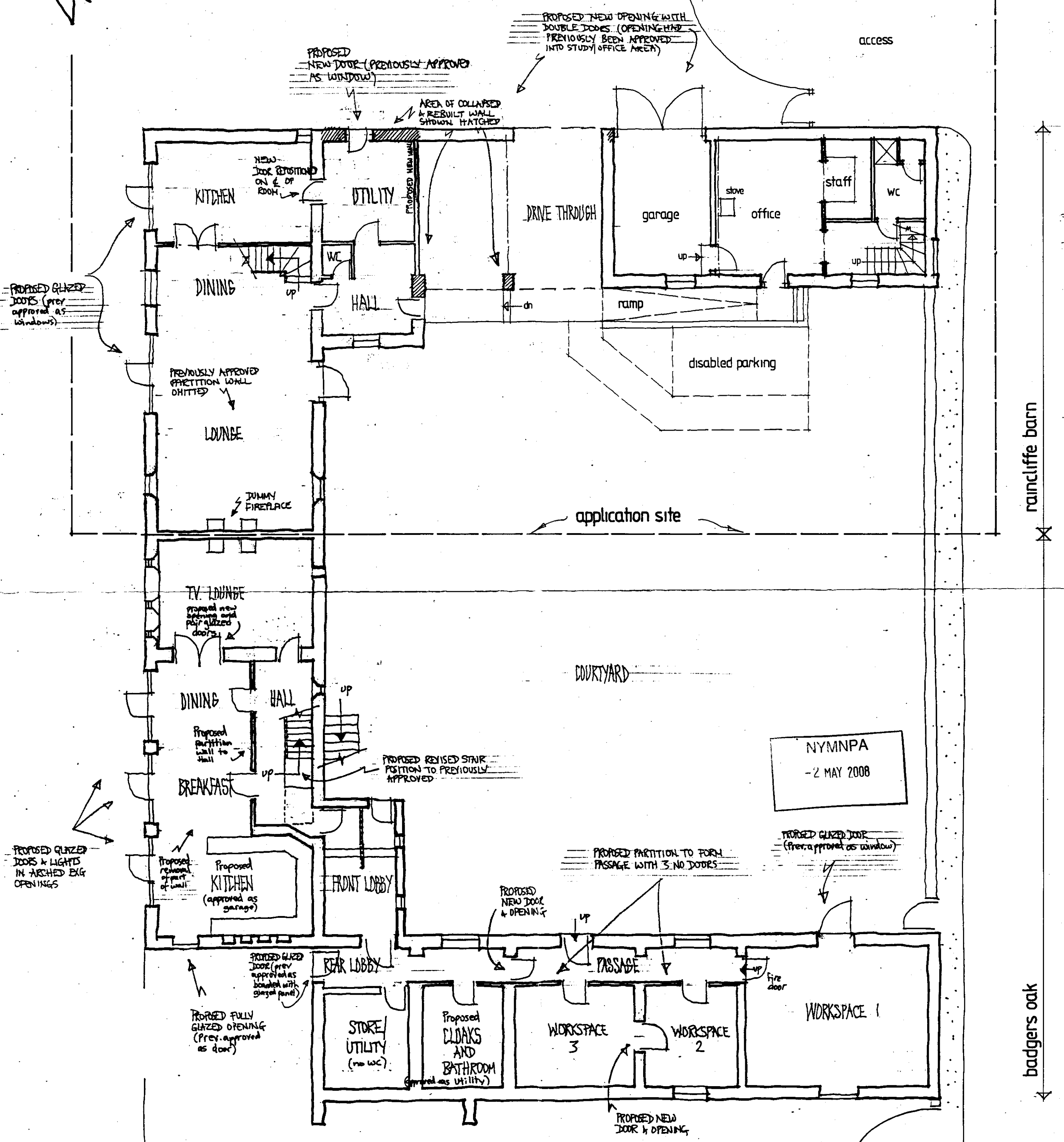


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GROUND

Scale Approx 1:100
Dwg No. H92A 1203/6c

RAINCLIFFE FARM, LADY EDITHS DRIVE - THROXENBY



B Sc Hons Dip Arch RIBA CHARTERED ARCHITECT & STATION SHOPS WESTBOROUGH SCARBOROUGH N YORKS YO11 1TR TEL 01723 361310 ALSO AT PARTNERS: BARRY DENTON - MELINDA DENTON Dip Sur MBNT ARICS Chartered Building Surveyor

