

Copy to PT 1

| |
|----------------|
| AMENDED |
| Notes |

**Mr Tom Bracegirdle
High Dalby House
Dalby
Pickering
YO18 7LP**

Tel: 01751 460023

Revision A 22 February 2008

Ref:HS/NYM/2008/0026/FL

Further to letter from Senior Planning Officer, Hilary Saunders and discussion with Chief Planning Officer, Val Dilcock the scheme has been revised taking into consideration issues raised about the chalets being too large and insufficient landscaping being proposed.

I am also aware that Thornton Dale parish council are of the same opinion as to the scale of the development and for ease of reading the revised Design and Access Statement all amendment have been highlighted in red.

In brief the scheme has been amended from 2 storey 4 bedroom units to single storey 3 bedroom units reducing the visual impact and allowing for a much greater planting scheme to ensure the units and car parking is screened.

The aim is to construct and fit out these units to Tourist Board 5 Star accommodation rating. There is a distinct lack of this grade of accommodation within the Ryedale area and it is expected that holidaymakers with a greater disposable income will aid the local economy.

Planning Application for the formation 2 new holiday chalets and the conversion of existing stable block into chalet, car parking and access

DESIGN AND ACCESS STATEMENT

Introduction

1. In October 2004 an application was made for this same site and a decision was made for refusal – NYM/2004/0745/FL.
2. The planning authority considered the original application for the formation of 3 holiday chalets on the existing tennis court would result in overdevelopment and as such would harm the appearance of this part of the national park.
3. After the refusal consultation took place between Stuart Copeland Associates and the applicant. Thereafter a meeting took place on the site with Chief Planning Officer, Mrs Val Dilcock.

| |
|----------------------|
| NYMNP 25 FEB 2008 |
|----------------------|

4. This new application has taken into consideration all points raised during the consultation period and site meeting, along with further discussions about the initial proposal. Val Dilcock mentioned that precedent had been set the NYM in granting permission for the construction of holiday chalets at Low Wood, Low Dalby village. The units at Low Wood are single storey and quite visible, along with the car parking areas, from Dalby Forest Drive and along the track to Ebberston.

This application is for single storey units that will not be visible from Dalby Forest Drive or Overscar Lane.

5. This application is for the formation of only 2 new holiday chalets on the existing tennis court area, thus reducing the impact of overdevelopment. The 2 new chalets have been set lower on the slope, below the level of the existing tennis court, allowing for a far greater planting scheme between and around the chalets to provide individual privacy and screening from long distance views.
6. The applicant consulted the Forestry Commission to identify the surrounding trees and bushes so that a planting scheme could be incorporated that not only screened the new holiday chalets to maximum effect but also was in keeping with the existing species of trees and bushes.
7. As the site is within an established area of forest and the whole of the hard surface of the tennis court will be removed and screened from any long distance views this proposed application for the development of the site is in compliance with TM4 policy
8. In addition the application to convert the existing stable block into a one bedroom holiday chalet shall have no impact as the existing elevation shall not be altered in any way.
9. The holiday chalets shall be single storey, 2.0 metres in width less than the initial proposal, and 2.4 metres less in height than the original proposal. The design of these units is based around the one fully accessible disabled bedroom and bathroom than will fully comply with building regulations for the provision of disabled access.
10. The reduction in height of the units will ensure that the new ridge lines are 1.5 metres below that of the existing stable block. The new planting scheme along the existing right of way – the south elevation will ensure that the units and the car parking areas are not visible to passersby. The car parking area, tucked away under the high retaining wall and screened by planting to the west and south is the most feasible area for this matter – no vehicle will be visible from any road or pathway.

| |
|-------------------------------|
| <p>NYMNPA 25 FEB 2008</p> |
|-------------------------------|

11. The reduction in width of the units has allowed for a far greater planting scheme particularly to the west elevation. Concern was expressed by the Senior Planning Officer of the view from the cattle grid at the end of Overscar Lane. The existing view in winter when all leaves are off the trees is a distant view of the west elevation gable end only of the existing stable block. New planting scheme with evergreens shall screen not only the new units (the proposed location is already screened by trees within the forest) but also the stable block.
12. The north and east elevations are only visible from the privacy of the ground within High Dalby House and not accessible by the public.

