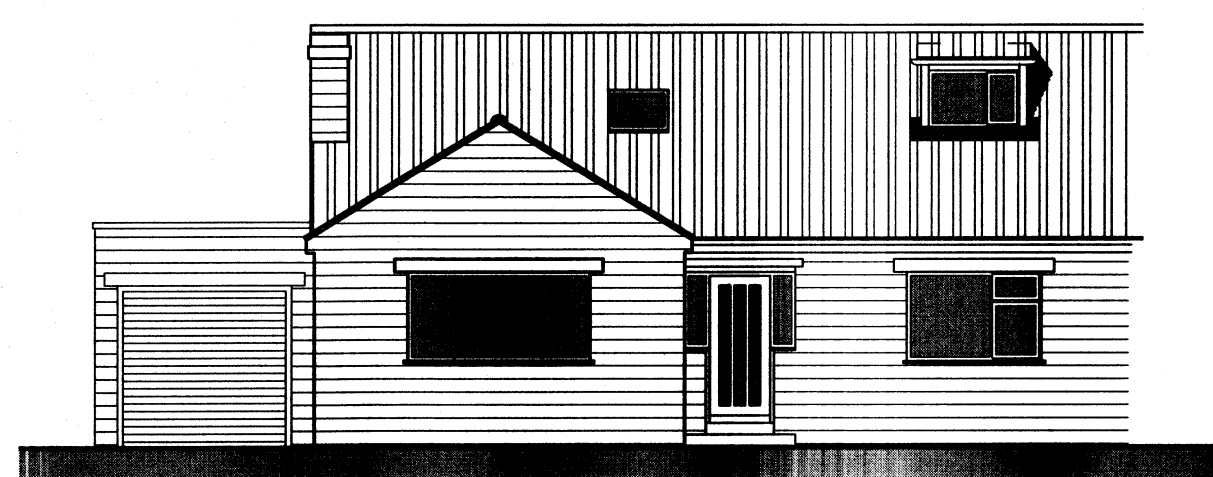
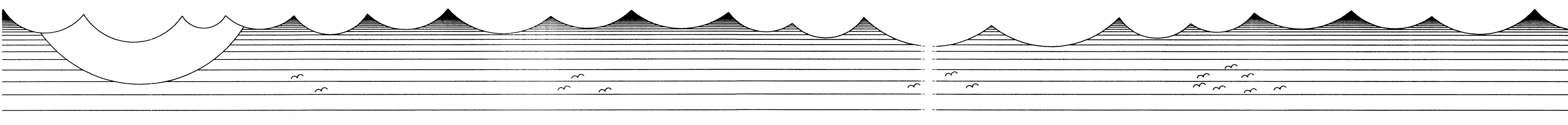


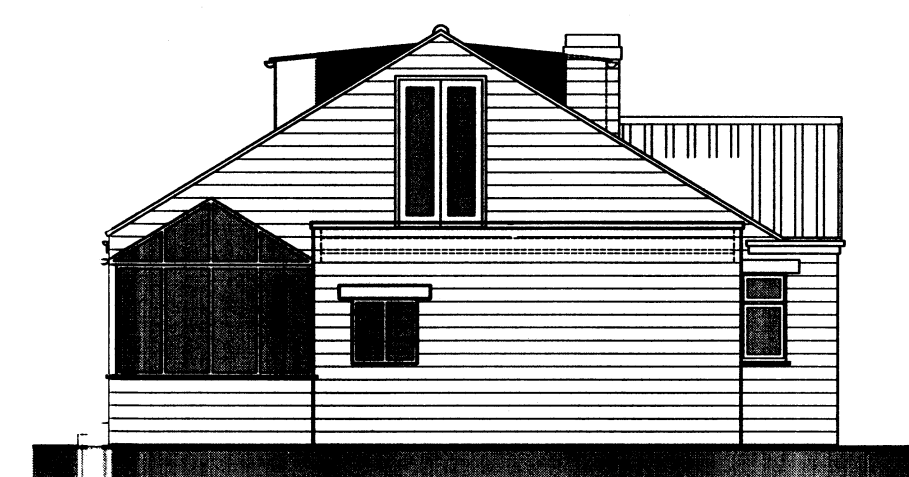
- DO NOT SCALE from this drawing. Only figured dimensions on this drawing.
- The Contractor must verify all dimensions on site before commencing work.
- The Contractor must report any discrepancies before commencing work. If the drawing exceeds the quantities taken in any way, the Contractor must report this before work is initiated.
- Work within The Construction (Design and Management) Regulations must start until a Health & Safety Plan has been produced. This drawing and must not be reproduced without consent of BHD Partnership.