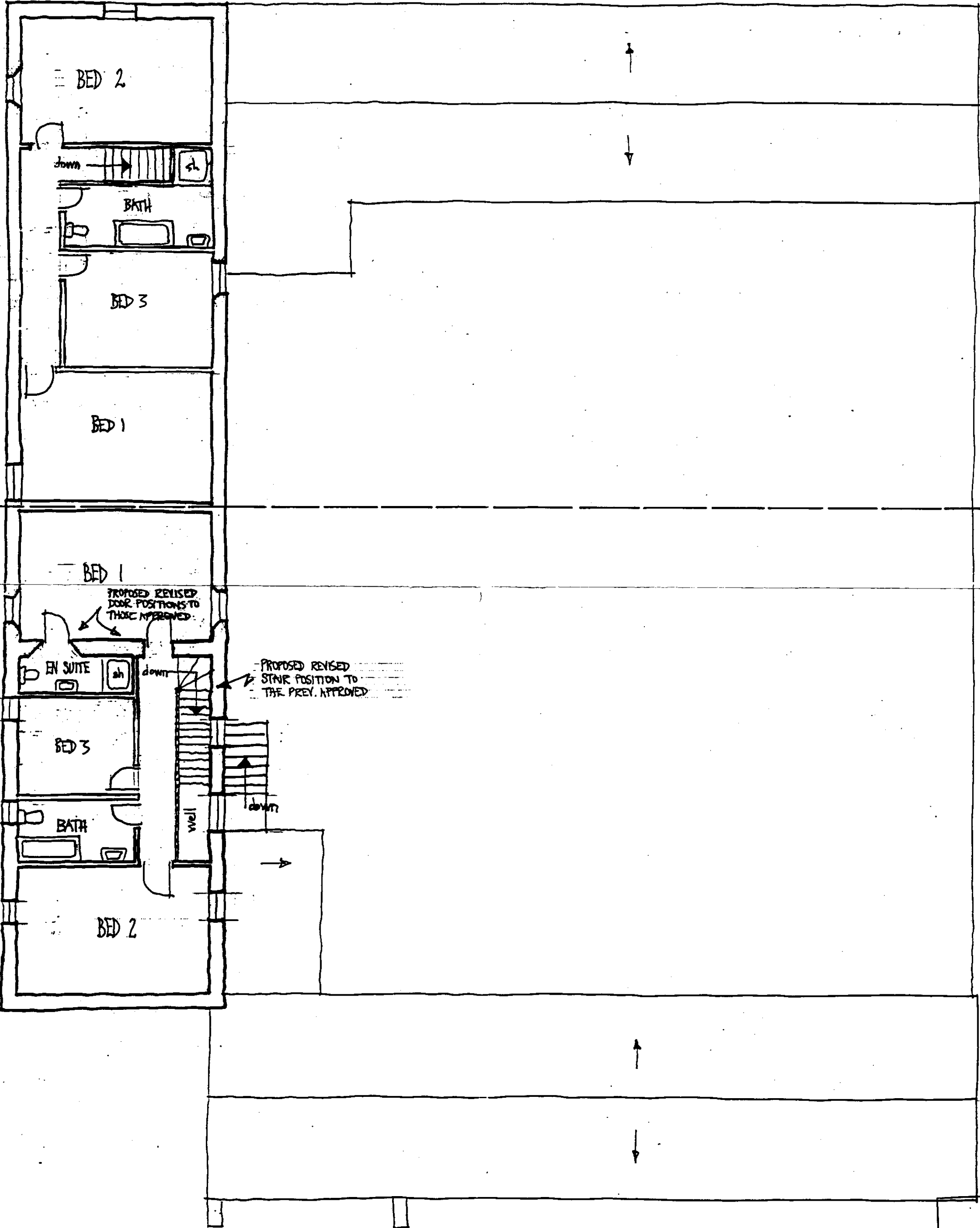
WATKINS COTTAGE HIGH STREET BRIMPTON BY SANDON N YORKS YO13 9DA TEL 0723 652288

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application site

NEW FIRST FLOOR PARTITIONS REVISED FROM PREY APPROVED LAYOUT SO THAT CORRIDOR NOT CENTRAL



PROPOSED REVISED DOOR POSITIONS TO THOSE APPROVED

PROPOSED REVISED STAIR POSITION TO THE PREY APPROVED

PROPOSED REVISIONS TO FIRST FLOOR PARTITIONS FROM PREY APPROVED

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FIRST

Scale Approx 1:100
Dwg. No. H92A 1203/7B

