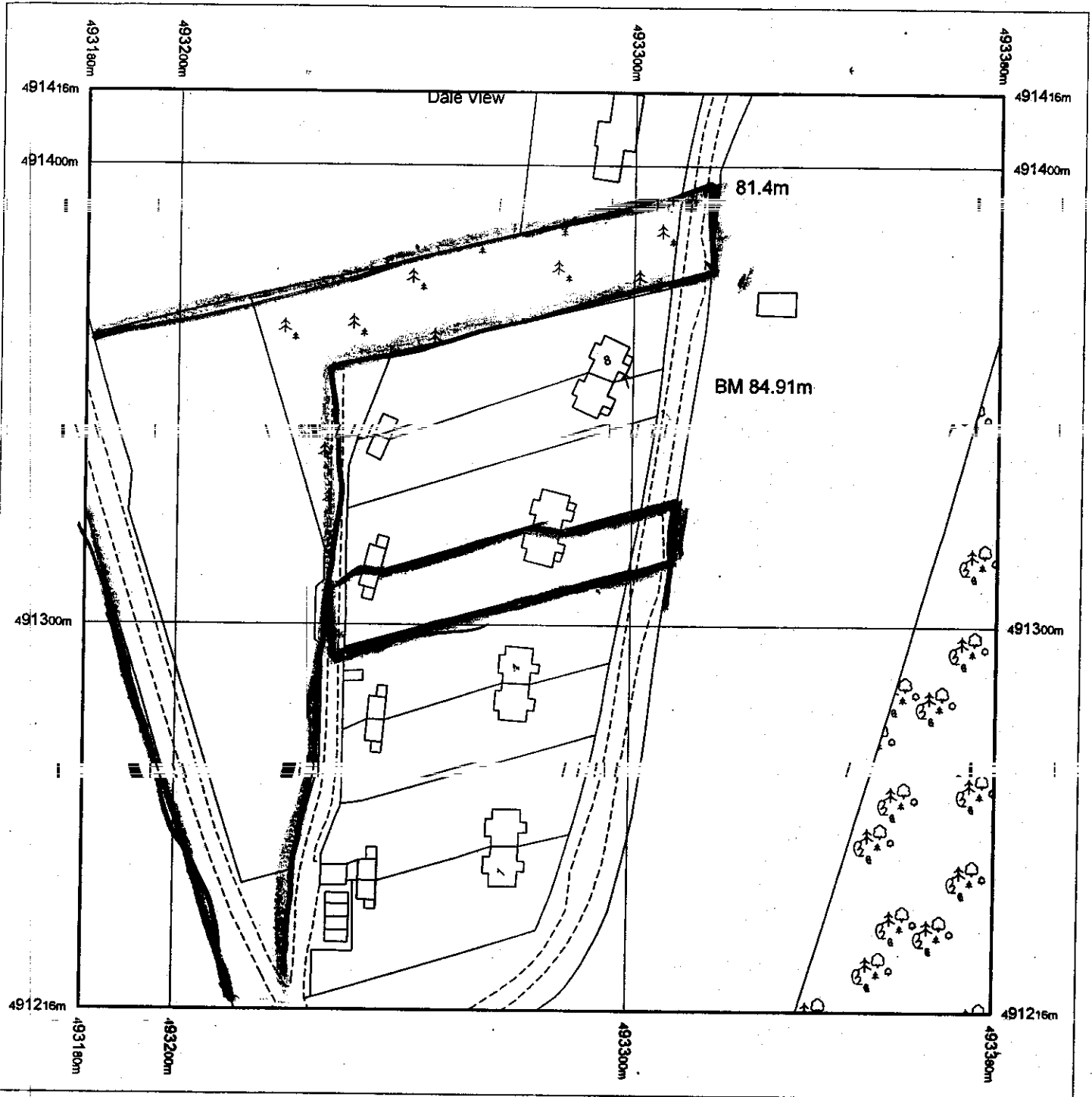
Dale View

B1





2008 / 0022 / FL



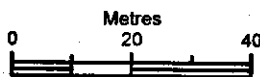
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The representation of a road, track or path is no evidence of a right of way.

The representation of features as lines is no evidence of a property boundary.



Scale 1:1250

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ANNANPA  
 02 JAN 2008

**SECTION 4 BUSINESS, RETAIL OR OTHER COMMERCIAL USE**

**18. Proposed use**

Which of the following is involved in the development?

Business  Retail

Other (please specify)

If industrial, please describe the process

Is the proposal part of a larger scheme? YES/NO (delete as appropriate)

**19. Floor space**

Please provide the measurements of the following:

Total floor space of all buildings to which this application relates:

Industrial floor space

Office floor space

Retail trading floor space

Storage floor space

Warehouse floor space

Other

Existing m <sup>2</sup>	Proposed m <sup>2</sup>

**20. Employment**

a) How many staff in total will be employed on the site as a result of the proposed development?

b) How many of the employees will be new staff?

c) If staff are to be recruited from other premises, how many will be affected?

Industrial	Other

**21. Car parking**

How many car parking spaces are to be provided?