NYM / 2006 / 010

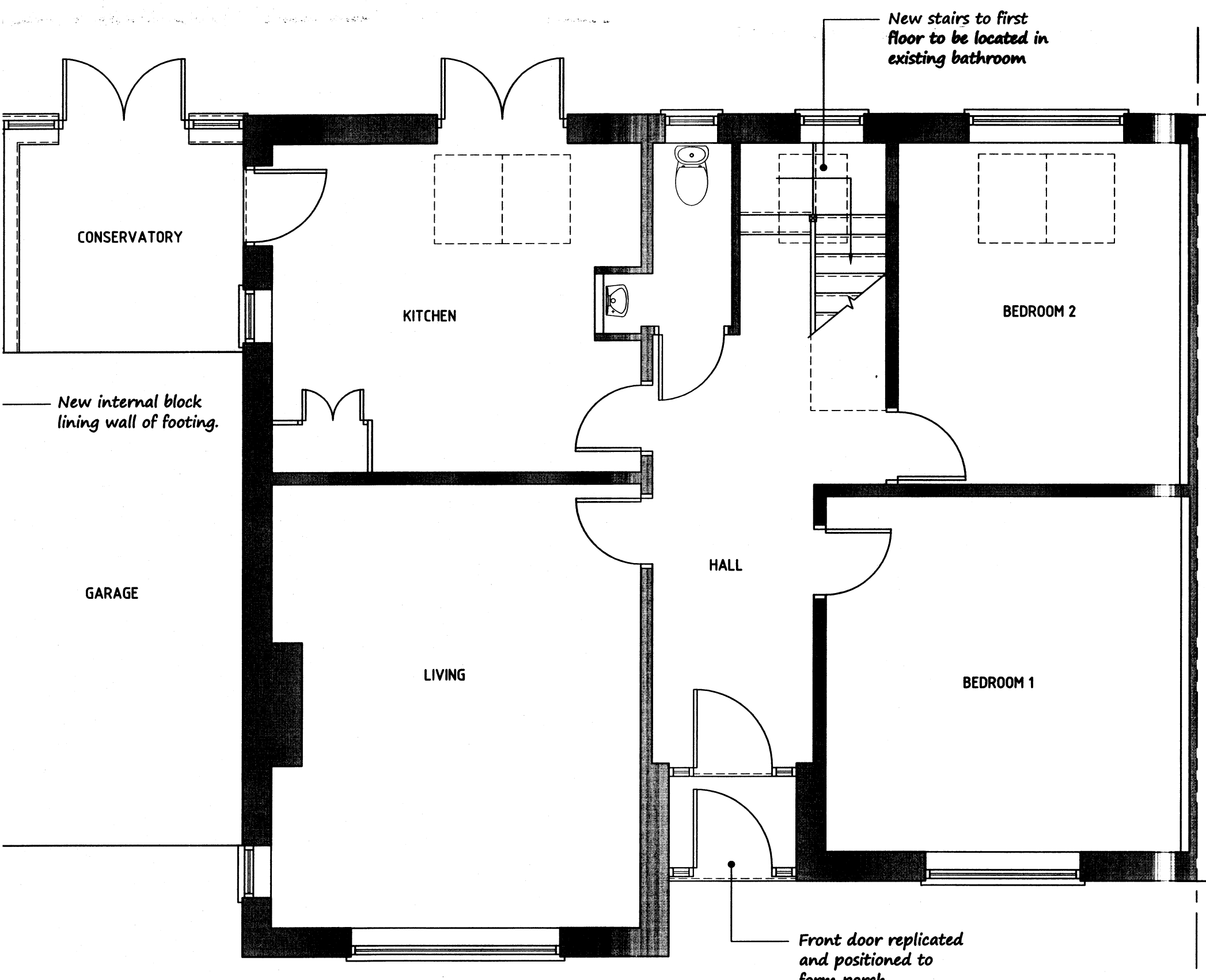
NYMNP  
11 FEB 2008



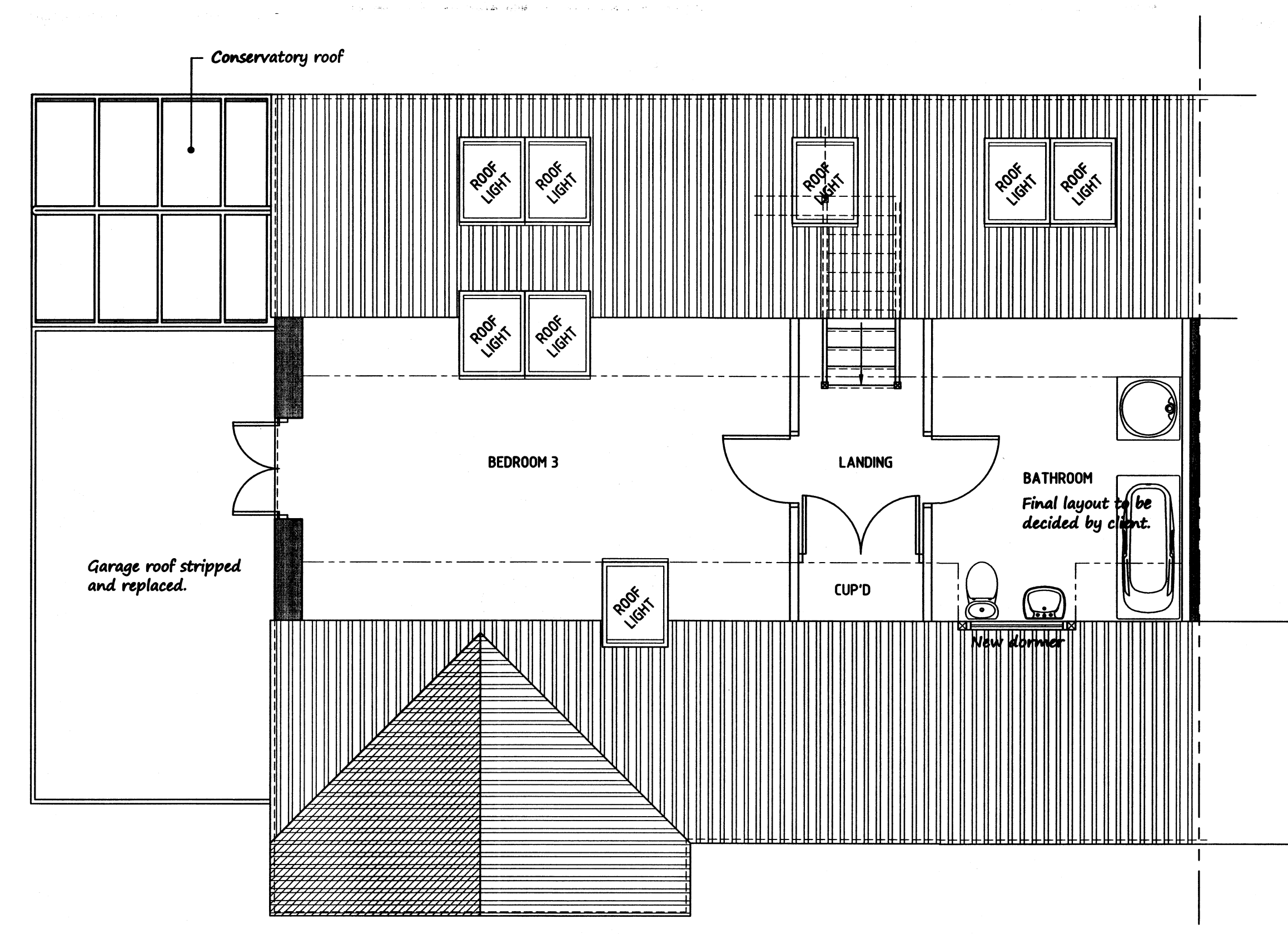
FRONT ELEVATION



SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

REV	DATE	BY	AMENDMENT
C	06.02.08	MD	REMOVED REFERENCE TO TERR