RAINCLIFFE FARM, LADY EDITHS DRIVE - THROXENBY

REV. A. 14/2/04
REV. B. 9/6/04



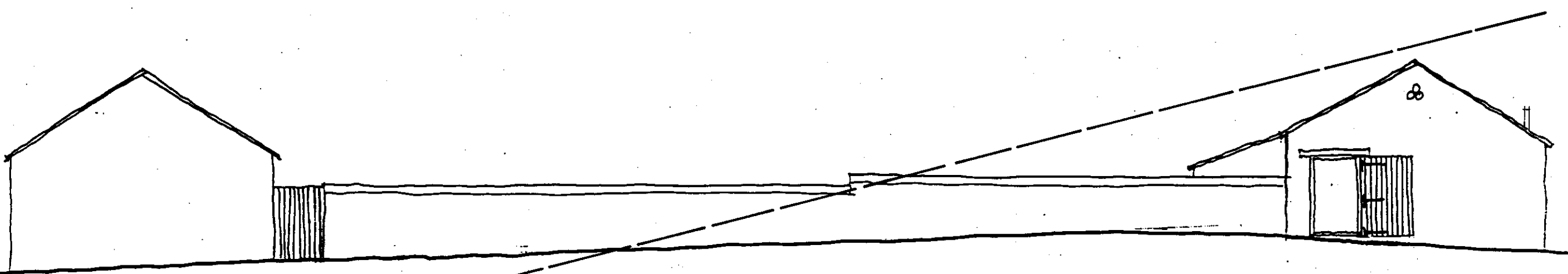
B Sc Hons Dip Arch RIBA CHARTERED ARCHITECT

PARTNERS: BARRY DENTON - MELINDA DENTON Dip Surv NBMAT ARICS Chartered Building Surveyor

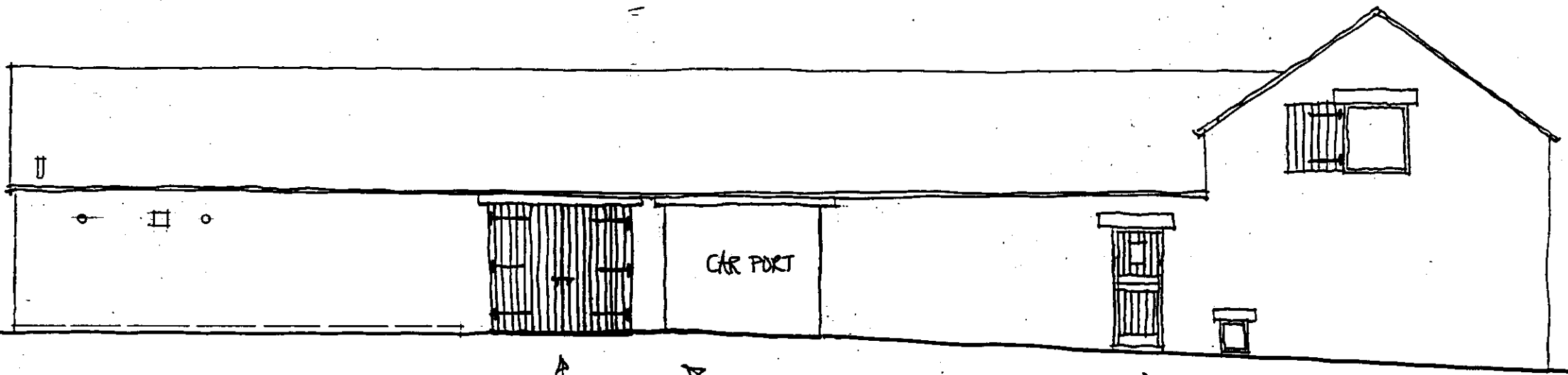
4 STATION SHOPS WESTBOROUGH SCARBOROUGH N YORKS YO11 1TR TEL 0723 361310 ALSO AT

JASWINE COTTAGE HIGH STREET BRIMPTON BY SANDON N YORKS YO13 9DA TEL 0723 059200

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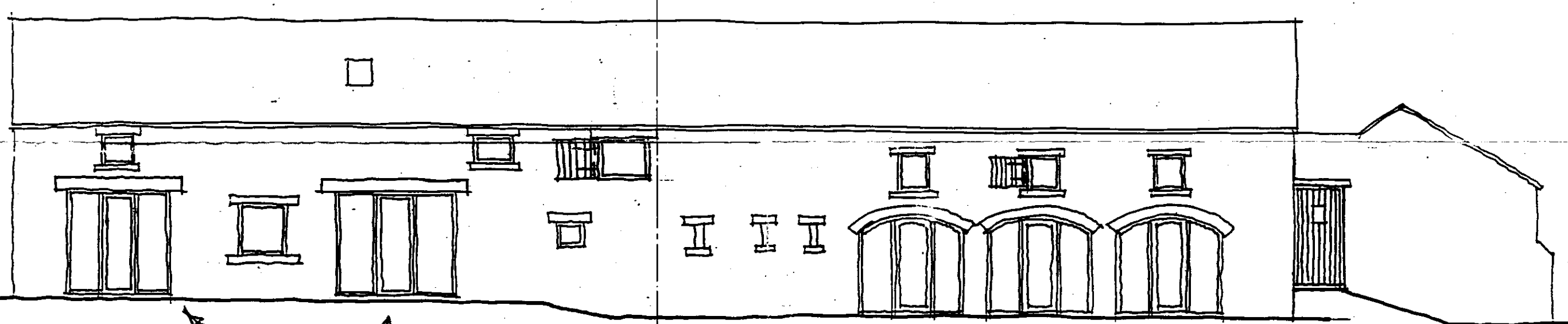


ROADSIDE ELEVATION (SOUTH FACING)



