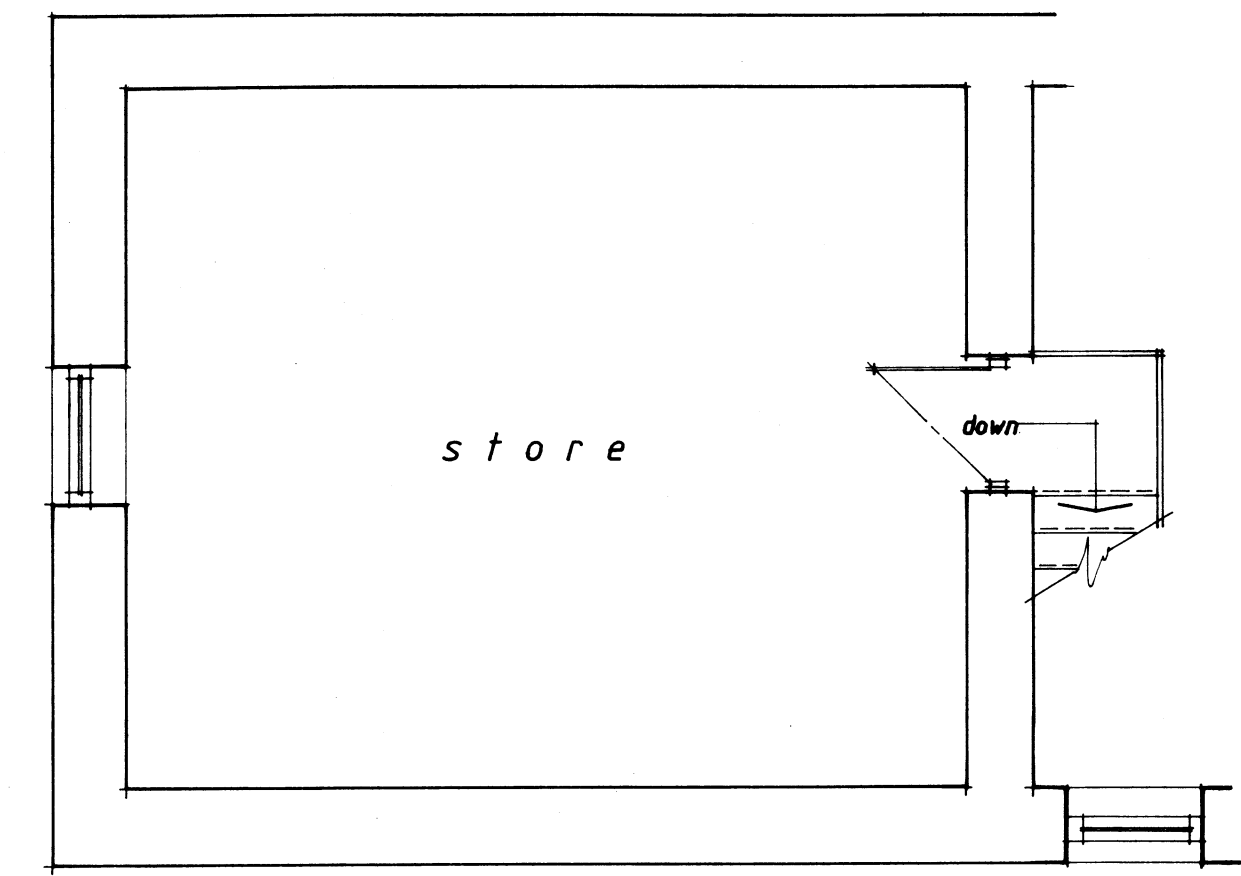
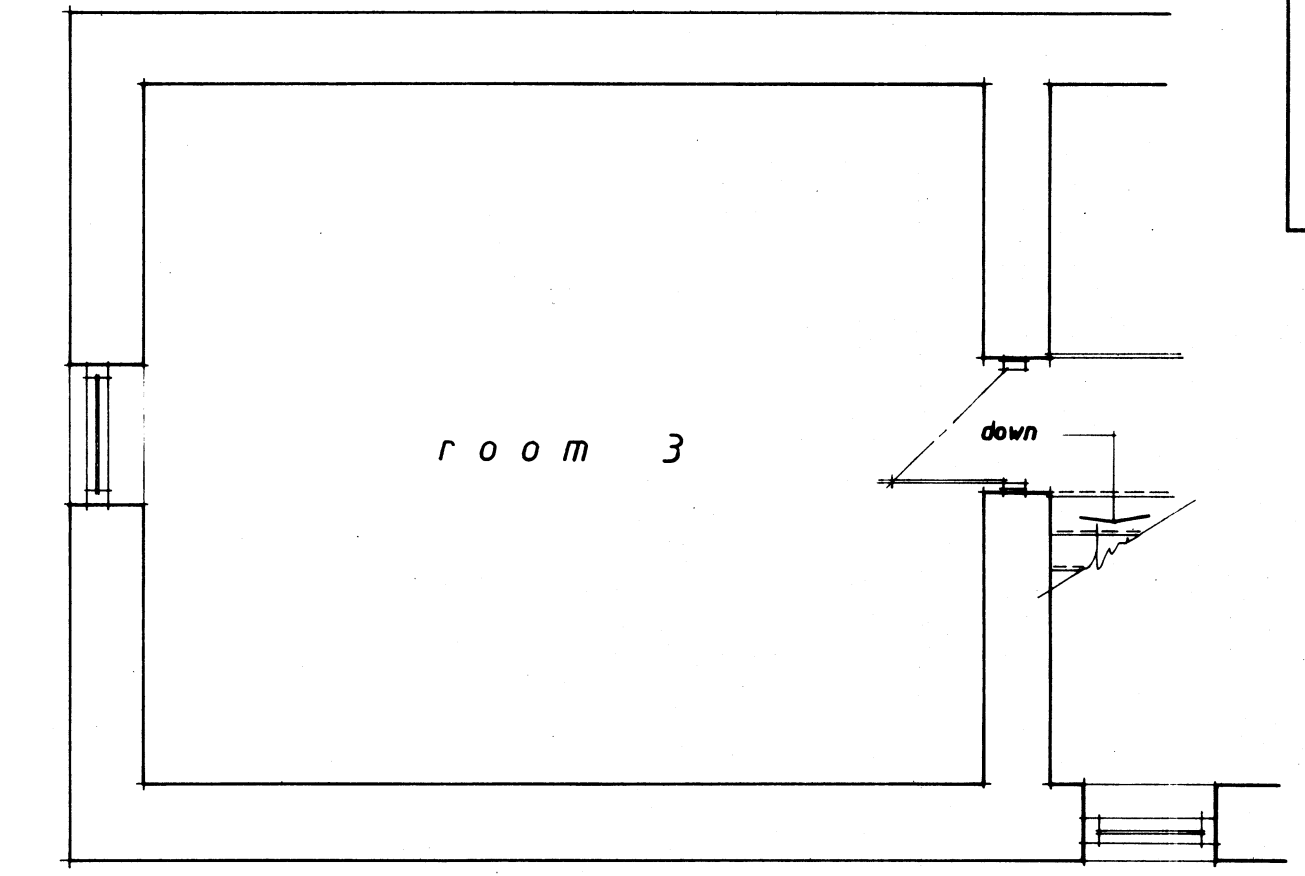