Context

1. High Dalby House is a private residence within the Dalby Forest National Park.
2. The site proposed for the formation of the new chalets is an existing tennis court which the previous owners constructed but is of no practical use to the present owners.
3. The site is set to one side of the drive of the main residence and as such will not impinge on the privacy of the owners nor the holiday tenants.
4. With the recent developments within Dalby Forest of the new visitors centre, mountain bike trails, GoApe and the courtyard workshops visitor numbers to the area are on the increase.
5. High quality 5 Star self catering accommodation is much needed in the area to accommodate the increase in tourists, **particularly catering for visitors with disabilities and in need of building regulation compliant disabled bedrooms and bathrooms.**
6. This application will meet these needs, vastly improve the redundant hard surface of the tennis court and maintain compliance with TM4 policy.
7. The new holiday chalets shall be constructed utilizing timber frame construction, clad and roofed in timber all from managed forests and renewable sources.

Type of Development

1. The 2 new holiday chalets shall each have a total floor space of 104m² containing 3 bedrooms, **one of which shall have full disabled access on the ground floor and a full disabled access bathroom.**

2. The conversion of the stable block shall have a total floor space of 50m² containing one bedroom and **have a full disabled access bathroom**.
3. The holiday chalets shall be rented to visitors and not for permanent residence

Layout

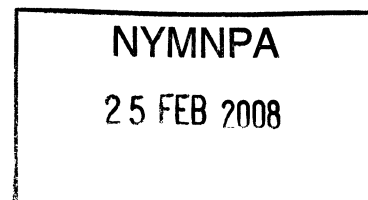
1. The 2 new holiday chalets have been sited so as to give private panoramic views over the valley.
2. The units are to be separated by screened planting which also includes the screening of the stable block.
3. The single storey internal layouts with provide spacious accommodation giving full disabled access.
4. The units are to be stepped on the site and constructed from a level lower than the existing tennis court so as to reduce the overall impact when viewed from long distance.

Scale

1. The new units are to be 8m wide x 13m deep x 3.6m high to the ridge. With the bases being stepped below the existing tennis court the heights shall be 1.5 metres below the ridge height existing stable block.

Landscaping

2. The existing trees and bushes shall be retained fully and supplemented by an additional planting scheme that will soften and screen the area. The new planting scheme shall incorporate the species of the existing trees and bushes including Cypress, Sycamore, Silver Birch, Norway Spruce, Beech, Ash, Copper Beech, Holly, Hawthorn and Gelder Rose. Greater planting with evergreens to the west and south elevation shall ensure the units are not visible from long distant and near views.
3. The carparking facilities and pathways shall be of natural stone chippings softened by the existing retaining wall and screened planting to the west and south elevations.
4. The gradients of the site and the reduction in width of the units shall allow a greater planting scheme between the units so that each has total privacy.