EAST ELEVATION

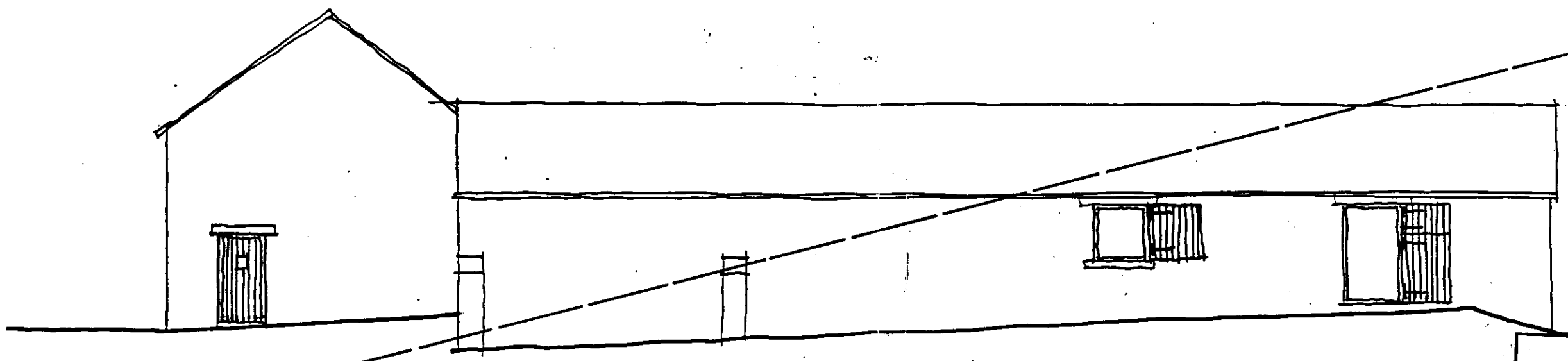
foldback vertical boarded doors
PROPOSED NEW OPENING & DOORS (prev. approved for the car port)
PROPOSED NEW DOOR (prev. approved as window)



NORTH REAR ELEVATION

PROPOSED ENLARGED FRAME STYLE TO PREV. APPROVED TO INCLUDE GLAZED DOORS
PROPOSED GLAZED DOORS & LIGHTS IN ARCHED EXISTING OPENINGS

raincliffe barn badgers oak



WEST SIDE ELEVATION

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PROPOSED Scale Approx 1:100
Dwg. No. H92A 1203/8 H

RAINCLIFFE FARM, LADY EDITHS DRIVE - THROXENBY

A-19/2/04 D-21/6/04 G-9/8/04
B-24/2/04 E-23/7/04 H-11/8/04
C-9/6/04 F-5/8/04



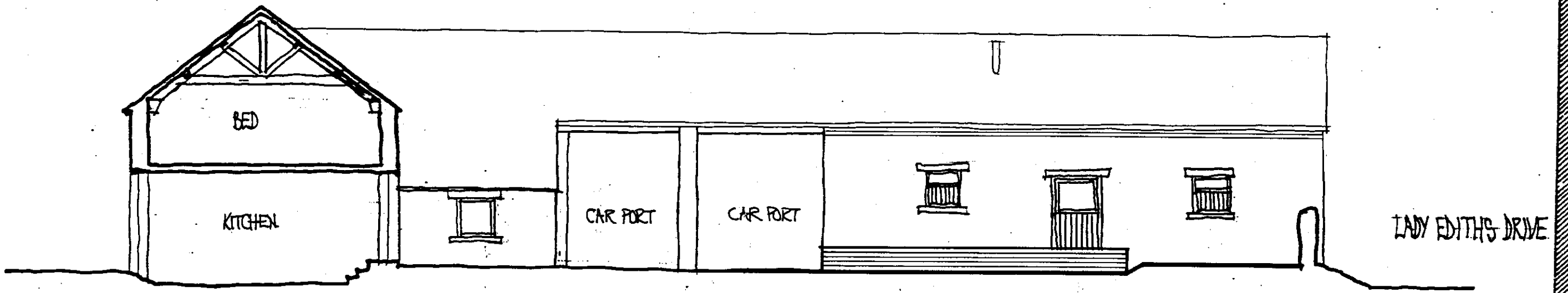
B ScHons Dip Arch RIBA CHARTERED ARCHITECT

PARTNERS- BARRY DENTON - MELINDA DENTON Dip Surv MRAT ARICS Chartered Building Surveyor

