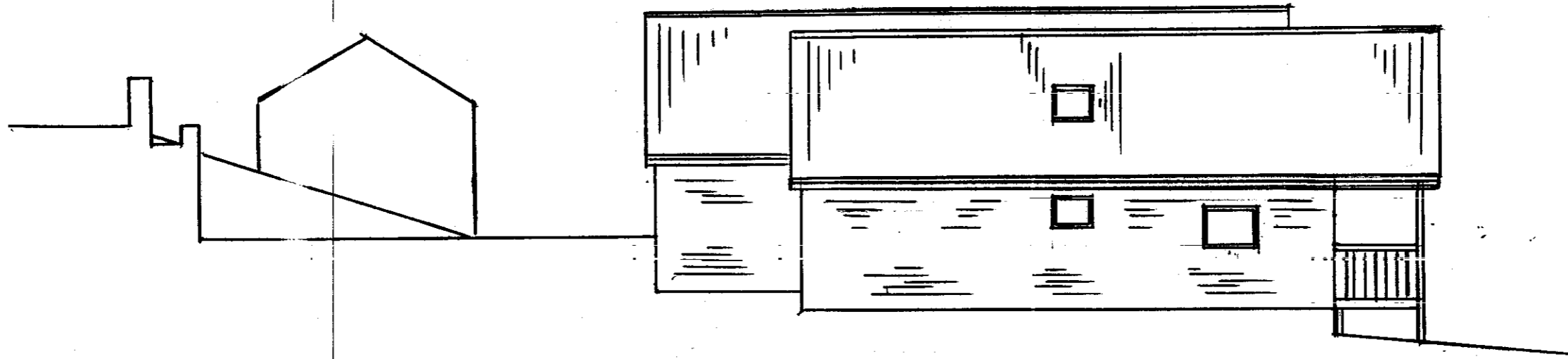
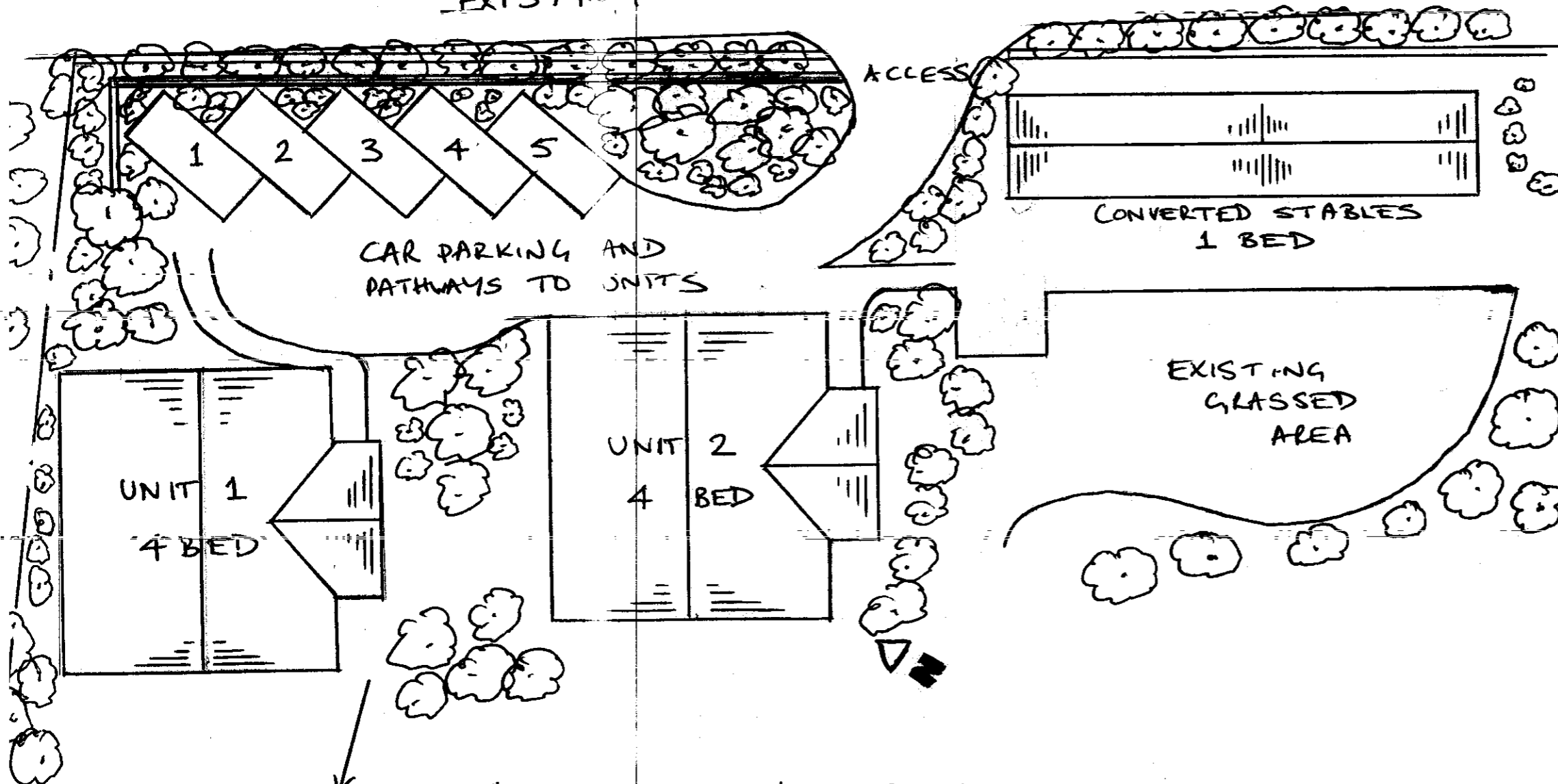