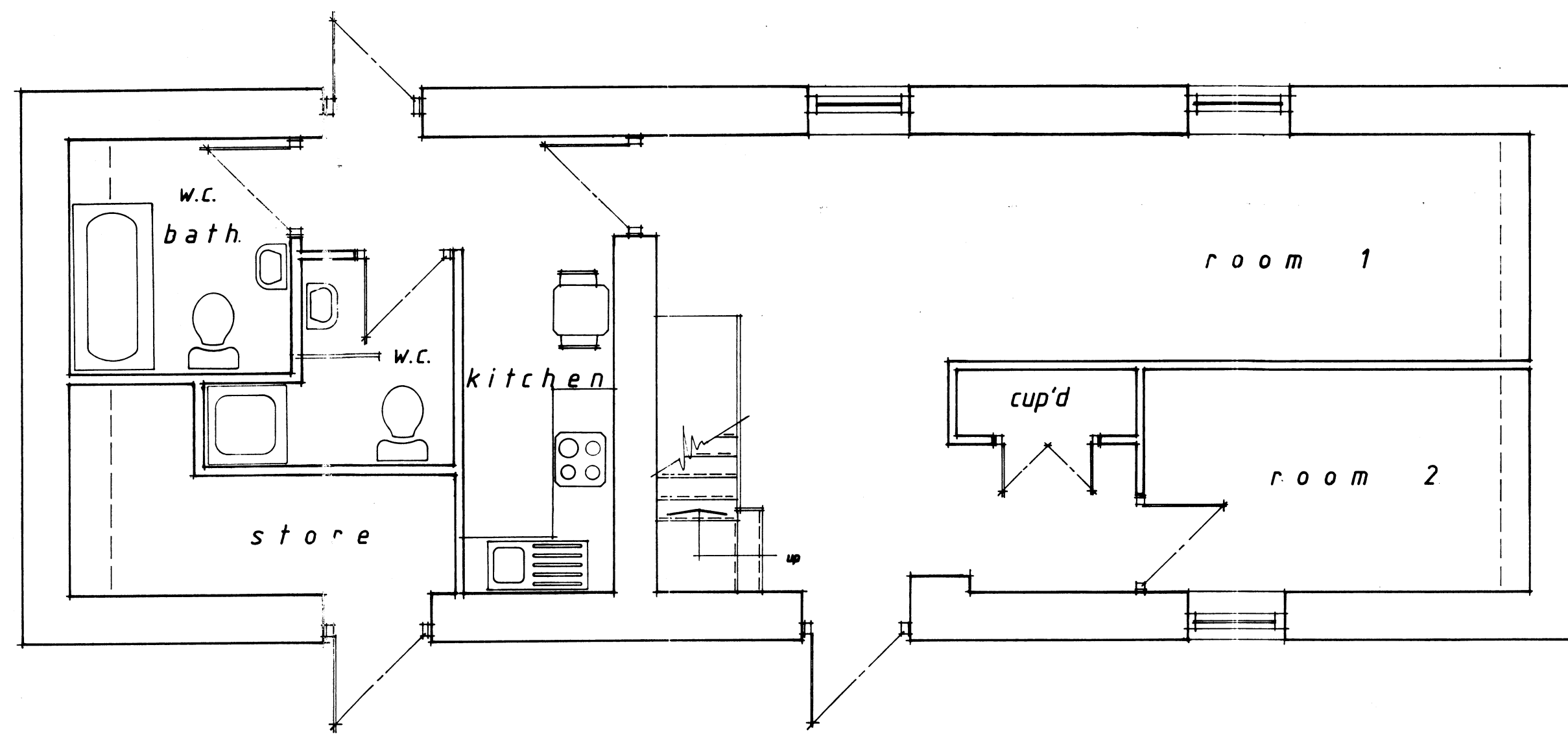
existing ground



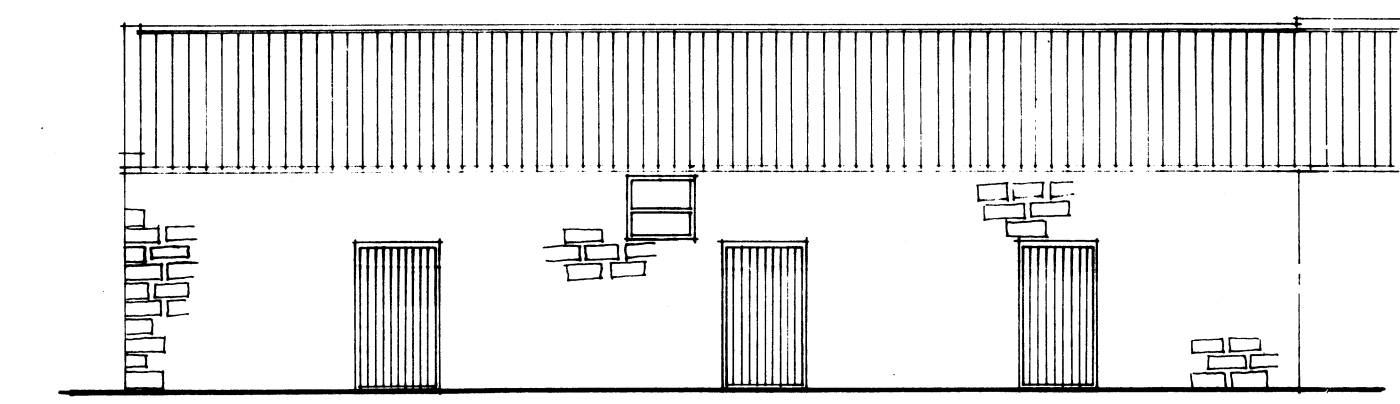
existing first



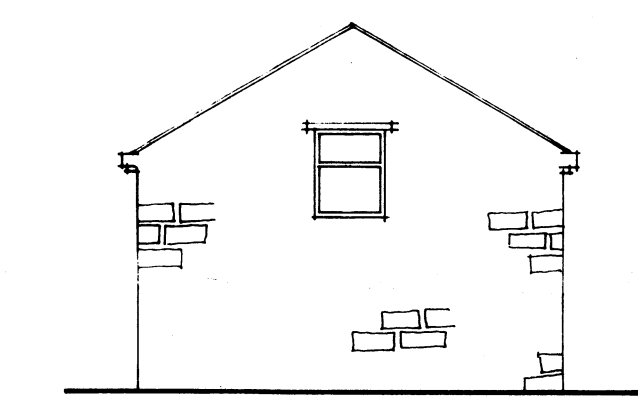
proposed first



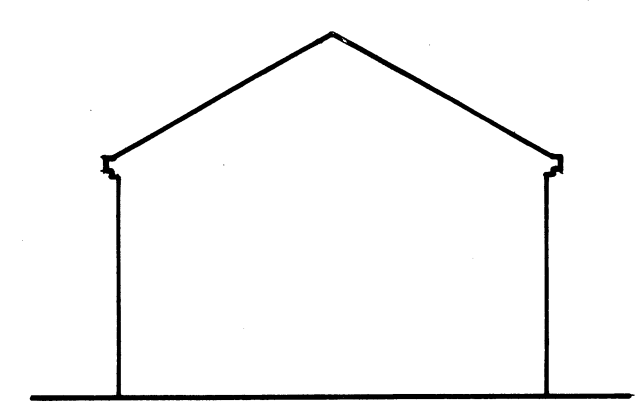
proposed ground



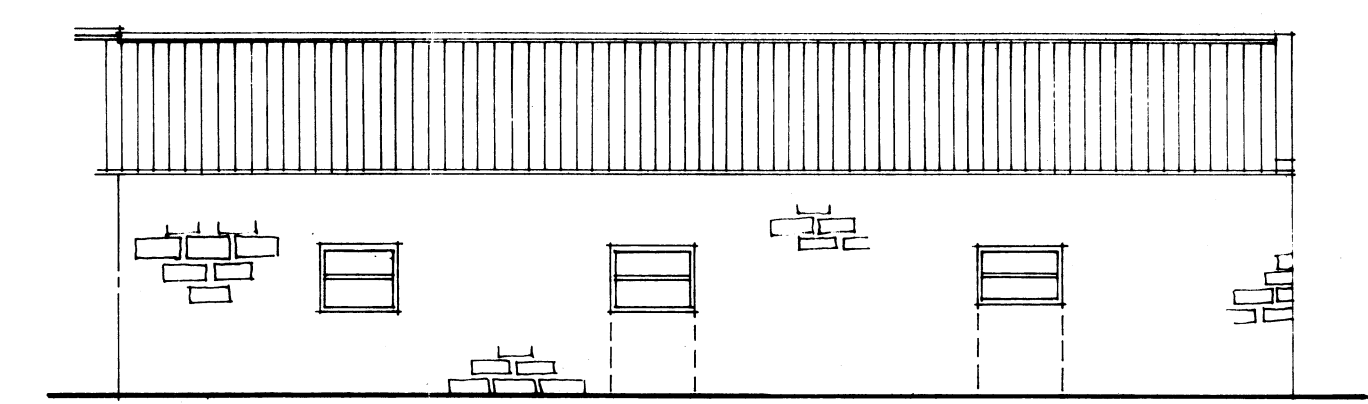
front east  
existing



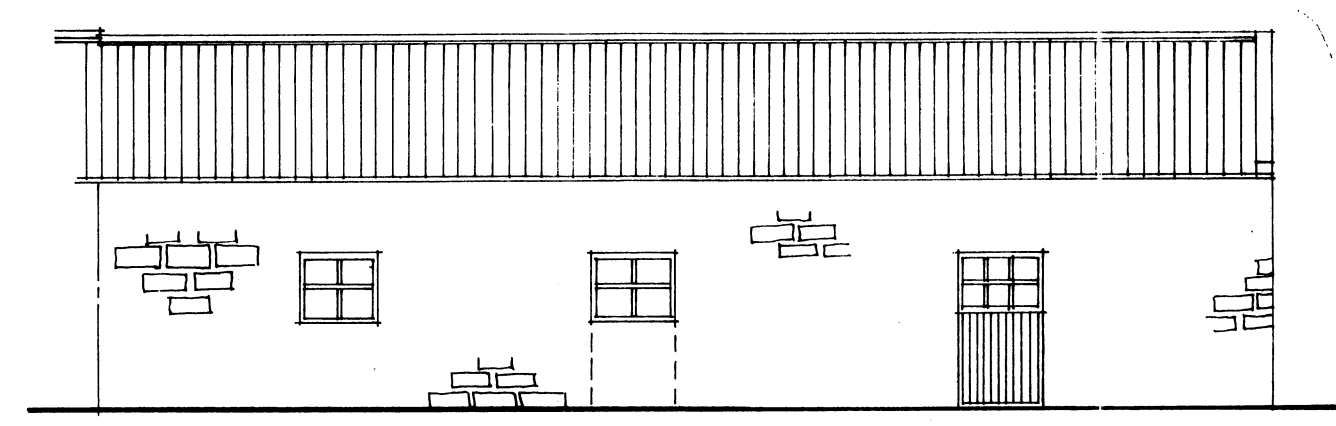
south side  
existing & proposed



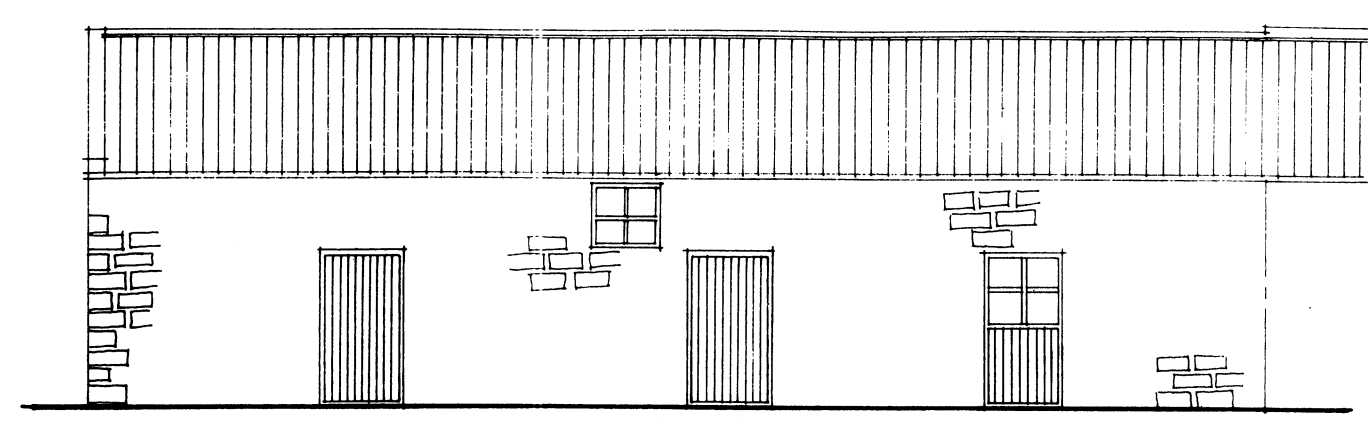
north side  
existing & proposed



rear west  
existing



rear west  
proposed



front east  