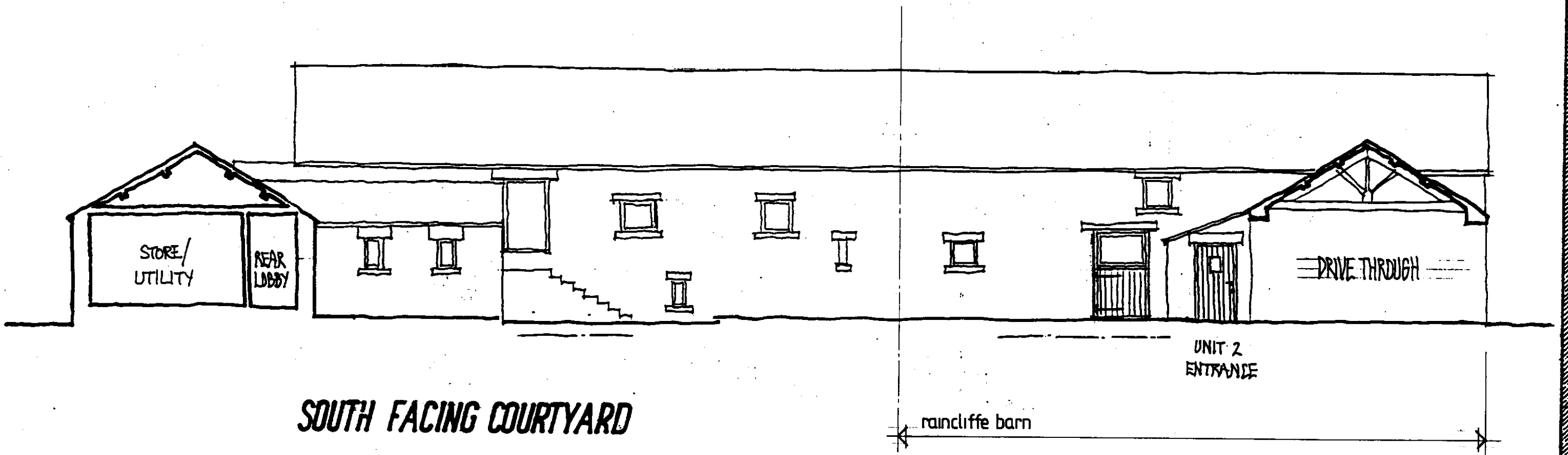
STATION SHOPS WESTBOROUGH SCARBOROUGH N YORKS YO11 1TR TEL 01723 361310 ALSO AT

WASWYNE COTTAGE HIGH STREET BRIMPTON BY SANDON N YORKS YO13 9DA TEL 0723 652488

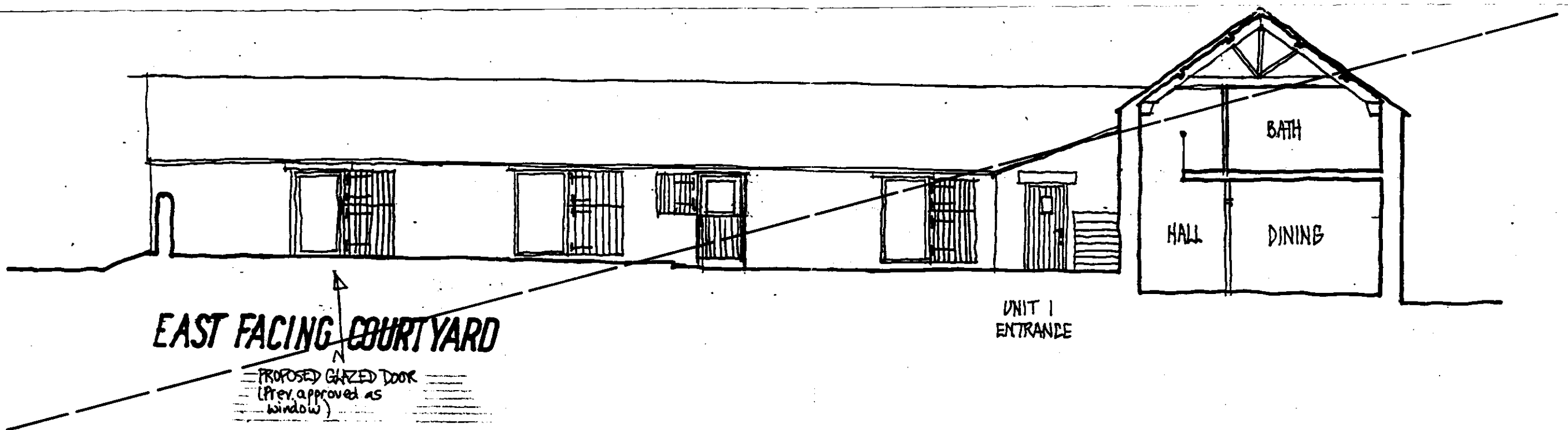
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WEST FACING COURTYARD



SOUTH FACING COURTYARD



EAST FACING COURTYARD

NOTES

- DO NOT TRY TO SCALE ACCURATELY FROM THIS DRAWING IF IN DOUBT - ASK!
- ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO FINAL ESTIMATE & COMMENCEMENT OF WORK.
- ANY DISCREPANCIES IN THE DRAWING OR WORKS MUST BE IMMEDIATELY BROUGHT TO THE ARCHITECTS NOTICE.
- ALL WORK IS TO BE TO THE ENTIRE SATISFACTION OF THE LOCAL AUTHORITY, THE STATUTORY UNDERTAKINGS & IN ACCORDANCE WITH THE CURRENT BUILDING REGS.
- ALL STRUCTURAL TIMBER IS TO BE STRESS GRADED.
- DRAINS PASSING UNDER NEW WORK TO BE EXPOSED IN MIN. 750 CONE.