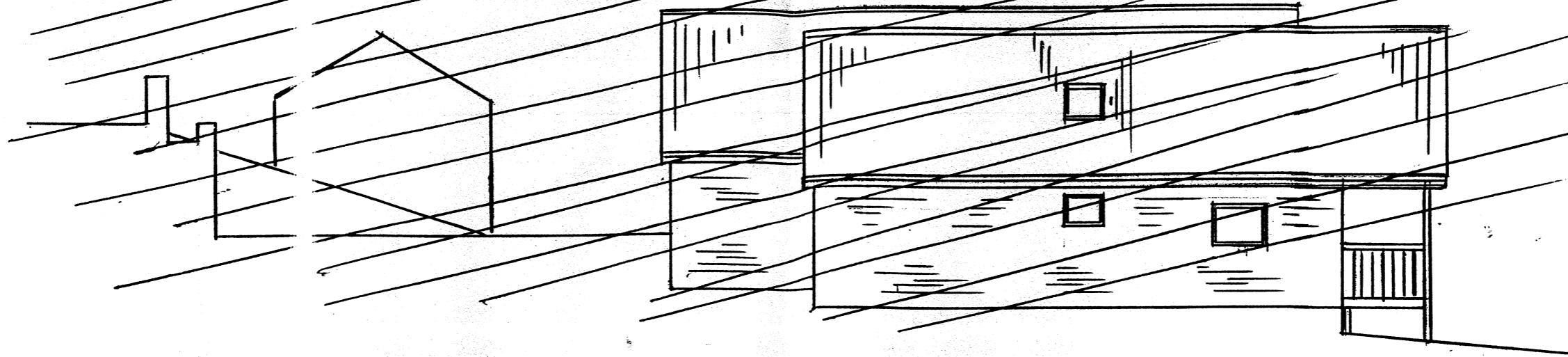
Appearance

1. The new holiday chalets shall be clad with horizontal cedar boarding and roofed with cedar shingles; all with a natural finish. The windows shall be timber framed to suit the colour of the natural cedar cladding. The sundecks shall be timber to suit the colour of the natural cedar cladding. Rainwater goods shall be brown.
2. Low level pathway lighting shall provide nighttime guidance to the parking area and entrance to the units. The planting scheme shall be such that the low level lighting shall not be visible from long distance views.
3. The existing stable block has walls constructed from local random stone with a clay pantile roof. There will be no alteration whatsoever to the existing external elevations or roof covering. The rainwater goods are black. The existing external bulkhead down to dusk lighting shall remain without addition.