WEST ELEVATION - PROPOSED
SCALE 1:100

NYM/ 2008 / 0026 / FL



EXISTING RIGHT OF WAY



NYMNPA
10 JAN 2008

PROPOSED DEVELOPMENT
OF 2 HOLIDAY CHALETS
AND CONVERSION OF STABLE
BLOCK INTO HOLIDAY CHALET

MR TOM BRACEGIRDE
HIGH DALBY HOUSE
DALBY

PICKERING

YOUR LLP

TEL = [REDACTED]

DRAWING NO. 002 DEC '07

DISCHARGE
POSITION 35M
FROM PACKAGED
TREATMENT
PLANT
FOR FOU DRAINAGE

BLOCK PLAN - PROPOSED
SCALE 1:200

PROPOSED MATERIALS

ROOF : CEDAR SHINGLES
WALLS : CEDAR CLADDING LAID HORIZONTALLY
WINDOWS : TIMBER SET IN REVEALS

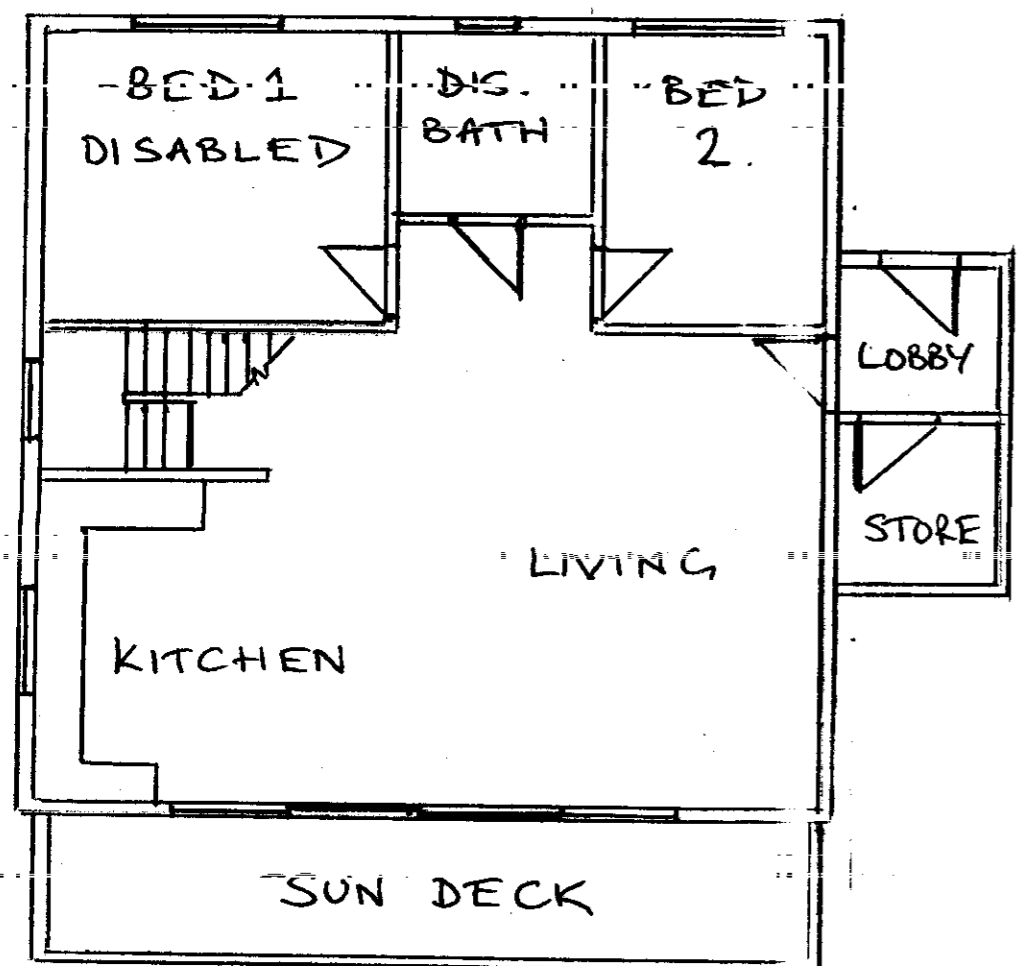


UNITS 1 & 2
PROPOSED SOUTH ELEVATION
SCALE 1:100

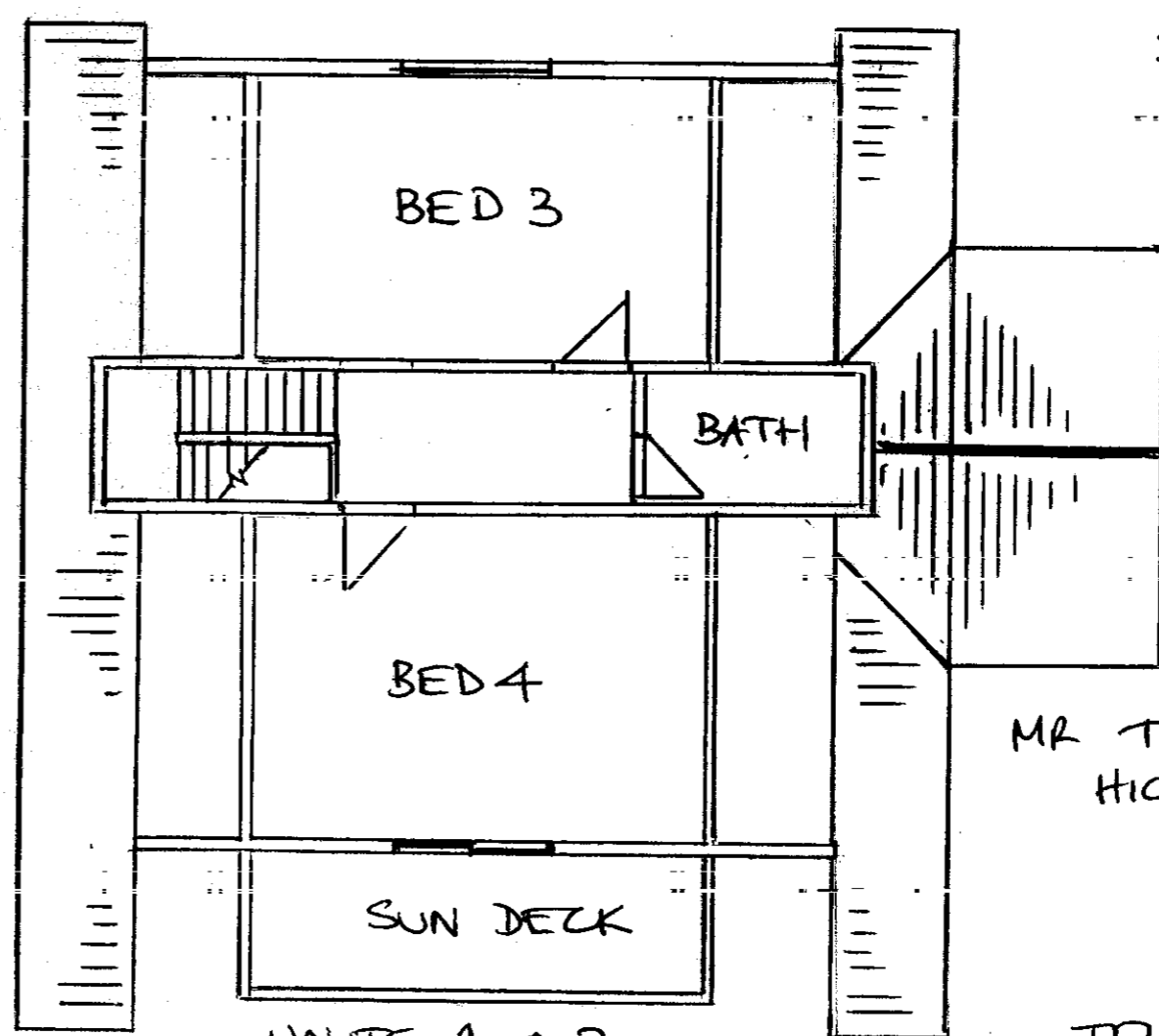


UNITS 1 & 2
PROPOSED NORTH ELEVATION
SCALE 1:100

PROPOSED DEVELOPMENT
OF 2 HOLIDAY CHALET
AND CONVERSION OF
STABLE BLOCK INTO
HOLIDAY CHALET



UNITS 1 & 2
PROPOSED GROUND FLOOR PLAN
SCALE 1:100



UNITS 1 & 2
PROPOSED FIRST FLOOR PLAN
SCALE 1:100

WMAIPA
10 JAN 2008

MR TOM BRACEGIRDLE