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REVISIONS

- A-19/2/04 - PLANNING REVISIONS
- B-24/2/04 - CLIENTS REVISIONS
- C-9/6/04 D-21/6/04

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PROPOSED Scale Approx 1:100
Dwg No. H92A 1203/9D

RAINCLIFFE FARM, LADY EDITHS DRIVE - THROXENBY

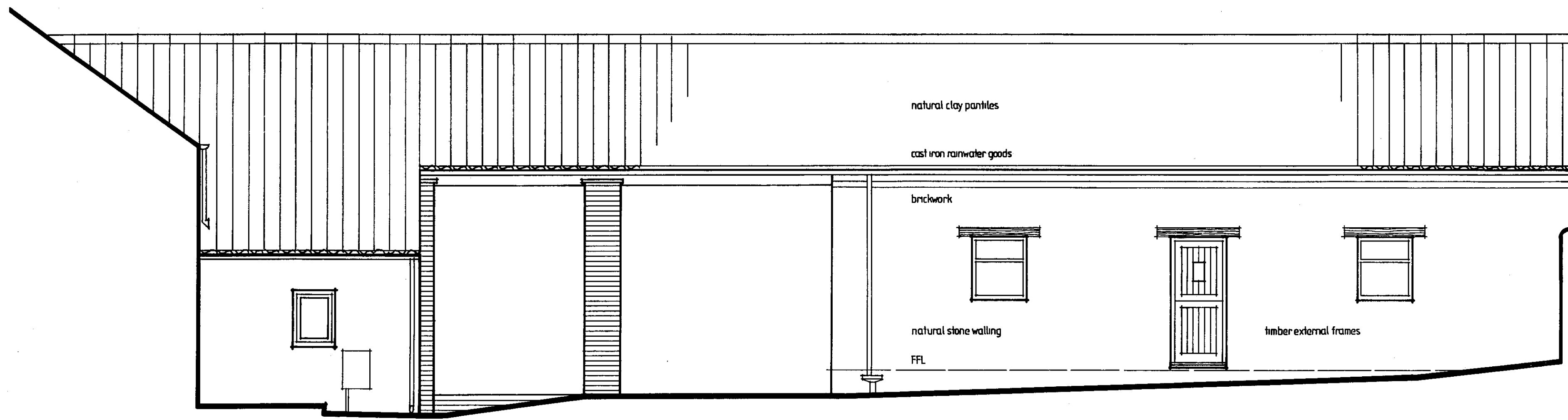


B Sc Hons Dip Arch RIBA CHARTERED ARCHITECT

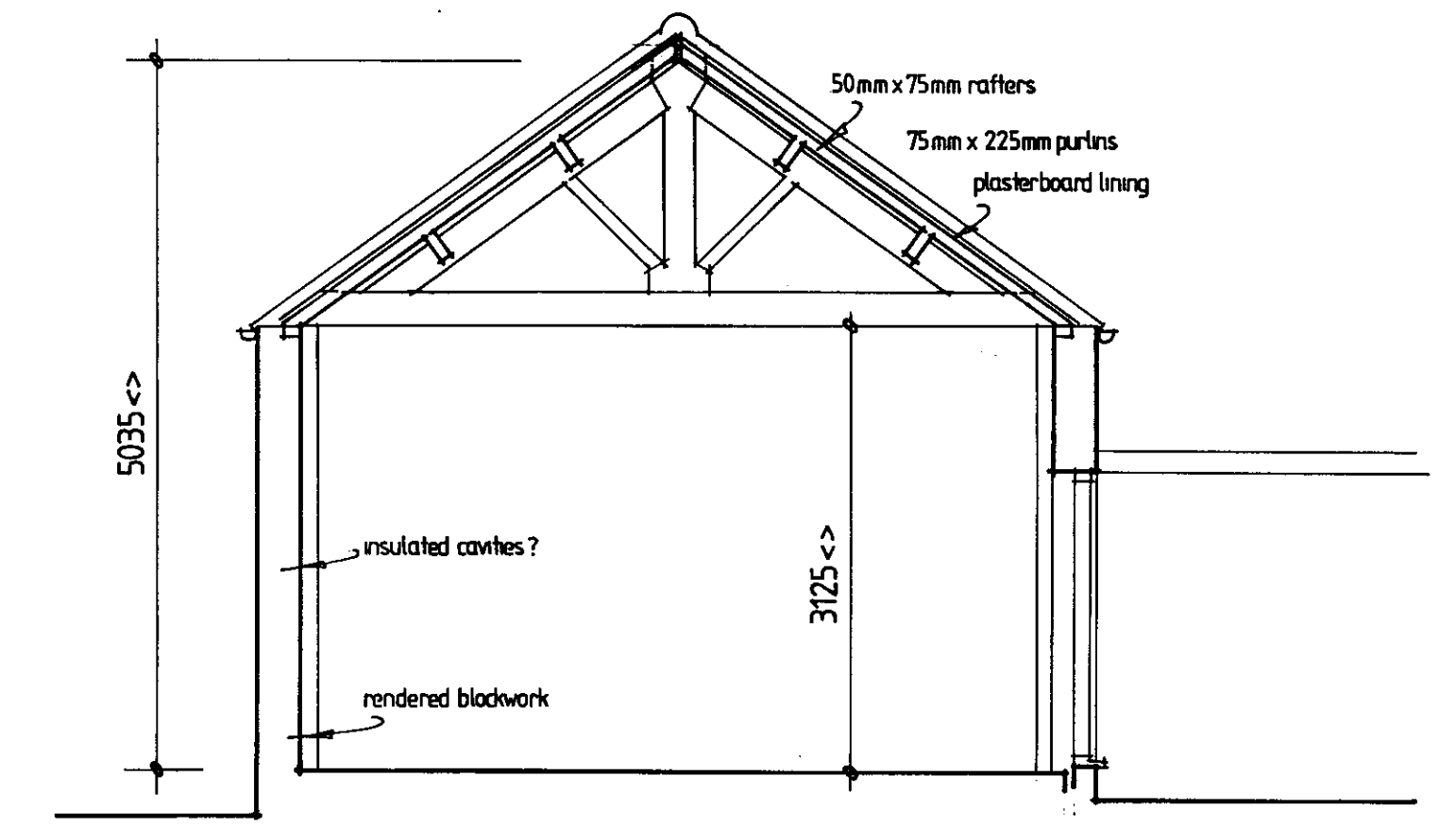
PARTNERS:- BARRY DENTON - MELISSA DENTON Dip Surv MBIM ARICS Chartered Building Surveyor