B	05/12/07	KH	GARAGE ROOF ALTERED
A	10 Sep 07	GR	Issued For Approval

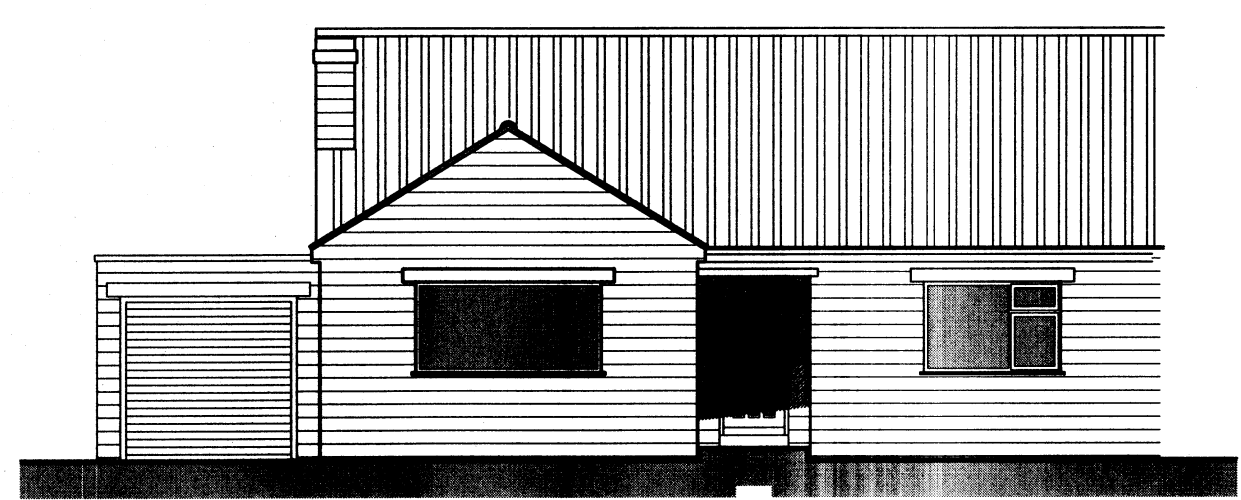
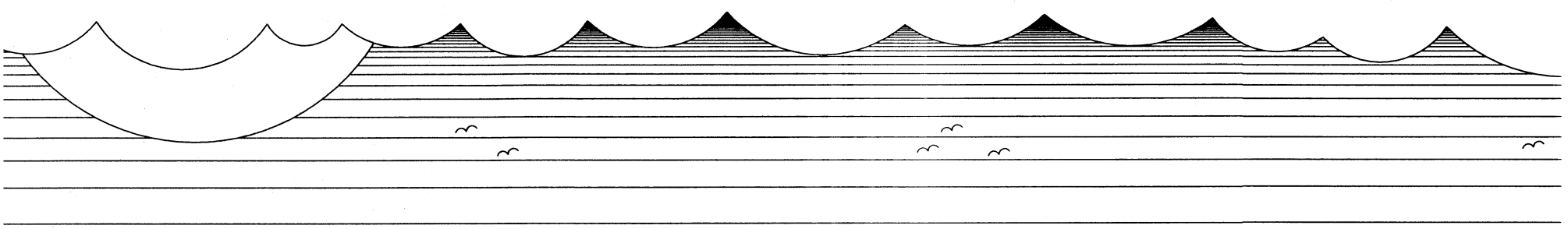
**b h d partner**  
 Airy Hill Manor, Whitby, North Yorkshire, UK  
 Tel: 01947-604871  
 general@bhdpartnership.com www.bhdpartnership.com