HIGH DALBY HOUSE
DALBY
PICKERING
YO18 7LP

TEL : [REDACTED]
DRAWING NO 003 DEC '05

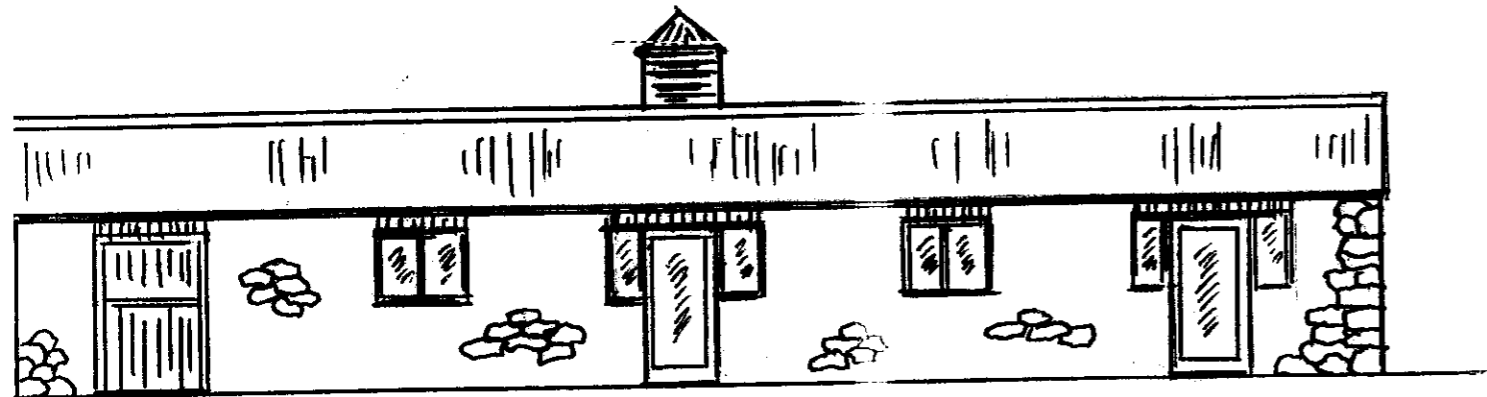
PROPOSED MATERIALS TO BE AS EXISTING

NYM/2008 / 11026 / FL

ROOF : CLAY PANTILES

WALLS : RANDOM STONE WITH BRICK HEADERS ABOVE OPENINGS

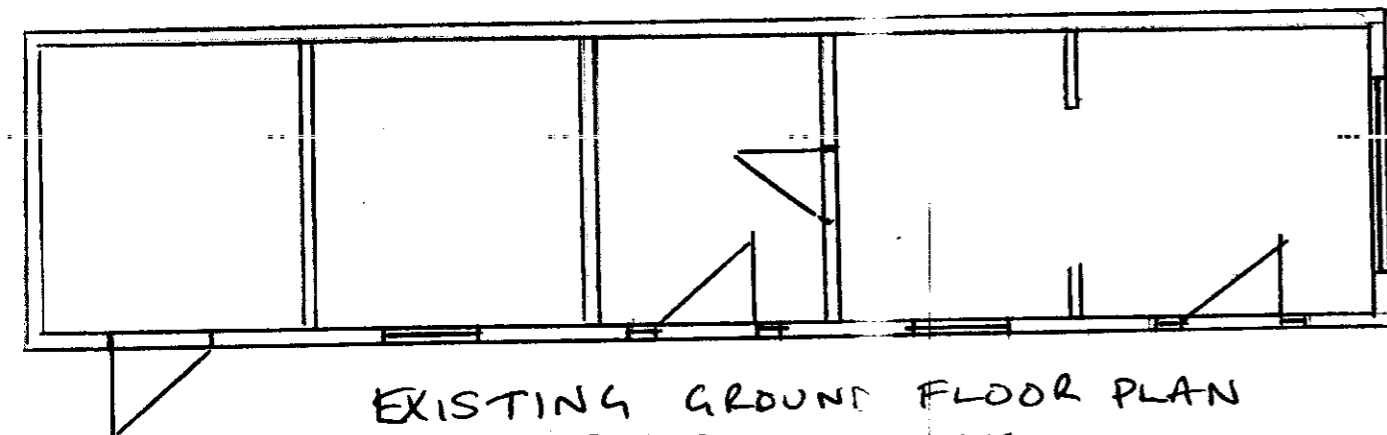
WINDOWS : TIMBER SET IN REVEALS



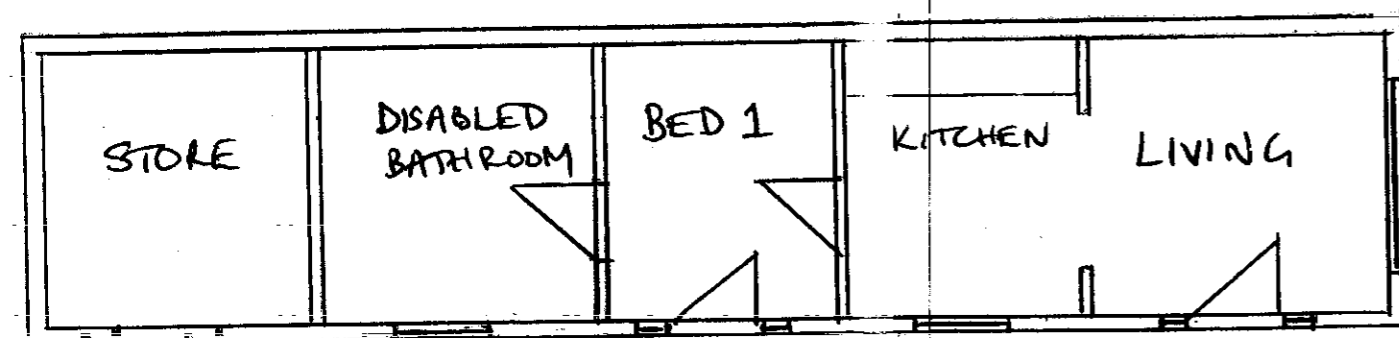
EXISTING AND PROPOSED NORTH ELEVATION
OF STABLE BLOCK CONVERSION INTO 1 BED UNIT
SCALE 1:100