proposed

C	LAYOUT AMENDMENTS - BETH DAVIES COMMENTS		8.12.07
AB	LAYOUT AMENDED		23.11.07
No.	DESCRIPTION	CHK'D APP'D	DATE
ALTERATIONS			

PROPOSED CONVERSION OF BARNS TO BUNK HOUSE / HOLIDAY COTTAGE  
 LOW WAUPLY FARM, EASINGTON, SALTBURN BY SEA

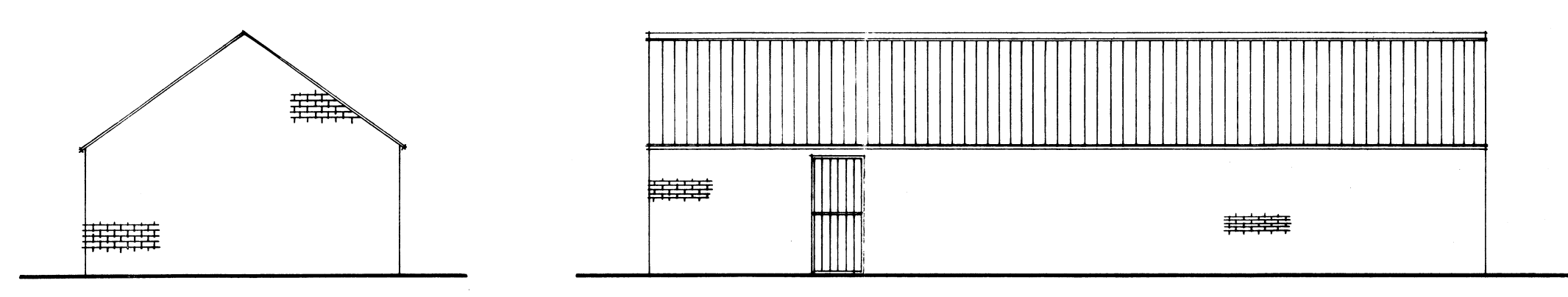
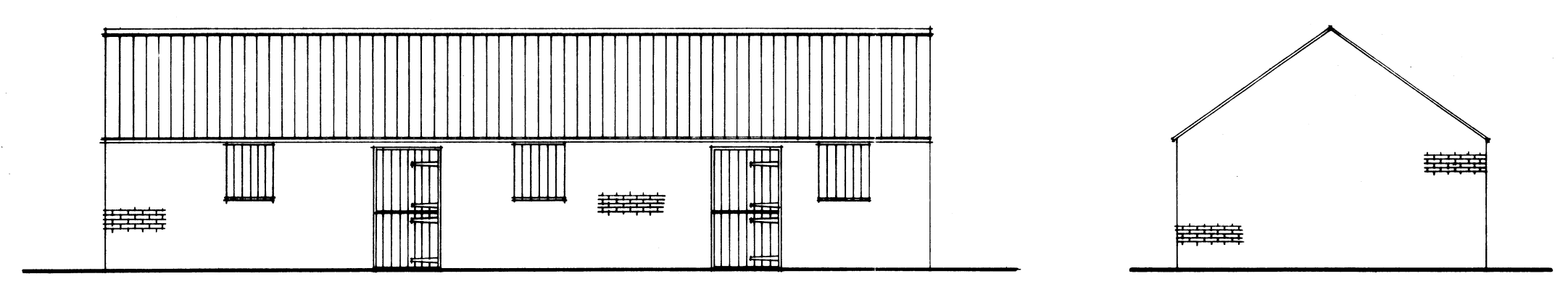
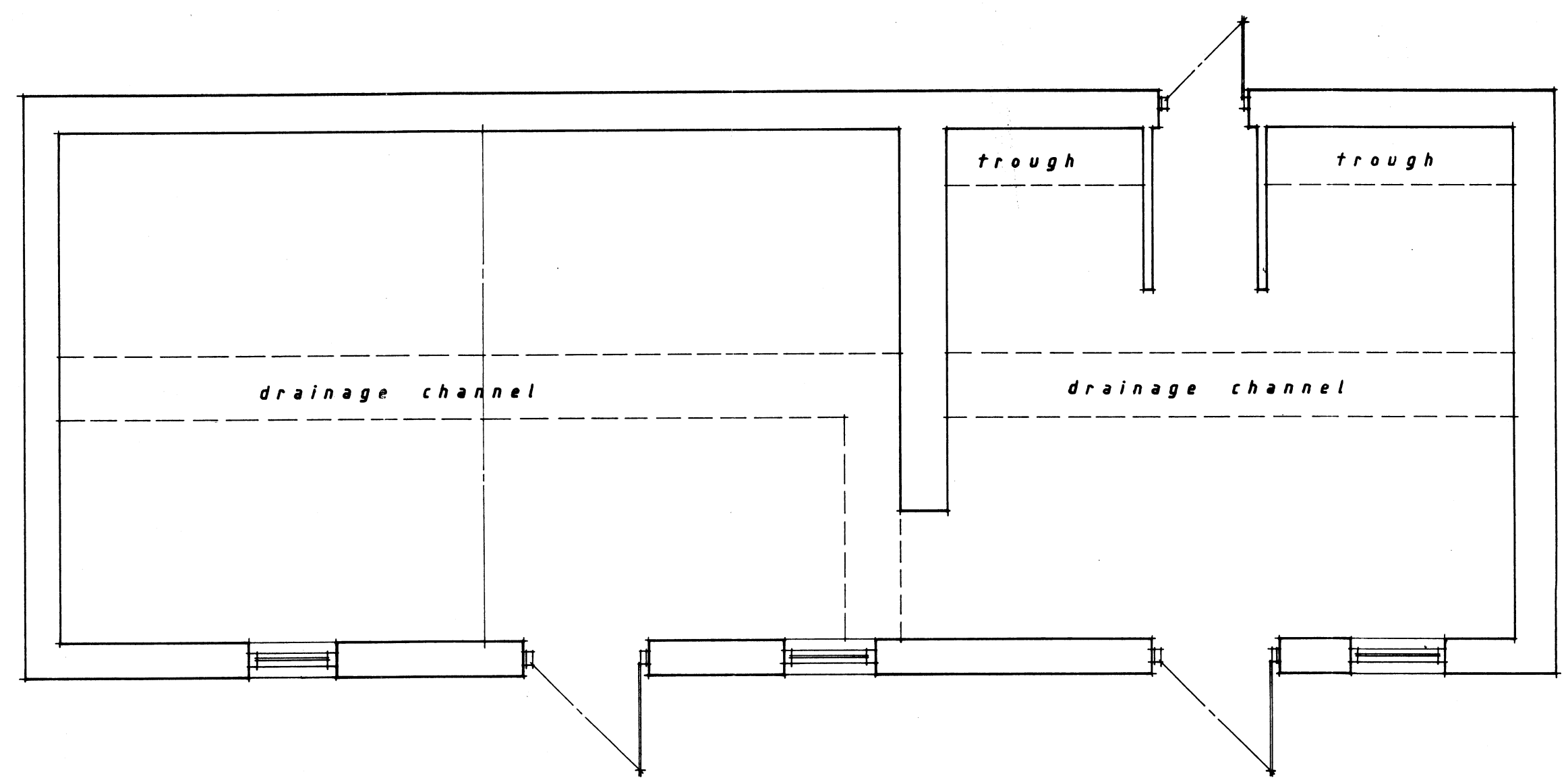
**CLOSE, GRANGER, GRAY & WILKIN**  
 BUILDING AND ENGINEERING CONSULTANTS  
 28 MARKET PLACE, GUISBOROUGH, CLEVELAND. TS14 6HF  
 Tel. 01287 635616