**22. Traffic**

How many vehicles will be visiting the site each day?

**23. Hazardous materials**

Please read Note 23 in the accompanying booklet. Does the proposal involve use or storage of hazardous materials? YES / NO (delete as appropriate) If YES, please state which materials.

Please go back to Section 5 on page 2

Please send or deliver to:  
**The North York Moors National Park,**  
**The Old Vicarage, Boatgate,**  
**Helmsley,**  
**York YO62 5BI**



**North York Moors National Park Planning Application Form**

Please read the booklet *How to fill in your Planning Application* before completing this form.

For office use only

Ref: \_\_\_\_\_  
 Admin Ref: NYM/2008/0022/FU  
08/22  
 Date valid: \_\_\_\_\_  
 Grid ref: SE 93280, 91317

**SECTION 1 YOUR DETAILS**

**1. Applicant**

Name M<sup>R</sup> N + M<sup>RS</sup> D.R. COLLINS,  
 Address 5 DARNCOMBE,  
LANGDALE END,  
SCARBOROUGH,  
 Post Code YO15 0LJ  
 Tel No [REDACTED]

**2. Agent**

Name N/A  
 Address \_\_\_\_\_  
 Post Code \_\_\_\_\_  
 Tel No \_\_\_\_\_

**3. Applicant's interest in the land**

OWNER

**SECTION 2 YOUR PROPOSAL**

**4. Full postal address or location of the application site**

5 DARNCOMBE, LANGDALE END, SCARBOROUGH,  
THE OLD VICARAGE, BOATGATE

**5. Applicant's interest in adjoining land**

OWNER

**6. Brief description of proposed development**

ERRECTION OF A CONSERVATORY AND ERRECTION OF  
A GARAGE

**SECTION 3 YOUR APPLICATION**

**7. Type of application (please tick ONE box only)**

- A. Full application including building works
- B. Application for change of use (no building works)
- C. Outline application
- D. Reserved matters application
- E. Removal or variation of condition
- F. Renewal of temporary permission

go to Question 12  
 go to Question 12  
 go to Question 8  
 go to Question 9  
 go to Question 10  
 go to Question 11

**8. Outline Application**

What is the area of the site? \_\_\_\_\_

Please tick those details which you wish the Planning Committee to consider formally at this stage.

- Layout  Scale  Appearance  Access  Landscaping  None

go to Question 12

9. **Reserved Matters Application**

Date of outline permission \_\_\_\_\_

Please tick those details which you wish the Planning Committee to consider formally at this stage.

- Layout  Scale  Appearance  Access

Application No \_\_\_\_\_

Landscaping \_\_\_\_\_

go to Question 12

10. **Removal or variation of condition**

Date condition imposed \_\_\_\_\_

Condition No \_\_\_\_\_

Application No \_\_\_\_\_

go to Question 12

11. **Renewal of temporary permission**

Date permission granted \_\_\_\_\_

Application No \_\_\_\_\_

12. **Use**

What is the building / land used for at present?

GARDEN

If it is unused at present, what was its last use?

and on what date did it stop being used for this? (if known)

13. **Access**

Does your proposal require new or altered access? ~~YES~~ / NO  
If YES, please tick the relevant boxes:

New access to a road  Vehicular

Altered access to a road  Vehicular

Even if no alterations or changes are being sought, access arrangements will need to be described in the 'design and access statement'.

(delete as appropriate)

Pedestrian

Pedestrian

09 JAN 2008

14. **Water Supply and Drainage**

Please state (Please tick one box in each section) the method

Water Supply  Mains  Private existing/proposed\*

Surface Water Disposal  Public Surface Water Sewer  River/Stream

Soakaway

Other existing/proposed\*

Foul Sewage  Public Foul Sewer  Septic Tank  Cesspit  Other existing/proposed\*

\*delete as appropriate

Note: If foul drainage is not to be via a public foul sewer, a drainage assessment will be required. Please see Question 14 in the accompanying booklet.

management will be described in the 'design and access statement'.

15. **Trees**

Does the application involve:

Felling or lopping trees

Planting trees

~~YES~~ / NO (delete as appropriate)

~~YES~~ / NO (delete as appropriate)

16. **Materials**

Walls cement rendered to DPC height

Roof from eaves to gill height brown stained shiplap boarding conservatory

of brown UPVC with 2 brown glass roof

Garage exterior clad with brown stained shiplap boards, roof of corrugated tin sheets

17. **Is your application for business, retail or other commercial use?**

~~YES~~ / NO (delete as appropriate)

If YES please complete Questions 18 - 23 of Section 4 on page 4 of this form

If NO go to Section 5

**SECTION 5 WHAT YOU NEED TO INCLUDE WITH YOUR APPLICATION**

24. **Plans**

Please list below the plans which will accompany this application.

25. **Certificate of Ownership and Agricultural Holdings Certificate**

You are required by law to complete either Certificate A or Certificate B (Ownership) and the Agricultural Holdings Certificate. It is an offence knowingly to make a false declaration.