Access

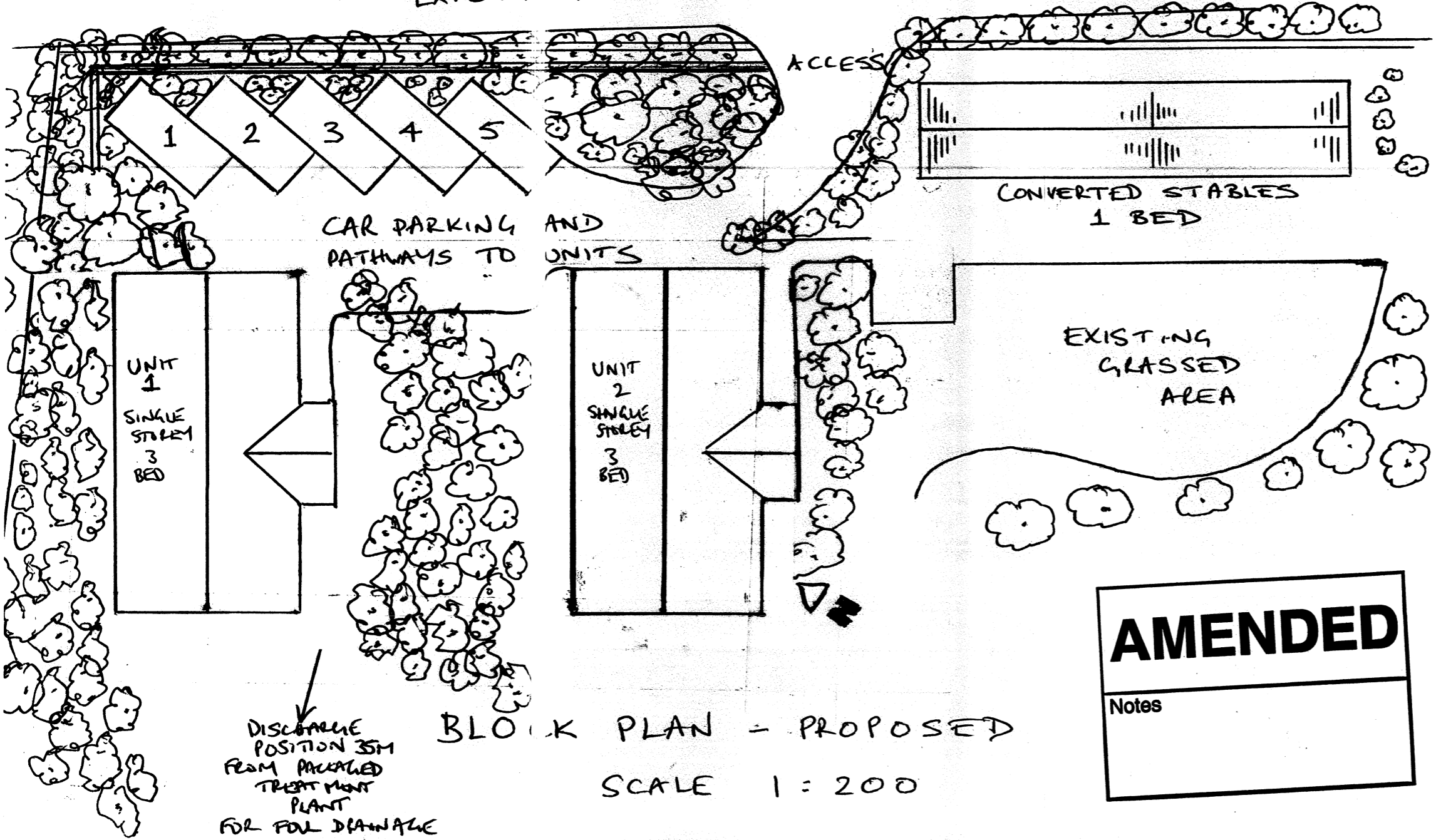
1. A new driveway shall be constructed from the existing right of way; the stone track off Dalby Forest Drive.
2. The driveway will allow access for emergency services, cars and foot traffic down to the car parking area for 5 vehicles.
3. A turning area shall be provided for the vehicles.
4. Graded footpaths shall give access from the car parking area to the individual units with handrails to assist the disabled and infirm.
5. All of the access routes within the site shall be screened with trees and bushes.

WEST ELEVATION - PROPOSED
SCALE 1:100



DELETED
SEE
DWG 003
REVISION A
22 FEB 08

EXISTING RIGHT OF WAY



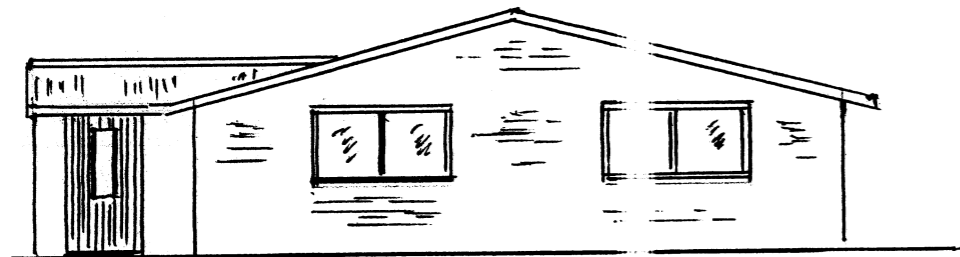
WMNPA
25 FEB 2008

REV A 22 FEB 08
WEST ELEVATION REMOVED
PROPOSED BLOCK PLAN AMENDED TO SUIT
SINGLE STOREY UNITS AND DENSER PLANTING

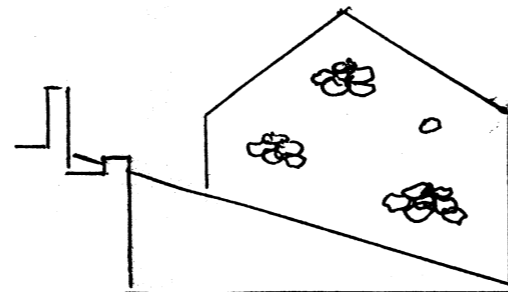
PROPOSED DEVELOPMENT
OF 2 HOLIDAY CHALETS
AND CONVERSION OF STABLE
BLOCK INTO HOLIDAY CHALET