4 STATION SHOPS WESTBOROUGH SCARBOROUGH N YORKS YO11 1TR TEL 01723 361370 ALSO AT

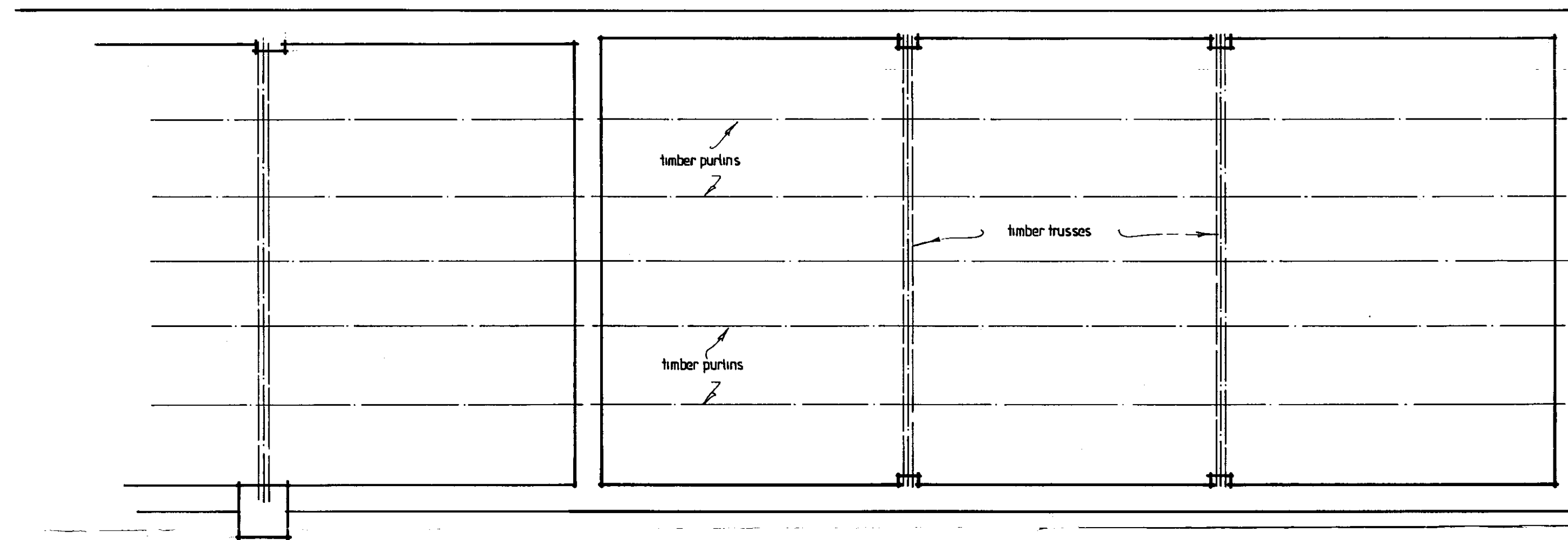
JASMYNE COTTAGE HIGH STREET BROMPTON BY SANDON N YORKS YO19 9DA TEL 0723 853280