DISCIPLINE:	ARCHITECTURAL		
CLIENT:	Ms. J. Jones		
PROJECT:	Alterations to 12 Kingston G Fylingthorpe, Whitby		
TITLE:	Proposed Ground and First Floor		
DRAWN:	G. Reed	CHECKED:	N. I. Duffield
SCALE & SIZE:	1:50 @ A1	DATE:	10 Sep 07
DRAWING No:	D9144-02		

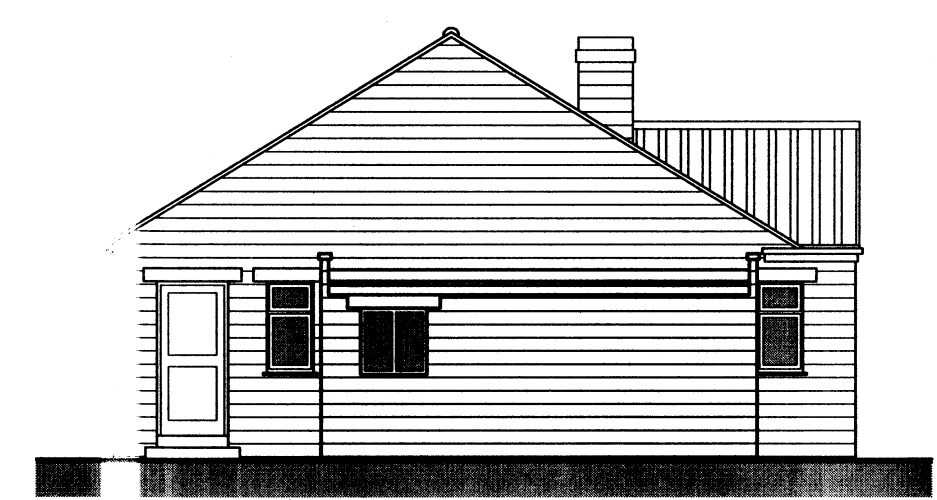
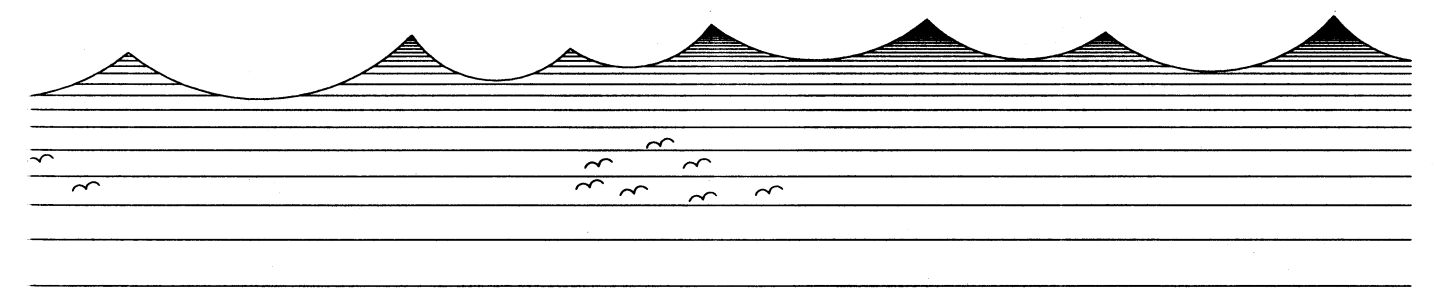
- DO NOT SCALE from this drawing. Only figured dimensions are to be used.
- The Contractor must verify all dimensions on site before commencing work.
- The Contractor must report any discrepancies before commencing work.
- Work within The Construction (Design and Management) Regulations 2007 must not start until a Health & Safety Plan has been produced, and must not be reproduced without consent of BHD Partnership.