DRAWN	TRACED	CHECKED	APPROVED	DATE	SCALE
J. G.				NOV 07	1:50 1:100

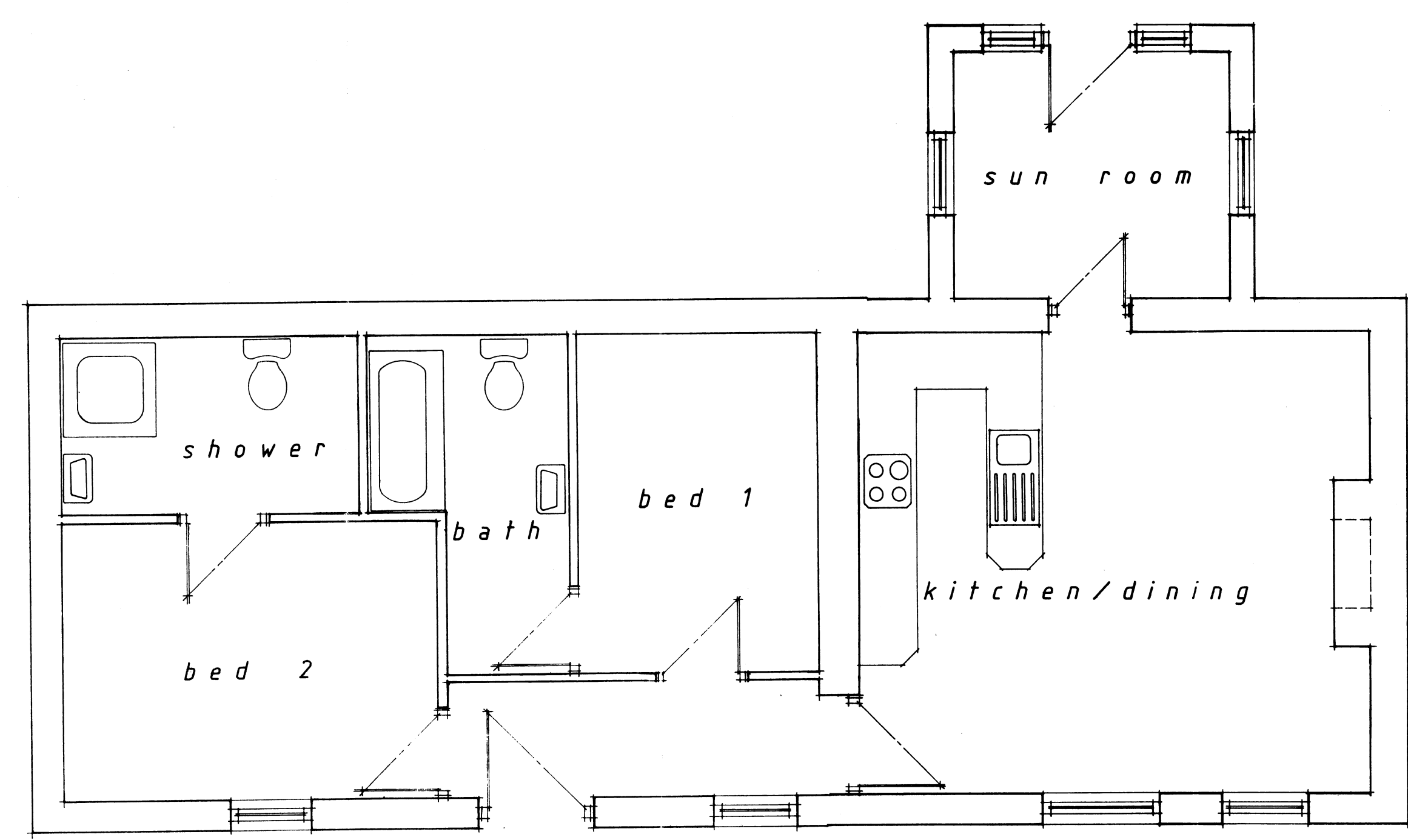
**DRAWING No. 07/130/02<sup>c</sup>**

NYM 0091/LB  
 NYMNP  
 13 FEB 2008

DRG- No.