EXISTING AND PROPOSED WEST
ELEVATION OF STABLE
BLOCK CONVERSION INTO
1 BED UNIT
SCALE 1:100



EXISTING GROUND FLOOR PLAN
STABLE BLOCK
SCALE 1:100



PROPOSED GROUND FLOOR PLAN
STABLE BLOCK CONVERSION INTO 1 BED UNIT
SCALE 1:100

NYM/PA
10 JAN 2008

PROPOSED DEVELOPMENT OF
2 HOLIDAY CHALETS AND
CONVERSION OF STABLE BLOCK
INTO HOLIDAY CHALET

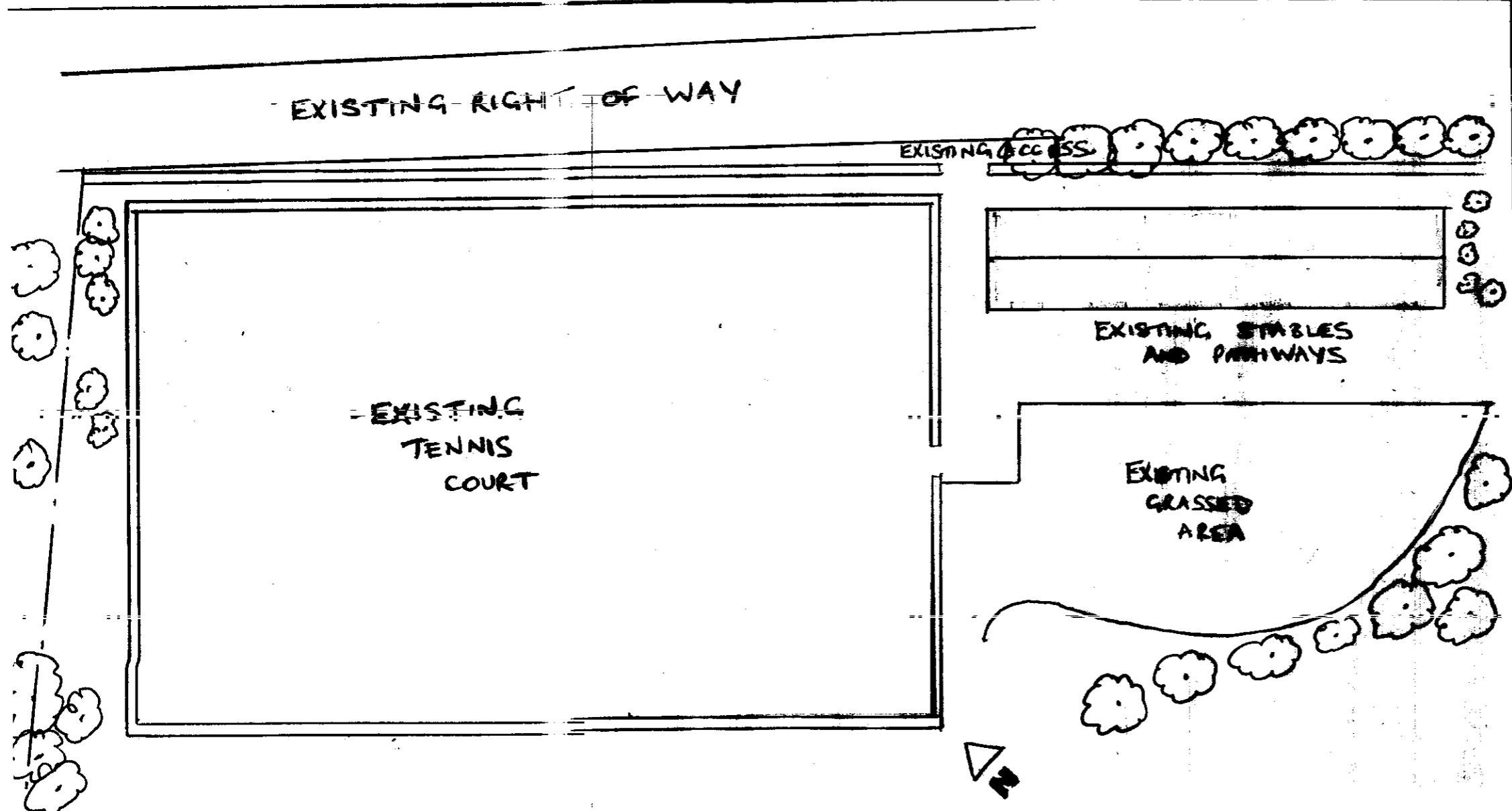
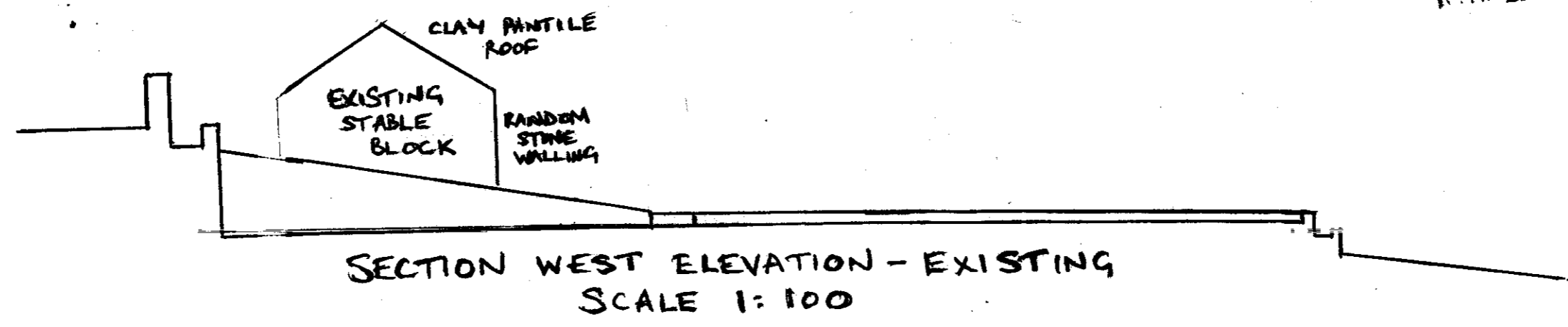
MR TOM BRACEGIRDLE
HIGH DALBY HOUSE

DALBY
PICKERING

YAS JLP

TEL: [REDACTED]