NYM / 2008 / 0

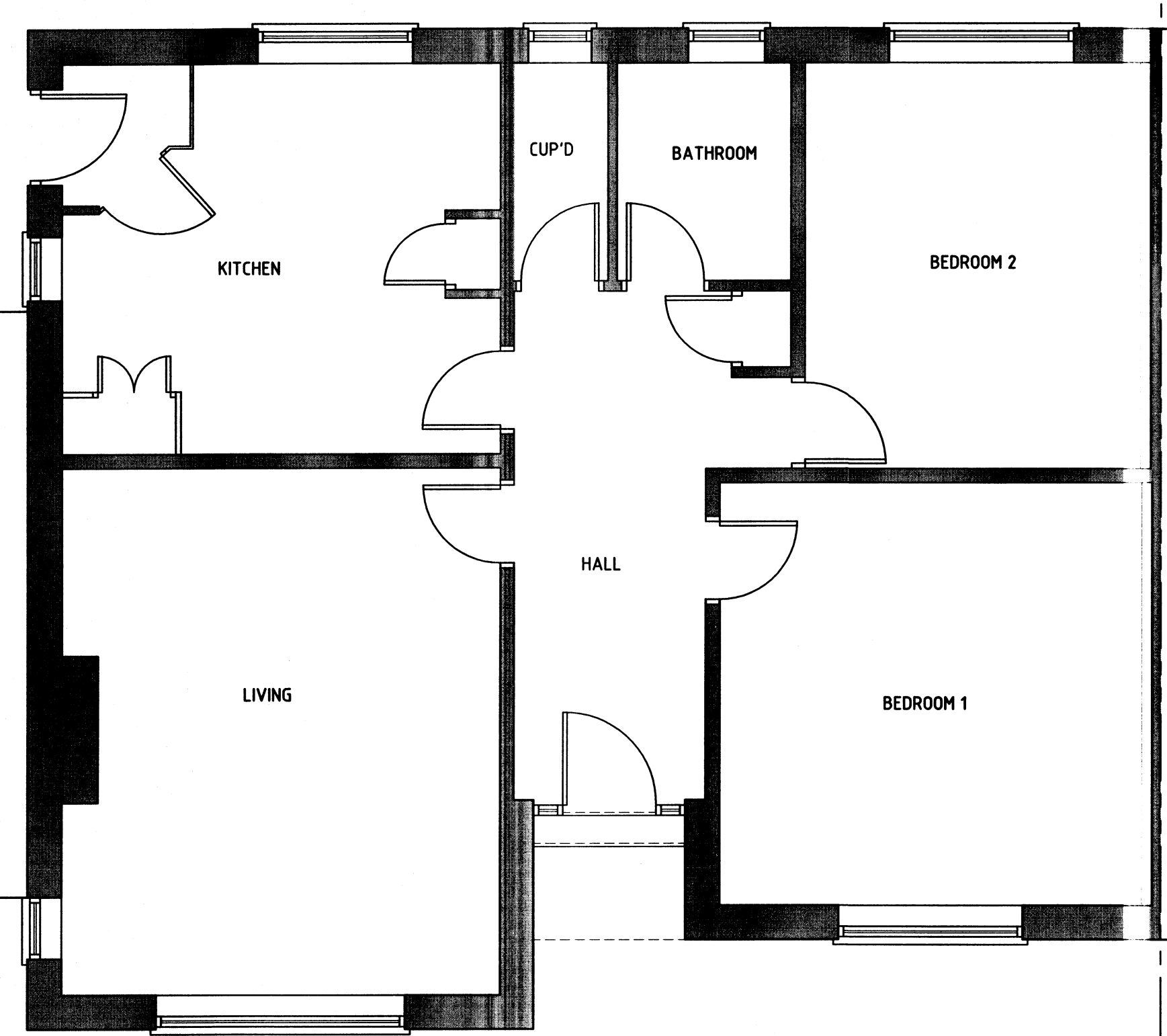
NYMNP  
11 FEB 2008



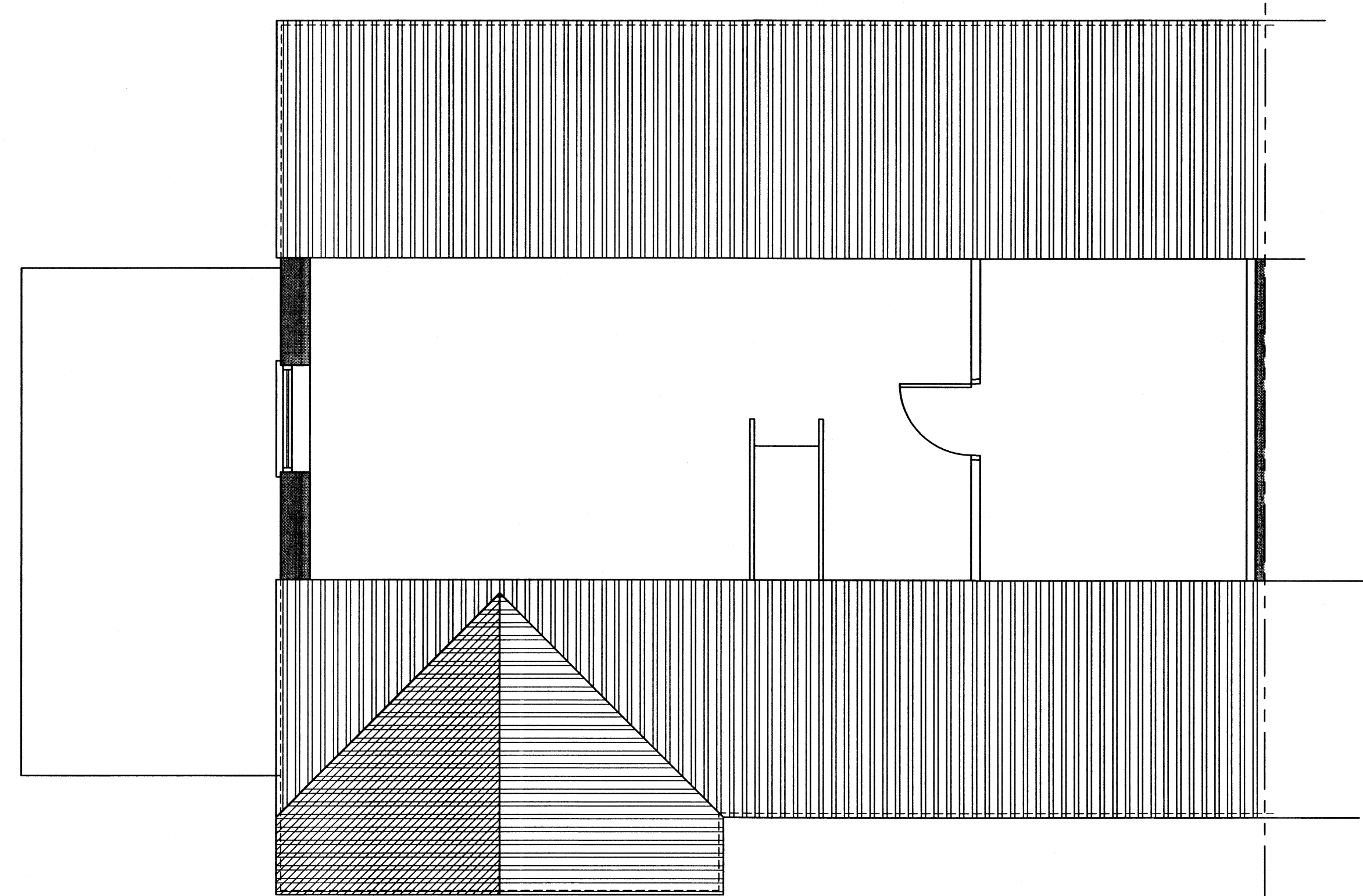
FRONT ELEVATION



SIDE ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

REV	DATE	BY	AMENDMENT
A	10 Sep 07	GR	Issued For Approval

**b h d partne**  
 Airy Hill Manor, Whitby, North Yorkshire,  
 Tel: 01947-604871  
 general@bhdpartnership.com

DISCIPLINE: ARCHITECTURAL

CLIENT: Ms. J. Jones

PROJECT: Alterations to 12 Kingston Fylingthorpe, Whitby

TITLE: Existing Ground and First Floor

DRAWN: G. Reed  
 CHECKED: N. I. Duffield

SCALE & SIZE: 1:50 @ A1  
 DATE: 10 Sep 07

DRAWING No: D9144-01

NYM / 2008 / 0103 / FL

NYMNPA  
11 FEB 2008