MR TOM BRACEGIRDLE
HIGH DALBY HOUSE
DALBY
PICKERING
YO18 7LP
TEL = 01751 460023

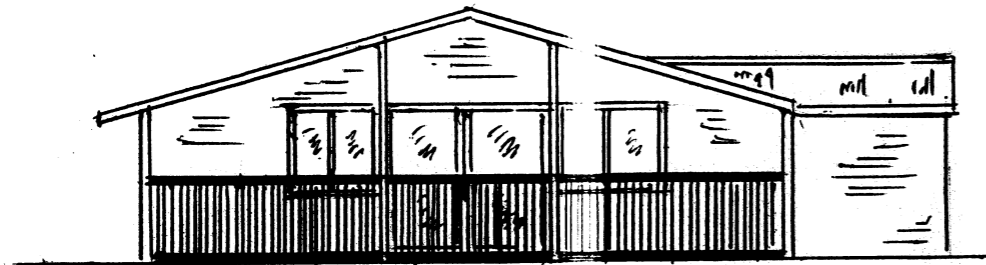
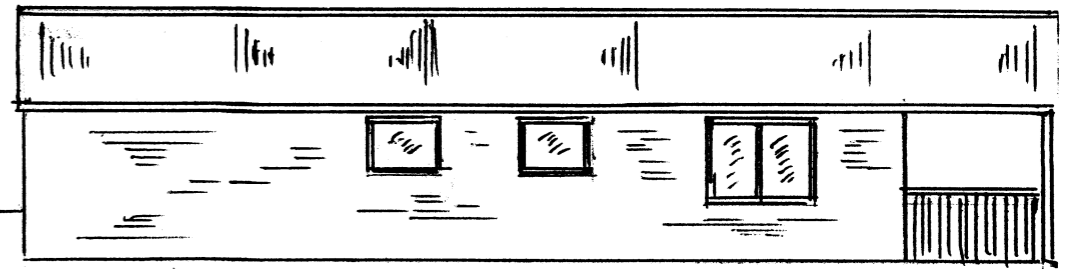
DRAWING NO. 002 DEC '07