existing elevations



proposed elevations

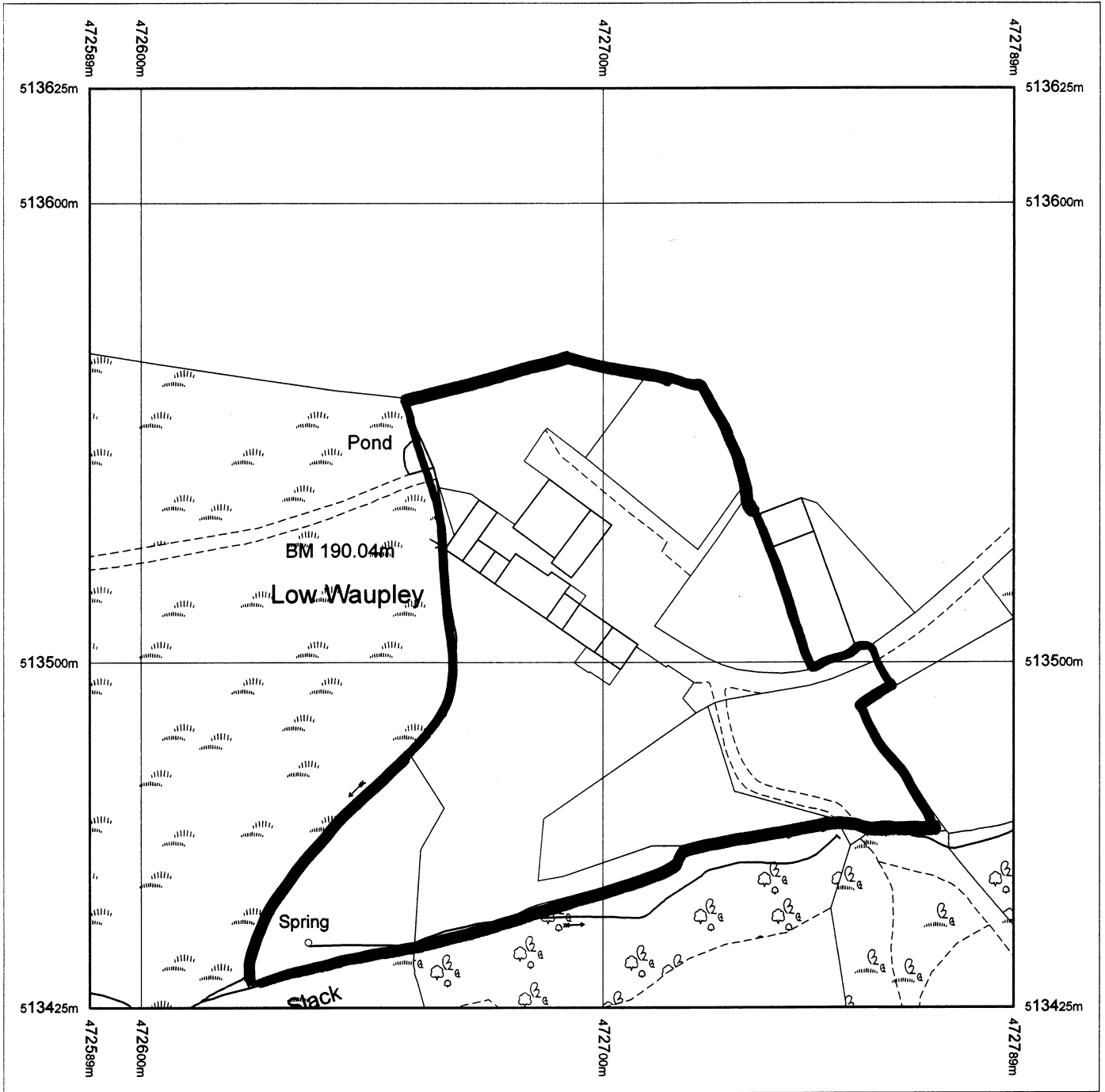
CC	LAYOUT AMENDMENTS - CLIENT REQUEST		13.12.07	
B	LAYOUT AMENDED - BETH DAVIES COMMENTS		8.12.07	
A	SHOWER REMOVED		24.11.07	
No.	DESCRIPTION	CHK'D	APP'D	DATE
ALTERATIONS				

PROPOSED CONVERSION OF BARNS TO BUNK HOUSE / HOLIDAY COTTAGE,  
 LOW WAUPLEY FARM, EASINGTON, SALTBURN BY SEA

**CLOSE, GRANGER, GRAY & WILKIN**  
 BUILDING AND ENGINEERING CONSULTANTS  
 28 MARKET PLACE, GUISBOROUGH, CLEVELAND. TS14 6HF  
 Tel. 01287 635616

DRAWN	TRACED	CHECKED	APPROVED	DATE	SCALE
J.G.				NOV 07	1:50 1:100

DRAWING No. 07/130/01<sup>C</sup>



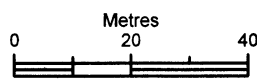
Produced 16.11.2007 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. © Crown Copyright 2007.

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The representation of a road, track or path is no evidence of a right of way.

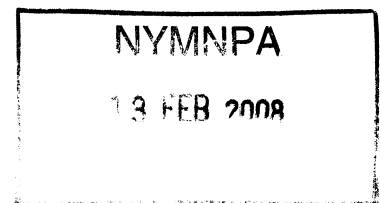
The representation of features as lines is no evidence of a property boundary.

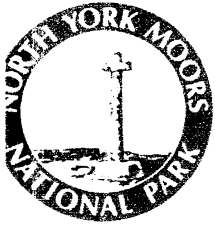


Scale 1:1250

Supplied by: **The Business Shop**  
Serial number: 00105300  
Centre coordinates: 472689 513525

Further information can be found on the OS Sitemap Information leaflet or the Ordnance Survey web site:  
[www.ordnancesurvey.co.uk](http://www.ordnancesurvey.co.uk)





NYM / 2008 / 0091 / LB

Telephone: 01439 770657  
Email: dc@northyorkmoors-npa.gov.uk  
Website: www.moors.uk.net

Grid Ref N272702, 13505

Application for listed building consent for alterations, extension or demolition of a listed building.  
Planning (Listed Buildings and Conservation Areas Act) 1990

Publication of planning applications on council websites

08/91

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

PTI

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

1. Applicant Name and Address

Title:  First name:

Last name:

Company (optional):

Unit:  House number:  House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Country:

Postcode:

2. Agent Name and Address

Title:  First name:

Last name:

Company (optional):

Unit:  House number:  House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Country:

Postcode:

3. Description of Proposed Works

Please describe the proposals to alter, extend or demolish the listed building(s):

1. RE-ROOF BARN TO MATCH EXISTING
2. CONVERT BARN TO HOLIDAY COTTAGE
3. CONVERT BARN TO RAMBLERS COTTAGE

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### 3. Description of Proposed Works (continued)

Has the work already started without consent?  Yes  No

If Yes, please state when the work was started (DD/MM/YYYY):

(date must be pre-application submission)

Has the work been completed without consent?  Yes  No

If Yes, please state the date when the work was completed (DD/MM/YYYY):

(date must be pre-application submission)

### 4. Site Address Details

Please provide the full postal address of the application site.

Unit:  House number:  House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Postcode (optional):

Description of location or a grid reference. (must be completed if postcode is not known):

Easting:  Northing:

Description:

### 5. Related Proposals

Are there any current applications, previous proposals or demolitions for the site?  Yes  No

If Yes please describe and include the planning application reference number(s), if known:

Description	Reference number

### 6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?  Yes  No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much as possible:

Officer name:

Reference:

Date (DD/MM/YYYY):  (must be pre-application submission)

Details of pre-application advice received?

### 7. Neighbour and Community Consultation

Have you consulted your neighbours or the local community about the proposal?  Yes  No

If Yes please provide details:

### 8. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the council?  Yes  No

If Yes, please provide details:

9. Materials

Please provide a description of existing and proposed materials and finishes to be used in the building (demolition excluded):

	Existing (where applicable)	Proposed	Not applicable	Don't Know
External walls	MIXTURE OF COURSED NATURAL STONE + RED BRICK	AS EXISTING	<input type="checkbox"/>	<input type="checkbox"/>
Roof covering	PANTILES + CORRUGATED SHEETS	PANTILES ONLY.	<input type="checkbox"/>	<input type="checkbox"/>
Chimney			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Windows	TIMBER FRAMES	AS EXISTING	<input type="checkbox"/>	<input type="checkbox"/>
External doors	TIMBER	TIMBER	<input type="checkbox"/>	<input type="checkbox"/>
Ceilings	NONE	U/S RAFTERS - WITH RAFTERS & PURLINS PARTIALLY EXPOSED AS AGREED	<input type="checkbox"/>	<input type="checkbox"/>
Internal walls	NATURAL STONE/BRICK	AS EXISTING. NEW WILL BE ROUGH PLASTER FINISH	<input type="checkbox"/>	<input type="checkbox"/>
Floors	CONCRETE & PAVING	PAVING + CONCRETE SCREED OVER INSULATION	<input type="checkbox"/>	<input type="checkbox"/>
Internal doors	NONE	TIMBER-PANELED	<input type="checkbox"/>	<input type="checkbox"/>
Rainwater goods	UPVC	AS EXISTING	<input type="checkbox"/>	<input type="checkbox"/>
Boundary treatments (e.g. fences, walls)			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Vehicle access and hard standing			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lighting			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Others (add description)			<input checked="" type="checkbox"/>	<input type="checkbox"/>

Are you supplying additional information on submitted drawings or plans?

Yes

No

- 5 FEB 2008

Yes, please state plan(s)/drawing(s) references:

07/130/01<sup>c</sup>, 02<sup>c</sup>, 03 + 04 + WRITTEN WORK SCHEDULE.

**10. Demolition**

Does the proposal include the partial or total demolition of a listed building?  Yes  No

If Yes, which of the following does the proposal involve?