<b>b h d partnership</b> Airy Hill Manor, Whitby, North Yorkshire, UK. YO21 1QB. Tel: 01947-604871 Fax: 01947-600010 general@bhdpartnership.com www.bhdpartnership.com		CLIENT: <b>Ms. J. Jones</b>		DRAWING TITLE: <b>Location Plan</b>	
		PROJECT: <b>12 Kingston Garth, Fylingthorpe</b>		A4	DRN: <b>K. Hoang</b>
	05/12/07	KH	ISSUED FOR PLANNING		SCALE: <b>1:1250</b>
V	DATE	BY	AMENDMENT	CHKD	APVD
				DRAWING NR: <b>D9144-03</b>	
				REV: <b>A</b>	

P41 08/103  
Grid Ref NZ 94281,04803

Resubmission.

# Householder Application

NYM / 2008 / 0 1 0 3 / F L



## Organisation

Name	Title	Forename	Surname
	Ms	Jean	Jones

Name or flat number

Property number or name

Street

Locality

Town

County

Postal Town

Postcode

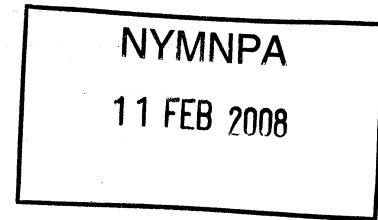
Brown Lea Cottage

Brook Garth

Robin Hoods Bay

Whitby

YO22 4TT



Telephone No.