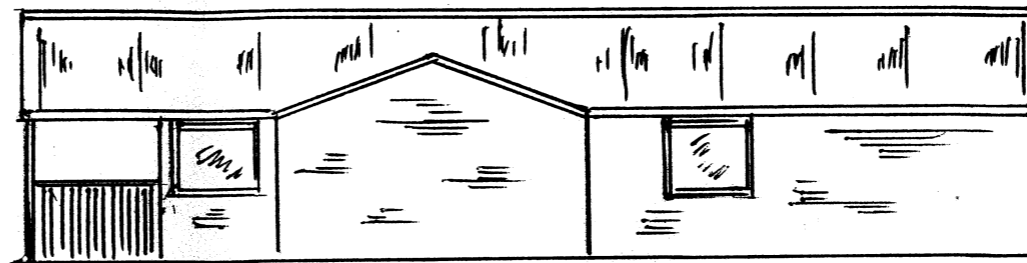
UNITS 1 + 2 PROPOSED
NORTH ELEVATION SCALE 1:100



WEST ELEVATION PROPOSED
SCALE 1:100

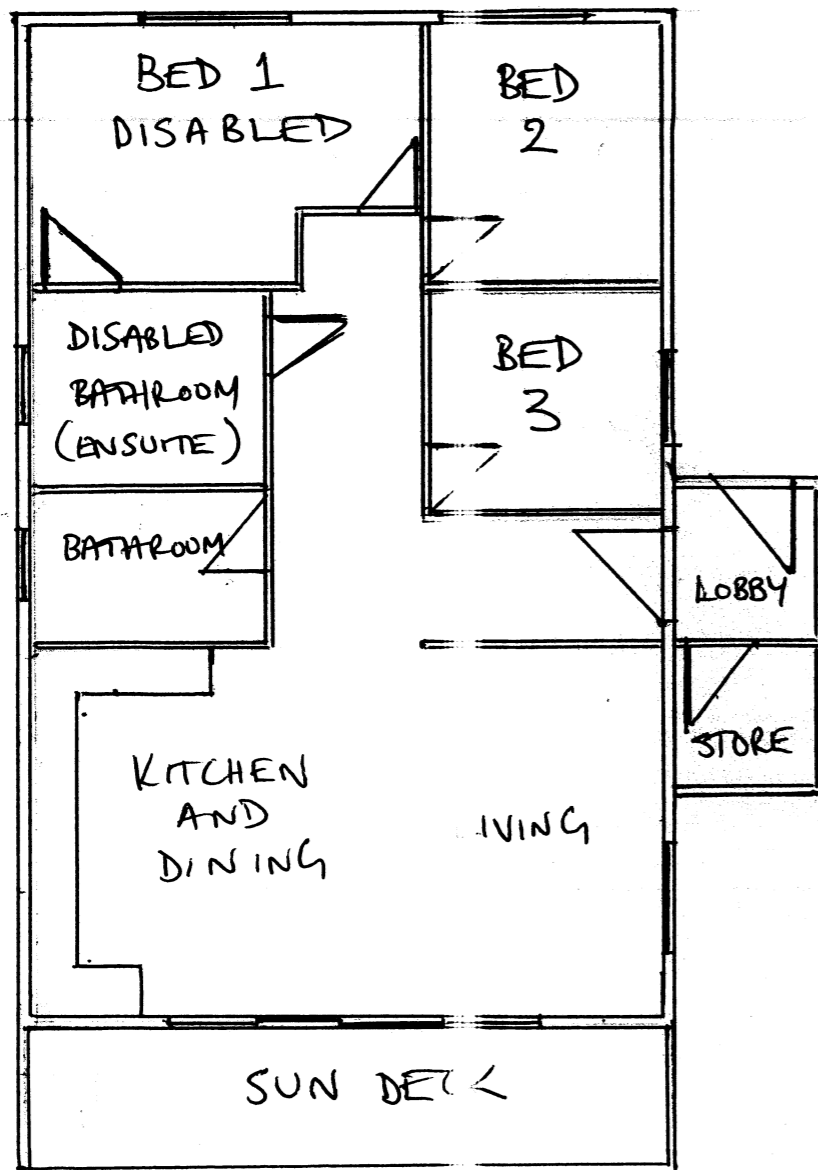


UNITS 1 + 2 PROPOSED
SOUTH ELEVATION SCALE 1:100



EAST ELEVATION PROPOSED
SCALE 1:100

NYMNP
25 FEB 2008



UNITS 1 + 2 FLOOR PLAN SCALE 1:100

PROPOSED MATERIALS

- ROOF : CEDAR SHINGLES
- WALL : CEDAR CLADDING
Laid horizontally
- WINDOWS : TIMBER SET IN REVEALS

PROPOSED DEVELOPMENT
OF 2 HOLIDAY CHALETS
AND CONVERSION OF STABLE
BLOCK INTO HOLIDAY CHALET.

AMENDED
Notes

MR TOM BRACEGIRDLE
HIGH DALBY HOUSE
DALBY
PICKERING

4018 7LP

TEL 01751 460023

DRAWING NO. 003 DEC '07

REV A 22 FEB 08
LAYOUT AMENDED TO SINGLE STOREY
EAST + WEST ELEVATIONS ADDED.