- a) Total demolition of the listed building:  Yes  No
- b) Demolition of a building within the curtilage of the listed building:  Yes  No
- c) Demolition of a part of the listed building:  Yes  No

If the answer to c) is Yes:

i) What is the total volume of the listed building?(cubic metres)	
ii) What is the volume of the part to be demolished?(cubic metres)	
iii) What was the (approximate) date of the erection of the part to be removed? (MM/YYYY) (date must be pre-application submission)	

Please provide a brief description of the building or part of the building you are proposing to demolish:

When is it necessary to demolish or extend (as applicable) all or part of the building(s) and or structure(s)?

**11. Listed Building Alterations**

Do the proposed works include alterations to a listed building?  Yes  No

If Yes, do the proposed works include: (you must answer each of the questions)

- a) Works to the interior of the building?  Yes  No
- b) Works to the exterior of the building?  Yes  No
- c) Works to any structure or object fixed to the property (or buildings within its curtilage internally or externally)?  Yes  No
- d) Stripping out of any internal wall, ceiling or floor finishes (e.g. plaster, floorboards)?  Yes  No

If the answer to any of these questions is Yes, please provide plans, drawings, photographs sufficient to identify the location, extent and character of the items to be removed, and the proposal for their replacement, including any new means of structural support and state references for the plan(s)/drawing(s):

WRITTEN WORK SCHEDULE & DRNGS  
 SHOW AREAS TO BE RETAINED &  
 METHOD OF TREATING AS PER  
 DISCUSSIONS ON SITE -  
 I.E. PARTIALLY SHOW RAFTERS - &  
 PURLINS.  
 EXPOSE TRUSSES  
 RE-LOCATE TROUGHS  
 RETAIN CHORDS.

**12. Listed Building Grading**

Please state the grading (if known) of the building in the list of Buildings of Special Architectural or Historic interest? (Note: only one box must be ticked)

- Grade I  Ecclesiastical Grade II
- Grade II  Ecclesiastical Grade II\*
- Grade II\*  Don't know
- Ecclesiastical Grade I

**13. Immunity From Listing**

Has a Certificate of Immunity from Listing been sought in respect of this building?

- Yes
- No
- Don't know

If Yes, please provide the result of the application:

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 - 5 FEB 2008

14. Certificates (continued)

CERTIFICATE OF OWNERSHIP - CERTIFICATE D

Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990

I certify/ The applicant certifies that:

Certificate A cannot be issued for this application

All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

The steps taken were:

Empty box for describing steps taken.

Notice of the application has been published in the following newspaper circulating in the area where the land is situated):

Empty box for newspaper name.

On the following date (which must not be earlier than 21 days before the date of the application):

Empty box for date.

Signed - Applicant:

Empty box for applicant signature.

Or signed - Agent:

Empty box for agent signature.

Date DD/MM/YYYY:

Empty box for date.

15. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

3 copies of a completed and dated application form:

3 copies of other plans and drawings or information necessary to describe the subject of the application:

3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North:

3 copies of the completed, dated Ownership Certificate (A, B, C, or D - as applicable):

16. Declaration

I hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant:

Empty box for applicant signature.

Or signed - Agent:

Redacted box for agent signature.

Date (DD/MM/YYYY):

14-01-08

(date cannot be pre-application)

17. Applicant Contact Details

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

18. Agent Contact Details

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

19. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?  Yes  No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)  Agent  Applicant  Other (if different from the agent/applicant's details)

If other has been selected, please provide:

Contact name:

Telephone number: - 5 FEB 2008

Email address:



# CLOSE, GRANGER, GRAY & WILKIN

BUILDING AND ENGINEERING CONSULTANTS, SURVEYORS AND  
PLANNING SUPERVISORS

NYM / 2008 / 0091 / LB

28 MARKET PLACE, GUISBOROUGH, CLEVELAND, TS14 6HF.

Telephone/Fax [REDACTED]  
email [REDACTED]

## DESIGN & ACCESS STATEMENT

FOR

LOW WAUPLEY FARM, EASINGTON

FOR MR & MRS SNEE

TS13 4TY

**DATE:-** 18<sup>th</sup> December 2007

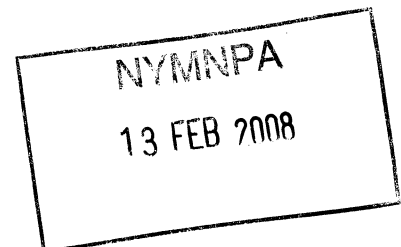
**SCHEME:-** Conversion of existing outbuildings into a Holiday Cottage and Ramblers Bunk House..

**APPLICANT:-** Mr & Mrs Snee

**PROPOSED USE:-** Holiday & residential

**SCALE OF SITE:-** An existing non working farm house with attached and detached outbuildings.

**DESIGNATION:-** Residential/commercial.



1.0 **INTRODUCTION**

- 1.1 The following design statement has been prepared in support of the Planning Application submission by Mr & Mrs Snee of Low Wapley Farm, Easington.
- 1.2 The application seeks the conversion of 2no. outbuildings, one detached and one attached to the main farmhouse, to a holiday cottage and ramblers bunk house, and for the re-roofing of a third outbuilding.
- 1.3 The design statement has been carried out in accordance with Planning Policy Statement 1. This statement attempts to prove the proposals provide for development that is compatible with the site surroundings and the proximity to a Listed Building.

2.0 **Site Analysis**

- 2.0 The site is a non working farm, outwith current development limits; with the farmhouse being a Listed Building.
- 2.1 The site is approximately 0.4 hectares and is currently used for domestic residential purposes.
- 2.2 The site is located within 1.0m North of the A171 Guisborough to Whitby Road and within 1.0m West of Grinkle Lane, Easington.
- 2.3 The site is bounded by open fields on all sides with the main access being from Grinkle Lane to the East via a rough track

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### 3.0 **Policies**

3.1 The policies to consider are:-

Policy Gen 1 - general principles

Policy env 10 - Listed Buildings

Policy H5 - Dwelling size, type and density.

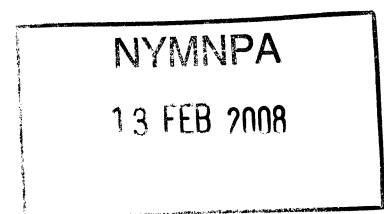
### 4.0 **Design Principles**

4.1 Clients objective is to create a high quality conversion of existing buildings within the curtilage of the dwelling house site which will respect the setting and character of the Listed Building and its surroundings.

4.2 Development of the buildings for alternative use will represent a sustainable form of development as well as the restoration of buildings within the curtilage of the Listed Building, all of which would improve the setting of the Listed Building.

4.3 It is intended to reinstate the units via a sympathetic conversion scheme, i.e. removal of disused fabricated units and modern blockwork buildings which, in conjunction with improvement of the dwelling entrance and courtyard will emphasise the character of the curtilage of the Listed Building

4.4 The design includes retention of all existing structures and structural elements, i.e. a mixture of stone and brick walls with timber windows and doors and pantile roof, all of which will retain the existing appearance of the existing buildings, albeit repaired and upgraded to a higher standard than present.



- 4.5 Internal features, such as trusses, rafters and stone troughs will all be retained as much as possible in their current condition, and fully or partially exposed as part of the conversion and upgrade process.
- 4.6 A 3.0m x 3.0m 'sun room' extension is proposed to the holiday cottage, which will be constructed in the same external materials and to the same visual appearance as the existing outbuilding, in order to retain the character of the building and it's surroundings.
- 4.6 The design will incorporate all features as required within current Building Regulations and the DDA to provide for disabled access.

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BUILDING AND ENGINEERING CONSULTANTS, SURVEYORS AND  
PLANNING SUPERVISORS

NYM / 2008 / 0091 / LB

28 MARKET PLACE, GUISBOROUGH, CLEVELAND, TS14 6HF.

Telephone/Fax 01275 332119  
email [REDACTED]

## SPECIFICATION NOTES

FOR CONVERSION OF UNIT WITHIN

CURTILAGE OF LISTED BUILDING TO

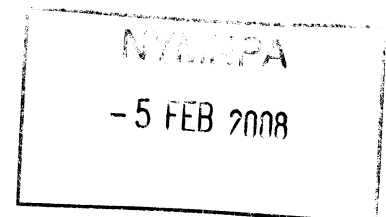
HOLIDAY COTTAGE

LOW WAUPLEY FARM, EASINGTON

DEC 2007

To be read in conjunction with drawing nos.

07/130/01C, 02C, 03 & 04



**NOTES**

Contractor to be responsible for all setting out and all dimensions to be checked on site before work commences and any discrepancies to be noted immediately

Do not scale this drawing, use stated dimensions only.

Contractor to ensure all excavations are securely shored where necessary.