DRAWING NO. 004 DEC '07



BLOCK PLAN - EXISTING
SCALE 1:200

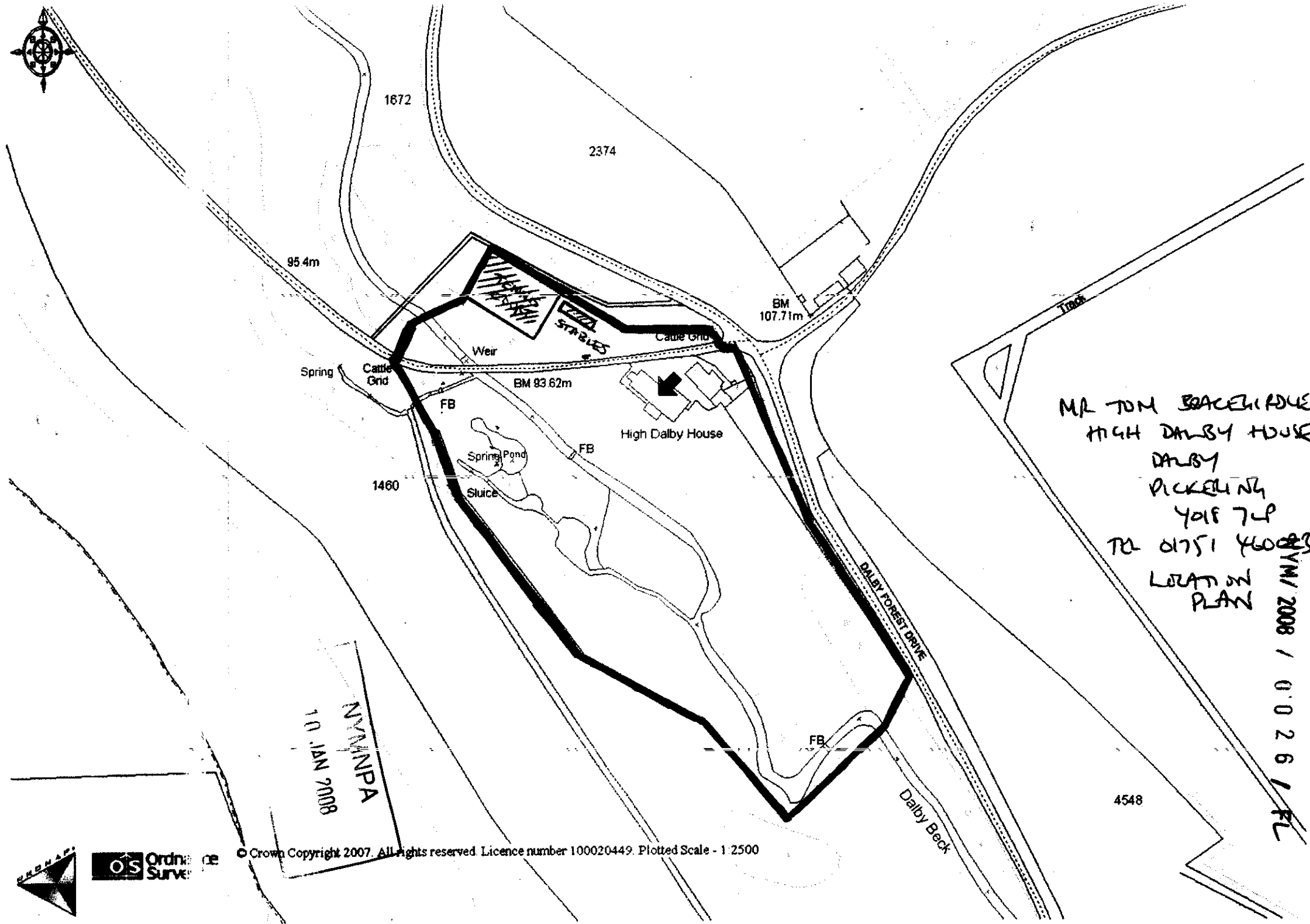
NYM/2008
10 JAN 2008

PROPOSED DEVELOPMENT
OF 2 HOLIDAY CHALETS
AND CONVERSION OF STABLE
BLOCK INTO HOLIDAY CHALET

MR TOM BRACEGIRDLE
HIGH DALBY HOUSE
DALBY
PICKERING
YO18 7LP

TEL: [REDACTED]

DRAWING NO 001 DEC '07



MR TOM BRACEGIRDLE
 HIGH DALBY HOUSE
 DALBY
 PICKERING
 YOIP 7LP
 TEL 01751 460023
 LOCATION
 PLAN

NYM/NPA
 10 JAN 2008

SYM/2008 / 0.026 / PL

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OS
 Ordnance
 Survey

SECTION 4 BUSINESS, RETAIL OR OTHER COMMERCIAL USE

18. Proposed use

Which of the following is involved in the development?

Business Retail

Other (please specify) _____

If industrial, please describe the process _____

Is the proposal part of a larger scheme? YES / NO (delete as appropriate)

19. Floor space

Please provide the measurements of the following:

Total floor space of all buildings to which this application relates

Industrial floor space

Office floor space

Retail trading floor space

Storage floor space

Warehouse floor space

Other

Existing m ²	Proposed m ²
0	1200m ²

Industrial	Other
-	1
-	1
-	0

21. Car parking

How many car parking spaces are to be provided?

5

22. Traffic

How many vehicles will be visiting the site each day?

15

23. Hazardous materials

Please read Note 23 in the accompanying booklet. Does the proposal involve use or storage of hazardous materials? YES / NO (delete as appropriate) If YES, please state which materials.

NO

Please go back to Section 5 on page 2

Please send or deliver to:
The North York Moors National Park,
The Old Vicarage, Boddigate,
Helmsley,
York YO62 5BP



08/0026

For office use only

Ref: NYM/2008 / 0026 / FL

Admin Ref:

Date valid:

Grid ref: SE 85206, 85697

North York Moors National Park **PT1**
Planning Application Form

Please read the booklet
How to fill in your Planning Application
before completing this form.

SECTION 1 YOUR DETAILS

1. Applicant

Name MR TOM BRACEGIRDLE

Address HIGH DALBY HOUSE

DALBY

PICKERING

Post Code YO18 7LP

Tel No [REDACTED]

2. Agent

Name _____

Address _____

Post Code _____

Tel No _____

3. Applicant's interest in the land

SECTION 2 YOUR PROPOSAL

4. Full postal address or location of the application site

TENNIS COURT AND STABLES SITE, HIGH DALBY HOUSE,

DALBY, PICKERING, YO18 7LP

5. Applicant's interest in adjoining land

OWNER

6. Brief description of proposed development

FORMATION OF 2 NEW HOLIDAY CHALETS AND CONVERSION

OF EXISTING STABLE BLOCK INTO CHALET, CAR PARKING & ACCESS

SECTION 3 YOUR APPLICATION

7. Type of application (please tick ONE box only)

- A. Full application including building works
- B. Application for change of use (no building works)
- C. Outline application
- D. Reserved matters application
- E. Removal or variation of condition
- F. Renewal of temporary permission

go to Question 12
go to Question 12
go to Question 8
go to Question 9
go to Question 10
go to Question 11

8. Outline Application

What is the area of the site? _____

Please tick those details which you wish the Planning Committee to consider formally at this stage.

- Layout
- Scale
- Appearance
- Access
- Landscaping
- None

go to Question 12

9. Reserved Matters Application

Date of outline permission _____ Application No _____

Please tick those details which you wish the Planning Committee to consider formally at this stage.

- Layout Scale Appearance Access Landscaping

go to Question 12

10. Removal or variation of condition

Date condition imposed _____ Application No _____

Condition No _____

go to Question 12

11. Renewal of temporary permission

Date permission granted _____ Application No _____

12. Use

What is the building / land used for at present? RESIDENTIAL TENNIS COURT & STABLES

If it is unused at present, what was its last use? _____

and on what date did it stop being used for this? (if known) _____

13. Access

Does your proposal require new or altered access? YES (delete as appropriate)

If YES, please tick the relevant boxes:

- New access to a road Vehicular Pedestrian
- Altered access to a road Vehicular Pedestrian

Even if no alterations or changes are being sought, access arrangements will need to be described in the 'design and access statement'.