Daytime Telephone No.

Fax No.

Email Address

DX Number

Telephone No.

Extn No.

NYM / 2008 / 0103 / FL

**Organisation**

BHD Partnership

**Name**

Title	Forename	Surname
Mr	Neil	Duffield

**Name or flat number**

**Property number or name**

Airy Hill Manor

**Street**

Waterstead Lane

**Locality**

Airy Hill

**Town**

Whitby

**County**

North Yorkshire

**Postal Town**

**Postcode**

YO21 1QB

**Telephone No.**

**Telephone No.**

**Extn No.**

01947 604871

**Daytime Telephone No.**

**Fax No.**

01947 604871

**Email Address**

neil.duffield@bhdpartnership.com

**DX Number**

<p>NYMNPA</p> <p>11 FEB 2008</p>
----------------------------------

**NYM / 2008 / 0103 / FL**

Site Address

11.1 ADJ. 100 100 100

Name or flat number

Property number or name

Street

Locality

Town

County

Postal Town

Postcode

UPRN

Location

12

Kingston Garth

Fylingthorpe

Whitby

YO22 4TT

0

**Development Description**

New Roof Dormer

**NYMNPA**  
**11 FEB 2008**

Is existing access affected?

Is a new access type proposed?

Disability Access

n/a

<b>Pedestrian</b>	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
<b>Vehicular</b>	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
<b>Pedestrian</b>	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
<b>Vehicular</b>	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

Does the proposal involve the lopping or topping of trees or the removal of trees, shrubs or hedges?

Yes  No

Public Right of Way

Do you propose to alter or divert a Public Right of Way?  
Is the site adjacent to a Public Right Of Way?

Yes  No  
 Yes  No

**Describe the proposed alteration of the Public Right of Way**

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**Walls**

Lead faced cheeks

**Roof**

Tiles to match existing

**Site boundaries (fences, walls, etc.), driveways, paved areas and other hard surfaced areas**

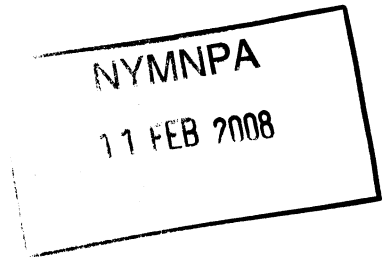
n/a

Please state the existing floorspace of the building

156  
sq.m

Please state the proposed new floorspace

156  
sq.m



Signature

Electronically submitted; no signature required.

Certificate A

**NYM / 2008 / 0103 / FL**

I certify that:

on the day 21 days before the date of the accompanying application nobody, except the applicant, was the owner of any part of the building/land to which the application relates.

Signature

Signatory	Title	Forename	Surname
	Mr	Neil	Duffield

Signature  
Electronically submitted; no signature required.

Date (yyyy-mm-dd)  
2007-12-05

Under the provisions of the Planning Acts, if any person issues a certificate which purports to comply with the requirements of this Act and contains a statement which he knows to be false or misleading in a material particular, he shall be guilty of an offence. Please ensure that the information you have provided is accurate.

**NYMNPA**  
**11 FEB 2008**



Application ID: 00331352

NYM / 2008 / 0103 / FL

None of the land to which the application relates is, or is part of, an agricultural holding.  I have/the applicant has given the requisite notice to every person other than my/him/herself who, on the day 21 days before the date of this application was a tenant of an agricultural holding on all or part of the land to which the application relates as follows:

Signatory

Signatory	Title	Forename	Surname
	Mr	Neil	Duffield
Signature	Electronically submitted; no signature required.		
Date (yyyy-mm-dd)	2007-12-05		

Under the provisions of the Planning Acts, if any person issues a certificate which purports to comply with the requirements of this Act and contains a statement which he knows to be false or misleading in a material particular, he shall be guilty of an offence. Please ensure that the information you have provided is accurate.

NYMNP  
11 FEB 2008

~~2007 / 1 0 1 5 / 1 6~~

**DESIGN & ACCESS STATEMENT**

**New Dormer Window, 12 Kingston Garth, Fylingthorpe**

**for**

**Ms. J. Jones**

NYMNPA  
- 6 DEC 2007

**b h d partnership ltd**

**Airy Hill Manor, Whitby, North Yorkshire, YO21 1QB**

**Tel: 01947 604871**

**Fax: 01947 600010**

**general@bhdpartnership.com**

**www.bhdpartnership.com**

## 1.0 DESIGN

### 1.0 Context

The village of Fylingthorpe lies to eastern edge of the North York Moors National Park , inland of Robin Hood's Bay.

The subject building is stone built bungalow built within the last 50 years, and forms part of a general mixture of similar properties typical of this type of private housing estate.

The proposals are for the construction of a dormer window in the roof on the front elevation.

### 2.0 Amount of Development

The dormer measures 1400mm wide by 885mm high, and will be 2.1m off the first floor level.