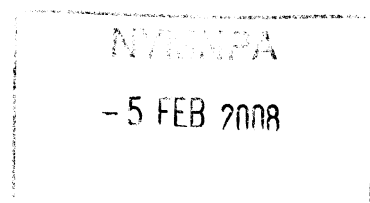
Contractor must operate a safe system of work at all times and must take all reasonable steps to protect Health & Safety of site personnel, building occupants and visitors to the site (including trespassers).

Contractor must maintain adequate Public Liability insurance and the site must be left secure at the end of each working day, throughout weekends and statutory holidays.

Contractor to be responsible for supply, fixing and maintaining all necessary temporary works during programme of works.

Contractor to take all reasonable steps to control noise, dust and vibration.

Contractor to supply, erect & maintain all necessary secure fencing to protect site and prevent access to general public.



**Holiday cottage - main unit****Walls****Type 1.**

Existing perimeter walls to North, West & South to be one layer 27mm thick Knauf Polyfoam Linerboard on vapour control layer on 50mm wide timber stud wall - core filled with 50mm Knauf Rocksil RS45 flexi-slab - with timber stud wall being constructed independently from party wall with 25mm gap between the two faces. Rough plaster finish to all

**Type 2.**

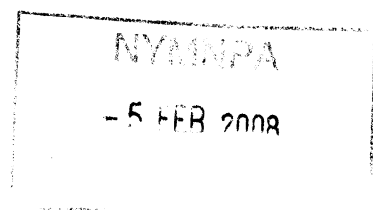
New cross wall between bathroom and bedroom to be 50 x 30mm timber studs with one layer 9.5mm Knauf Standard Wallboard one face and two layers 9.5mm Knauf Standard Wallboard other face. Studwork to be core filled with Knauf Crown Acoustic Partition Roll (unfaced) and compressed within cavity. Rough plaster finish to all

**Type 3.**

New cross walls between en-suite /bed and between bed/corridors to be 38 x 75mm timber studs at 600mm centres core filled with Crown CS32 universal slab and one layer 9.5mm plaster board each face. Rough plaster finish to all

**Type 4.**

Feature wall to internal gable elevation to be new internal leaf of fair faced coursed natural stone set 50mm from internal face of existing wall, with cavity fully filled with Crown cavity dri-therm cavity slab. Rough plaster finish to all



**Type 5.**

Changes of doorways to window openings to be made good by recessed external leaf of brick/stonework - as necessary, with vertical dpm, 85mm cavity filled with Crown dri-therm cavity slab and internal finish of wall type 1. Rough plaster finish to all

**Type 6.**

Existing masonry cross walls to be cleaned by bristle brush, defective pointing raked out and repointed to smooth finish.

**Existing Stonework**

Rake out existing horizontal and vertical joints with care, avoiding raking of the stone surface within the joint depth and on the face. Rake to a min. 25mm to sound mortar, but to a maximum of 75mm. De-dust joints and moisten stone face and joint sides immediately prior to re-jointing & repoint using a 1:2:9 white cement, Lime & sand (comprising 45% graded sharp sand & 55% builders yellow sand). Pointing should be finished flush and stiff bristle brushed back to a nominally recessed finish. Do not smooth over - leave to cure and spray lightly with water to prevent shrinkage.

**New Stonework**

Should be chosen to match the existing in colour, dressing/texture & size. The coursing should match the existing and pointing should match that in item 1.



**Existing Brickwork**

As per existing stonework, but for depth to be max 25mm.

**New Brickwork**

As per new stonework, but finish pointing slightly weatherstruck.

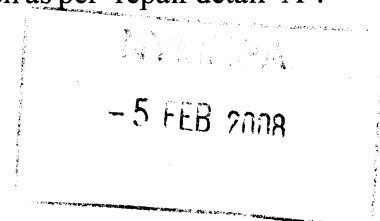
**Internal Wall Face**

All existing perimeter and cross walls to be retained, should be treated to provide a damp proof finish to a height of at least 1.0m above the new floor damp proof membrane level. This is to be achieved by applying a limelite system:- carefully remove existing render/paint and stiff bristle brush back to a sound face. Rake out internal vertical and horizontal joints to a depth of 20mm. De-dust wall face and apply a slurry coat of limelite easy-bond followed by a max 11mm coat of Limelite renovating plaster floated out with same mix and allowed to dry for a minimum of 36 hours before applying a finish coat of limelite high impact finishing plaster.

**Roof**

**Existing timber roof frames**

All existing timbers to be further & fully inspected when existing roof covering is removed and full exposure is possible from all sides. Particular attention is to be paid to wall plates. These should have solidity and be fully fixed/bedded to the wall top. If a contrary situation exists then the plate should be replaced with a new tanalised section which should be anchor bolted to wall top @ max 2.0m centres. The existing purlins, truss, rafters and chords should also be inspected & particular attention paid to the bearing ends which should display solidity. If a contrary situation exists then a replacement of the bearing end may be undertaken as per 'repair detail 'A'.



All timbers are to be treated with Cuprinol Clear insecticidal liquid and bearing ends (not to be exposed) treated with Cuprinol 5 Star combined insecticide/fungicide. Existing chords to East section to be cut out entirely and replaced with new to match existing appearance, section size etc, preservative treated and fully fixed to wall plate/roof carcass as above.

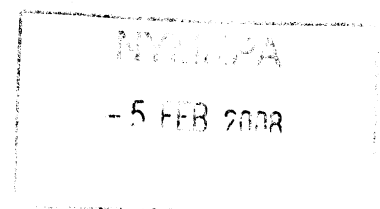
Existing roof covering of pantiles and corrugated sheeting to be removed and pantiles retained for re-use on completion. All defective members of rafters and battens to be cut out and replaced with new treated timber sections to match existing. Rafters to be doubled up as shown in location of conservation garde roof lights to new bathroom areas, with timber trimmers of same section size as rafters to head & base of roof lights positions. F1 type sarking felt to be laid over battens and existing pantiles to be fixed as per standard practise to match existing.

### **Roof area 1.**

Existing rafters to be increased in depth by addition of 50mm wide x 60mm deep timber sections. 90mm Knauf Crown Frame 35 placed between rafters to leave a min 50mm air gap between top side of insulation and u/s of roof covering. 45.5mm + 9.5mm Knauf Crown frame fixed to u/s of insulation & extended rafters with rough finish plaster skim to u/s. All insulation to be placed between purlins, which will be partially exposed.

### **Roof area 2.**

Existing rafters to be increased in depth by addition of 50mm wide x 140mm deep timber sections. 90mm Knauf Crown Frame 35 placed between rafters to leave a min 50mm air gap between top side of insulation and u/s of roof covering with 45.5mm + 9.5mm Knauf Crown frame fixed to u/s of insulation & between extended rafters with rough finish plaster skim to u/s. All insulation to be placed between purlins, which will be partially exposed along with extended rafter sections.



**Truss**

New wall type 2 to be extended to u/s of existing truss, with all openings in truss to be made good with 30mm thick timber batten frame fixed centrally to truss section, 30mm Rocksilks RS45 flexi-slab placed between battens to entirely infill truss and 9.5mm standard wall board fixed each side with rough plaster finish to all, leaving a recess each side of 10mm - i.e. truss profile both sides to be fully exposed and enhanced by infill detail.

**Chords**

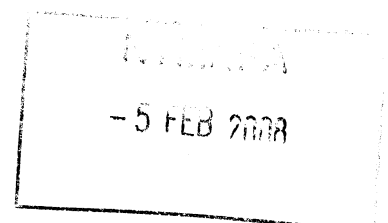
Both chords to be cut out and replaced with rough hewn timbers to match existing in size and appearance, fully connected to wall plate/

**Floor**

Existing floor to be carefully broken out and reduced in level to allow for 65mm concrete screed to B.S. 8204 pt 1, over isolating membrane over 75mm thick polyfoam floorboard, 30mm thick to screed perimeter, over 150mm C30 concrete slab over 1200 gauge visqueen over 150mm well compacted dolomite sub base.

**Window/door frames**

Existing timber frames to windows and door openings to be retained where possible and practical, with any rotten sections to be splice cut out and replaced with spliced, pinned and glued timber of matching type and density. Any frames/units deemed unacceptable for retention are to be carefully removed and replaced with new units of matching type, density and appearance.





## Walls

New walls to be 125mm fair faced natural coursed stonework to match existing, 75mm cavity fully filled with 75mm thick Crown dri-therm cavity slab, 100mm internal leaf of thermalite turbo block and 9.5mm plasterboard and rough finish plaster skim to give a minimum U value of 0.28W/m<sup>2</sup>K.