10 JAN 2008

14. Water Supply and Drainage

Please state (Please tick one box in each section) the method of:

- Water Supply Mains Private existing / ~~proposed~~*
- Surface Water Disposal Public Surface Water Sewer River/Stream ~~existing~~ / proposed*
- Foul Sewage Soakaway Other ~~existing~~ / proposed*

Note: If foul drainage is not to be via a public foul sewer, drainage assessment will be required. Please see Question 14 in the accompanying booklet.

15. Trees

Does the application involve: Felling or lopping trees / hedgerows ~~YES~~ / NO (delete as appropriate) Planting trees YES / ~~NO~~ (delete as appropriate)

16. Materials

Walls TIMBER CLADDING, TIMBER FRAMED WINDOWS

Roof COAR SHINGLES

17. Is your application for business, retail or other commercial use?

YES / ~~NO~~ (delete as appropriate) If NO go to Section 5 If YES please complete Questions 18 - 23 of Section 4 on page 4 of this form

SECTION 5 WHAT YOU NEED TO INCLUDE WITH YOUR APPLICATION

24. Plans

Please list below the plans which will accompany this application.

LOCATION PLAN, BLOCK PLAN EXISTING DWG 001, BLOCK PLAN PROPOSED DWG 002, PROPOSED UNIT LAYOUTS AND ELEVATIONS DWG 003, PROPOSED CONVERSION LAYOUTS AND ELEVATIONS DWG 004

25.

Certificate of Ownership and Agricultural Holdings Certificate NYM/ 2008 / 0026 / FL You are required by law to complete either Certificate A or Certificate B (Ownership) and the Agricultural Holdings Certificate. It is an offence knowingly to make a false declaration.

CERTIFICATE OF OWNERSHIP : A

Complete if you are the owner of the building / land, along with Agricultural Holdings Certificate below.

I certify that: On the 21 days before the date of the accompanying application nobody, except the applicant, was the owner of any part of the land to which this application relates.

Signed _____ (Applicant/Agent)

* On behalf of MR TOM BRACEGIRDLE (Applicant)

Date 19 DECEMBER 2007

CERTIFICATE OF OWNERSHIP : B

Complete if you do not own any or all of the building / land, along with Agricultural Holdings Certificate below.

I certify that: I have /the applicant has given the requisite notice to everyone else who, on the 21 days before the date of the accompanying application, was the owner of any part of the land to which the application relates, as listed below.

Owner's name _____

Address at which notice served _____

Date on which notice was served _____

Signed _____ (Applicant/Agent)

* On behalf of _____ (Applicant)

Date _____

AGRICULTURAL HOLDINGS CERTIFICATE

This section MUST be completed. Delete either A or B and complete C.

A. I certify that none of the land to which this application relates is, or forms part of, an agricultural holding.

~~B. I have /the applicant has given requisite notice to every person other than myself /himself who, 20 days before the date of the application was a tenant of any agricultural holding any part of which was comprised in the land to which this application relates:~~

Name of tenant _____

Address _____

Date notice was served _____

C. Signed _____ (Applicant/Agent)

On behalf of MR TOM BRACEGIRDLE (Applicant)

Date 19 DECEMBER 2007

25.

I/We hereby apply for planning permission or approval of reserved matters as described in this application and the accompanying plans. I / We attach:

- for rural building conversion, any bat survey or structural engineer's report undertaken.
- the necessary plans numbered: 001, 002, 003, 004
- 'design and access statement'.
- completed, dated and signed Certificate of Ownership (A or B above).
- completed, dated and signed Agricultural Holdings Certificate.
- Flood risk assessment if the development lies in zone 2/3 of the indicative floodplain map.

- the fee of £ 795.00 by cheque/postal order no _____

Signed _____ (Applicant/Agent)

On behalf of MR TOM BRACEGIRDLE (Applicant)

Date 19 DECEMBER 2007

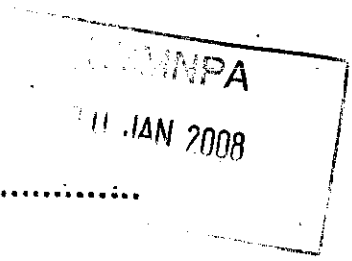
* delete where appropriate

PLEASE COMPLETE THIS FORM AND SUBMIT 4 COPIES AS PART OF YOUR PLANNING APPLICATION TO THE LOCAL PLANNING AUTHORITY

1. Please indicate distance to and location of the nearest mains drainage... UNKNOWN
(Note: the Sewerage Undertaker can be contacted for this information).

2. Please indicate by ticking which method of foul drainage is proposed:

- Package treatment plant to soakaway []
- Package treatment plant to watercourse []
- Septic tank to soakaway []
- Septic tank to watercourse []
- Sealed Cess tank []
- Other method such as reed bed. Please specify



3. Is this a new or existing system? ... NEW

4. If this is an existing system, what is the current capacity of the system and how many additional people will regularly be expected to use it? If this is a domestic property, what is the number of bedrooms now and how many bedrooms will be provided by the development proposed?
..... N/A

5. If this is an existing system, do you have Consent to Discharge from the Environment Agency? YES/NO
..... N/A

If Yes, please give the reference number:

6. If you intend to discharge to a watercourse, what is the name of the watercourse?

..... THORNTON / DALBY BECK

Please indicate the discharge position on your site plan submitted with the planning application, clearly marked as such.

(Note: the watercourse must be capable of sufficient dilution (ten fold) to accept the flow. Without such dilution, there is the possibility of the build up of poor water quality during dry periods.)

7. If the discharge is to a soakaway, indicate on your site plan its position and size.

What is the average percolation test result?

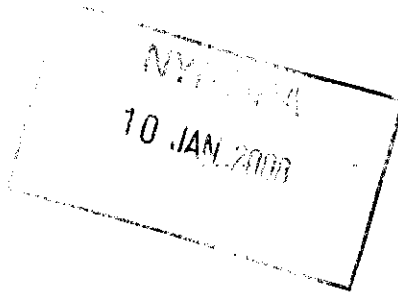
(Note: Guidance for carrying out tests is given in these notes. You may be required to carry out a percolation test for an existing system if the size of development justifies an increase in the size of the soakaway).