**CERTIFICATE OF OWNERSHIP : A**

Complete if you are the owner of the building / land, along with Agricultural Holdings Certificate below.

I certify that: On the 21 days before the date of the accompanying application nobody, except the applicant, was the owner of any part of the land to which this application relates.

Signed \_\_\_\_\_ (Applicant/Agent)

\* On behalf of \_\_\_\_\_ (Applicant)

Date 09.01.08

**CERTIFICATE OF OWNERSHIP : B**

Complete if you do not own any or all of the building / land, along with Agricultural Holdings Certificate below.

I certify that: I have /the applicant has given the requisite notice to everyone else who, on the 21 days before the date of the accompanying application, was the owner of any part of the land to which the application relates, as listed below.

Owner's name \_\_\_\_\_

Address at which notice served \_\_\_\_\_

Date on which notice was served \_\_\_\_\_

Signed \_\_\_\_\_ (Applicant/Agent)

\* On behalf of \_\_\_\_\_ (Applicant)

Date \_\_\_\_\_

**AGRICULTURAL HOLDINGS CERTIFICATE**

This section MUST be completed. Delete either A or B and complete C.

A. I certify that none of the land to which this application relates is, or forms part of, an agricultural holding.

~~B. I have /the applicant has given requisite notice to every person other than myself /himself who, 20 days before the date of the application was a tenant of any agricultural holding any part of which was comprised in the land to which this application relates:~~

Name of tenant \_\_\_\_\_

Address \_\_\_\_\_

Date notice was served \_\_\_\_\_

C. Signed \_\_\_\_\_ (Applicant/Agent)

On behalf of \_\_\_\_\_ (Applicant)

Date 09.01.08

26. **I/WE hereby apply for planning permission or approval of reserved matters as described in this application and the accompanying plans. I / We attach:**

- for rural building conversion, any bat survey or structural engineer's report undertaken.
- the necessary plans numbered:
- 'design and access statement'.
- completed, dated and signed Certificate of Ownership (A or B above).
- completed, dated and signed Agricultural Holdings Certificate.
- Flood risk assessment if the development lies in zone 2/3 of the indicative floodplain map.

- the fee of £135.00 by cheque/postal order no. 000 447

Signed \_\_\_\_\_ (Applicant/Agent)

On behalf of \_\_\_\_\_ (Applicant)

Date 09.01.08

\* delete where appropriate

L

**APPLICATION FOR THE ERECTION OF A CONSERVATORY AND GARAGE  
AT 5 DARNCOMBE, LANGDALE END, YO13 0LJ**

**CONSERVATORY - DESIGN STATEMENT**

**CONTEXT** – A conservatory on the South gable of the house, with access to the rear. It will face the gable end of the house on the neighbouring property, but will be 2 metres from the boundary and some 14 metres from the adjacent building.

**AMOUNT AND TYPE OF DEVELOPMENT** – The conservatory will have a floor area of 14.39 square metres and will be used as an extra seating area.

**LAYOUT** – The conservatory will be laid out to give access to the yard and garden at the rear of the house.

**SCALE** – At 4.50 metres x 3.50 metres x 4.25 metres high to the apex it will be against the South gable of the house which is 8.75 metres x 7.00 metres high.

**LANDSCAPING** – The stone retaining wall round the yard at the rear will be brought round the rear of the conservatory so enlarging the yard slightly round the conservatory access.

**APPEARANCE** – A conservatory constructed from brown UPVC to blend in with the colour of the existing buildings. The roof of hipped pattern clad with brown tinted glass. The base wall cement rendered to DPC height and from there up to window sill height clad with shiplap boarding to match the existing

**ACCESS** – The access will be by a double French style door to the rear via a 1:12 ramp for disabled access.

09 JAN 2008

**GARAGE - DESIGN STATEMENT**

**CONTEXT** – Garage on the Western side of the property on the end of a gravel access road to the garden. The site is situated 30 metres from the nearest dwelling and will be quite well screened by existing trees and shrubs.

**AMOUNT AND TYPE OF DEVELOPMENT** – The floor space of the proposed construction will be 28 square metres and would be used as a garage and store for garden equipment etc.

**LAYOUT** – The building would be laid out at a right angle to the access road to match the line of the buildings on the properties on each side.

**SCALE** – At 5.00 metres x 6.00 metres x 3.250 metres high to the apex, it will be slightly smaller than the building on the adjoining property. When viewed with this and the nearby trees the visual impact will be minimal.

**LANDSCAPING** – There are no landscaping proposals to the area on the access side. Trees and shrubs on the side facing neighbouring properties will be retained to break up the appearance of the building.

**APPEARANCE** – A garage of concrete block construction with a corrugated sheet apex roof and an up and over type access door. For lighting it is proposed to put in three windows 1000mm x 900mm high, one in each side wall and one in the end wall. The rainwater goods to be of grey plastic. The whole of the exterior to be clad in shiplap boarding and stained dark brown to match existing buildings.

**ACCESS** – Access to the building will be from the existing gravel road across the end of the garden and in this respect will remain unchanged.