Stainless steel wall ties to be fixed at 900mm horizontal spacings and 450mm vertical spacings - staggered.

Where new walls abut existing walls, new walls to be tied into existing with D.P.M. where necessary and crocodile type ties affixed at vertical junction and a strip of flexible polysulphide sealant and insulation fitted to prevent cold bridging.

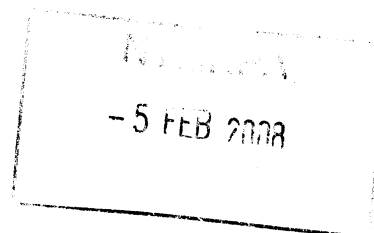
All Catnic lintols to be of length to suit opening, min 150mm seating each end, with weep joints to perpend above lintol, min 450mm apart.

All cavities to be continuous.

All cavities closed off at window and door reveals using Thermabate Cavity Closure positively fixed to construction and capable of minimum 30 mins fire protection, ensuring adequate d.p.m.

Catnic CN3A lintols to be used over external openings.

All Catnic lintols to be of length to suit opening, min 150mm seating each end, with weep joints to perpend above lintol, min 450mm apart.



**Floor**

Existing floor to be carefully broken out and reduced in level to allow for 65mm concrete screed to B.S. 8204 pt 1, over isolating membrane over 75mm thick polyfoam floorboard, 30mm thick to screed perimeter, over 150mm C30 concrete slab over 1200 gauge visqueen over 150mm well compacted dolomite sub base.

**Roof**

New roof to be interlocking tiles laid in accordance with manufacturers instructions on 25 x 38mm treated timber battens on type F1 sarking felt over 47 x 100mm C16 rafters at 450mm centres with all rafters fixed to 100 x 50mm wall plate with wall plate strapped to new wall using 30 x 5mm mild steel straps anchored to internal leaf at 1.0m max intervals as per B.R. A1 Ch 19d.

Code 5 lead flashing to be used throughout.

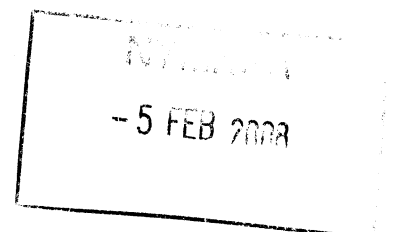
Ceiling joists to be with 47 x 170mm C16 rafters at 450mm crs, with 170mm Rockwool Rollbatts laid between joists and 100mm thick laid perpendicular over ceiling joists to give a min U value of 0.16 W/m<sup>2</sup>k.

9.5mm plasterboard and rough plaster finish to underside .

Proprietary cross flow ventilator to be provided at eaves to provide minimum 25mm air gap.

**ALARM SYSTEM**

1 smoke detector to be installed within corridor and sun room permanently linked to a central alarm system with separate fuse at the distribution board, with all wiring to be pyro cable.



1 heat detector to be installed within kitchen/lounge, permanently linked to a central alarm system with separate fuse at the distribution board, with all wiring to be pyro cable.

Detector to be positioned within 7.0m of kitchen and living room doors and within 3.0m of the bedroom door.

Detector not to be fitted within 300mm of a light fitting.

Installation to conform to I.E.E. regulations.

### VENTILATION/WINDOWS

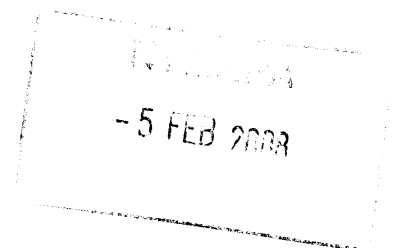
Any new external door and windows to have a maximum U value of 2.20 & 1.80 W/m<sup>2</sup>K respectively.

Sun room windows to be double glazed and argon filled with min 16mm air gap and 'soft' low-e coating to glazing, and fitted with draught/weather seals and an openable area to provide minimum 1/20<sup>th</sup> floor area ventilation.

Any safety glazing to be fitted in accordance with BS 6206 pt 4 to all critical locations, particularly to front windows in mezzanine level within 1.50m of floor level, with metal safety balustrading over these windows permanently fixed to masonry.

Mechanical ventilation to be provided to kitchen to provide min 60l/s air change.

Bathrooms/en-suite to have mechanical ventilation having a rate of 15l/s air change linked to light switch with 15 minute delay, operational by light switch or PIR sensor.



**DRAINAGE**

Surface water drainage to be extended to run to new soakaway - sited minimum 5.0m away from any construction.

Roof drainage to be by 100mm diameter pvcu guttering supported on gutter spikes and to drain through pvcu pipes to trapped gullies into new soakaway as above.

All above ground drainage to conform to BS EN12056.

Any new drainage to be ensured adequate rodding facilities, and laid in accordance with BS882 1983 table 4, or BS8301 1995 Appendix D.

Stub stack with accessible valve to be provided at head of drain to en-suite/bathroom, min 1200mm high and terminating with air inlet valve. To be extended to new proprietary manhole leading to new septic tank to South area.

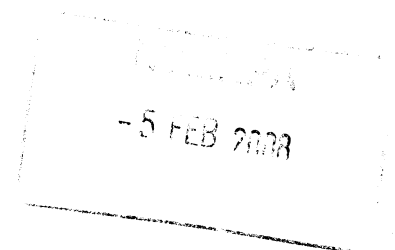
Haunching to be 1.5 opc to sand (50% soft / 50% sharp).

All foul water drainage to run into new foul drainage pipe under floor at a minimum gradient of 1 in 80.

Wash hand basins to have min 40mm waste pipes with 32 mm dia. trap and a seal depth of 75mm.

WCs to have minimum 100mm waste pipes.

Details of any drainage runs and connections on site to be ascertained before work commences and are to be forwarded to Building Control for approval.





**GENERAL**

The electrical installation must be designed, installed, inspected, tested and certified in accordance with BS 7671:2001 Requirements for Electrical Installations (IEE Wiring Regulations 16<sup>th</sup> Edition)

Details of the 'competent person(s) who will be responsible for the design, installation, inspection, testing and certification of the electrical installation will be required by the Local Authority prior to work commencing.

An appropriate Electrical Installation certificate signed by a 'competent person' must be submitted to the Local Authority upon completion of the work on site.

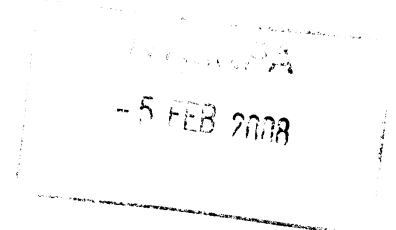
New sockets & light switches to be positioned maximum 1200mm and minimum 450mm from floor level.

Combination condensing boiler with programmable timer & balanced thermostatic control to be used and any flues to the property to be so positioned that they do not allow the waste gases to be pulled into any ventilation units. System to be tested to ensure conformity for a Sedbuk rating of minimum 92%. Suitable guards around vent as necessary. Plumber to supply necessary details to show conformity to L1 and to building control satisfaction in accordance with Regulation 20C & a set of operating and maintenance instructions are to be left for the occupier.

New boilers to be commissioned by qualified persons to ensure operation is at greatest efficiency  
A certificate proving commissioning should be provided to both Client and Building Control.

All radiators to have thermostatically controlled valves as standard.

All pipe work to unheated areas to be insulated with a material with a thermal conductivity not exceeding 0.45 W/mk to a thickness equal to the outside diameter of the pipe up to a maximum of 40mm.



Where service and extract voids run through fire protected construction, these voids should be provided with fire stops to prevent fire spread through to other areas of the building.

All service penetrations should be sealed with 'Glassroc FS Fireseal' or equivalent, fitted to manufacturers instructions.

The material of the enclosure should have a mas of  $15\text{kg/m}^2$  and the enclosure should either be lined or the duct/pipe wrapped within the enclosure with 25mm mineral wool.

DPM to be lapped into the cavity dpc at all locations.

Lean mix cavity fill to be 225mm below dpc level.

High efficiency light fittings, capable only of accepting lamps having a luminous efficacy greater than 40 lumens per circuit-watt, should be provided in rooms or circulation most frequently used, at a rate of 1 per  $25\text{m}^2$  of floor area or 1 per 4 fixed lighting fittings.

Rooflights to be provided with mechanically operated openings, capable of being used from floor level.

Min 800mm clear opening width to be provided to new external door and entrance lobby to be a min 1200mm wide throughout.