### 3.0 Layout

The new dormer is an essential part of the refurbishments that are proposed for the property which includes turning the roof space in to a habitable area to form a new master bedroom and bathroom. The dormer would provide natural light and much needed headroom in the new bathroom.

The window does not overlook on to any other property.

### 4.0 Scale

The scale and design of the windows is in keeping with similar dormer windows on neighbouring properties within the area. Photographs are included to illustrate this.

The mirrored half of the property already has such a dormer as do the properties on the cul-de-sac. See image 1 attached.

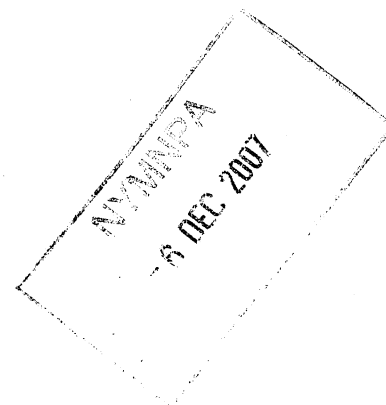
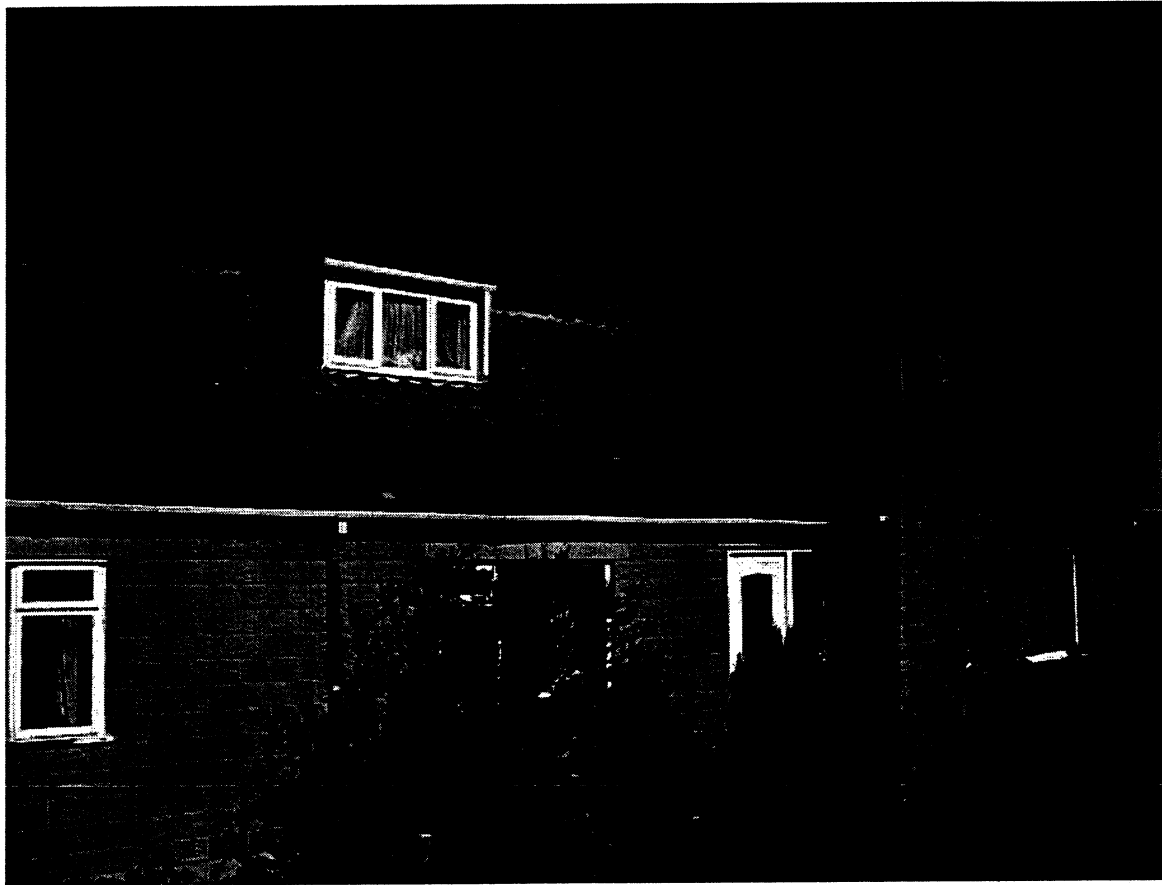




Image 1 - Existing front elevation

NYMNPA  
- 8 DEC 2007



**Image 2 – Dormer window on neighbouring property**

MYMMPA  
- 6 DEC. 2007

**5.0 Landscaping**

Due to the minor nature of the application there is no formal landscaping proposed.

**6.0 Appearance**

Glazing to the roof window will be obscured.

The cheeks will be lead lined and the roof will use tiles to match existing.

The frames and window unit will be upvc.

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**7.0 CONCLUSION**

Dormer windows of this type are not unusual in this area therefore a recommendation for approval is strongly advised.

NYM/NPA

- 6 DEC 2007