8. Are there any wells, springs or boreholes within 50 metres of the soakaway or point of discharge into the watercourse? YES/NO.

Please give details:

..... NO

(Note: The Environment Agency and your Local Authority Environmental Health Department may be contacted for information on licensed and unlicensed water abstractions. Neighbouring landowners should also be notified.)



**Mr Tom Bracegirdle
High Dalby House
Dalby
Pickering
YO18 7LP**

Tel: [REDACTED]

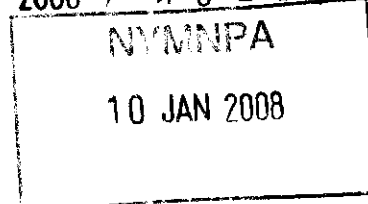
19 December 2007

Planning Application for the formation 2 new holiday chalets and the conversion of existing stable block into chalet, car parking and access

DESIGN AND ACCESS STATEMENT

Introduction

1. In October 2004 an application was made for this same site and a decision was made for refusal NYM/2004/0745/FL.
2. The planning authority considered the original application for the formation of 3 holiday chalets on the existing tennis court would result in overdevelopment and as such would harm the appearance of this part of the national park.
3. After the refusal consultation took place between Stuart Copeland Associates and the applicant. Thereafter a meeting took place on the site with Chief Planning Officer, Mrs Val Dilcock.
4. This new application has taken into consideration all points raised during the consultation period and site meeting.
5. This application is for the formation of only 2 new holiday chalets on the existing tennis court area, thus reducing the impact of overdevelopment. The 2 new chalets have been set lower on the slope, below the level of the existing tennis court, allowing for a far greater planting scheme between and around the chalets to provide individual privacy and screening from long distance views.
6. The applicant consulted the Forestry Commission to identify the surrounding trees and bushes so that a planting scheme could be incorporated that not only screened the new holiday chalets to maximum effect but also was in keeping with the existing species of trees and bushes.
7. As the site is within an established area of forest and the whole of the hard surface of the tennis court will be removed and screened from any long



distance views this proposed application for the development of the site is in compliance with TM4 policy

8. In addition the application to convert the existing stable block into a one bedroom holiday chalet shall have no impact as the existing elevation shall not be altered in any way.

Context

1. High Dalby House is a private residence within the Dalby Forest National Park.
2. The site proposed for the formation of the new chalets is an existing tennis court which the previous owners constructed but is of no practical use to the present owners.
3. The site is set to one side of the drive of the main residence and as such will not impinge on the privacy of the owners nor the holiday tenants.
4. With the recent developments within Dalby Forest of the new visitors centre, mountain bike trails, GoApe and the courtyard workshops visitor numbers to the area are on the increase.
5. High quality self catering accommodation is much needed in the area to accommodate the increase in tourists, **particularly those catering for visitors with disabilities.**
6. This application will meet these needs, vastly improve the redundant hard surface of the tennis court and maintain compliance with TM4 policy.
7. The new holiday chalets shall be constructed utilizing timber frame construction, clad and roofed in timber all from managed forests and renewable sources.

Type of Development

1. The 2 new holiday chalets shall each have a total floor space of 160m² containing 4 bedrooms, **one of which shall have full disabled access on the ground floor and a full disabled access bathroom.**
2. The conversion of the stable block shall have a total floor space of 50m² containing one bedroom and **have a full disabled access bathroom.**
3. The holiday chalets shall be rented to visitors and not for permanent residence

10 JAN 2008

Layout

1. The 2 new holiday chalets have been sited so as to give private panoramic views over the valley.
2. The units are to be separated by screened planting which also includes the screening of the stable block.
3. The internal layouts will provide spacious accommodation with the ground floor giving full disabled access.
4. The units are to be stepped on the site and constructed from a level lower than the existing tennis court so as to reduce the overall impact when viewed from long distance.

Scale

1. ~~The new units are to be 10m wide x 10m deep x 6m high to the ridge. With the bases being stepped below the existing tennis court the heights shall not be above the ridge height of the 18m wide x 3.6m deep existing stable block.~~

Landscaping

2. The existing trees and bushes shall be retained fully and supplemented by an additional planting scheme that will soften and screen the area. The new planting scheme shall incorporate the species of the existing trees and bushes including Cypress, Sycamore, Silver Birch, Norway Spruce, Beech, Ash, Copper Beech, Holly, Hawthorn and Gelder Rose.
3. The carparking facilities and pathways shall be of natural stone chippings softened by the screened planting.
4. The gradients of the site along with the planting scheme shall be such that the units have total privacy.

Appearance

1. The new holiday chalets shall be clad with horizontal cedar boarding and roofed with cedar shingles; all with a natural finish. The windows shall be timber framed to suit the colour of the natural cedar cladding. The sun decks shall be timber to suit the colour of the natural cedar cladding. Rainwater goods shall be brown.
2. Low level pathway lighting shall provide nighttime guidance to the parking area and entrance to the units. The planting scheme shall be such that the low level lighting shall not be visible from long distance views.

3. The existing stable block has walls constructed from local random stone with a clay pantile roof. There will be no alteration whatsoever to the existing external elevations or roof covering. The rainwater goods are black. The existing external bulkhead down to dusk lighting shall remain without addition.

Access

1. A new driveway shall be constructed from the existing right of way; the stone track off Dalby Forest Drive.
2. The driveway will allow access for emergency services, cars and foot traffic down to the car parking area for 5 vehicles.
3. A turning area shall be provided for the vehicles.
4. Graded footpaths shall give access from the car parking area to the individual units with handrails to assist the disabled and infirm.
5. All of the access routes within the site shall be screened with trees and bushes.