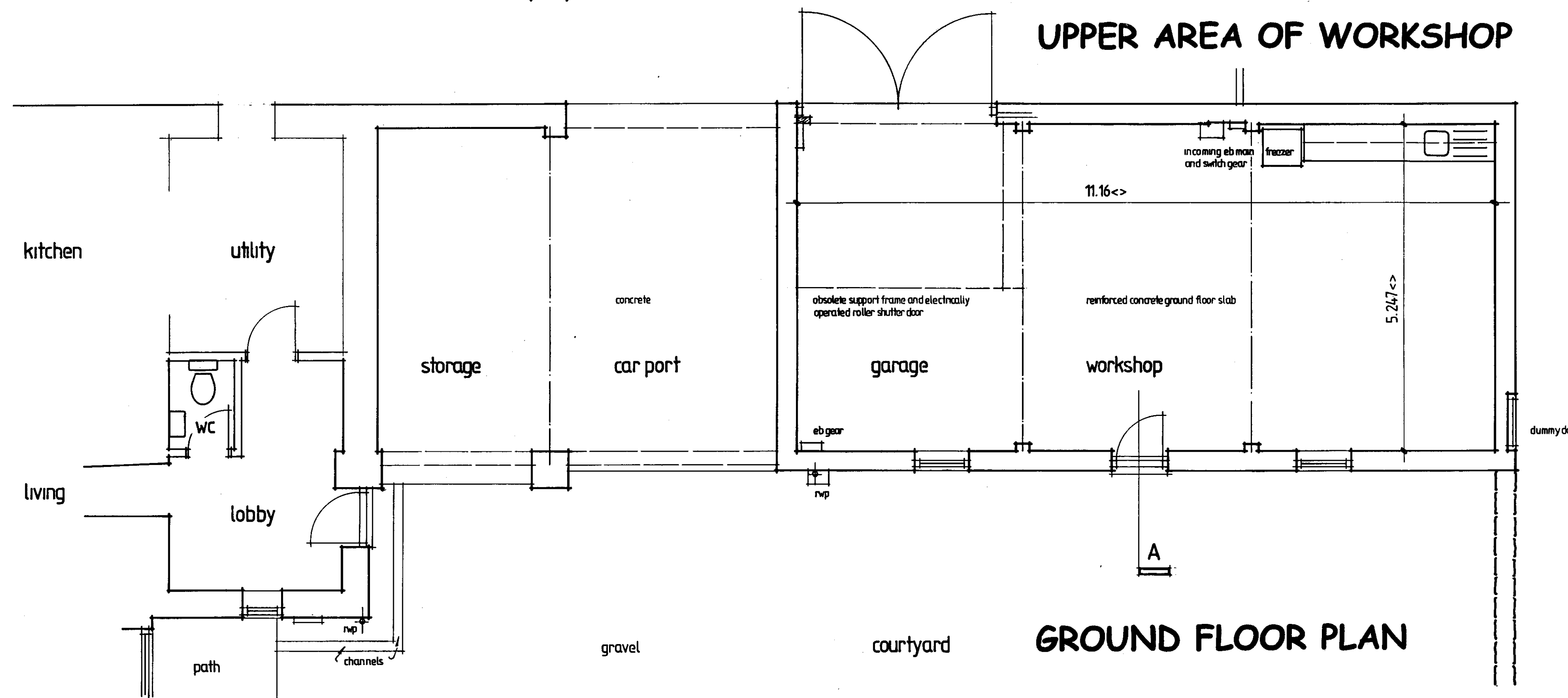
WEST ELEVATION



SECTION A



UPPER AREA OF WORKSHOP



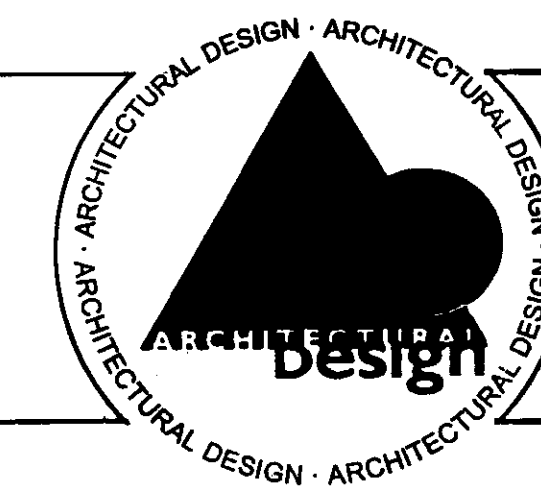
GROUND FLOOR PLAN

NYMNPA
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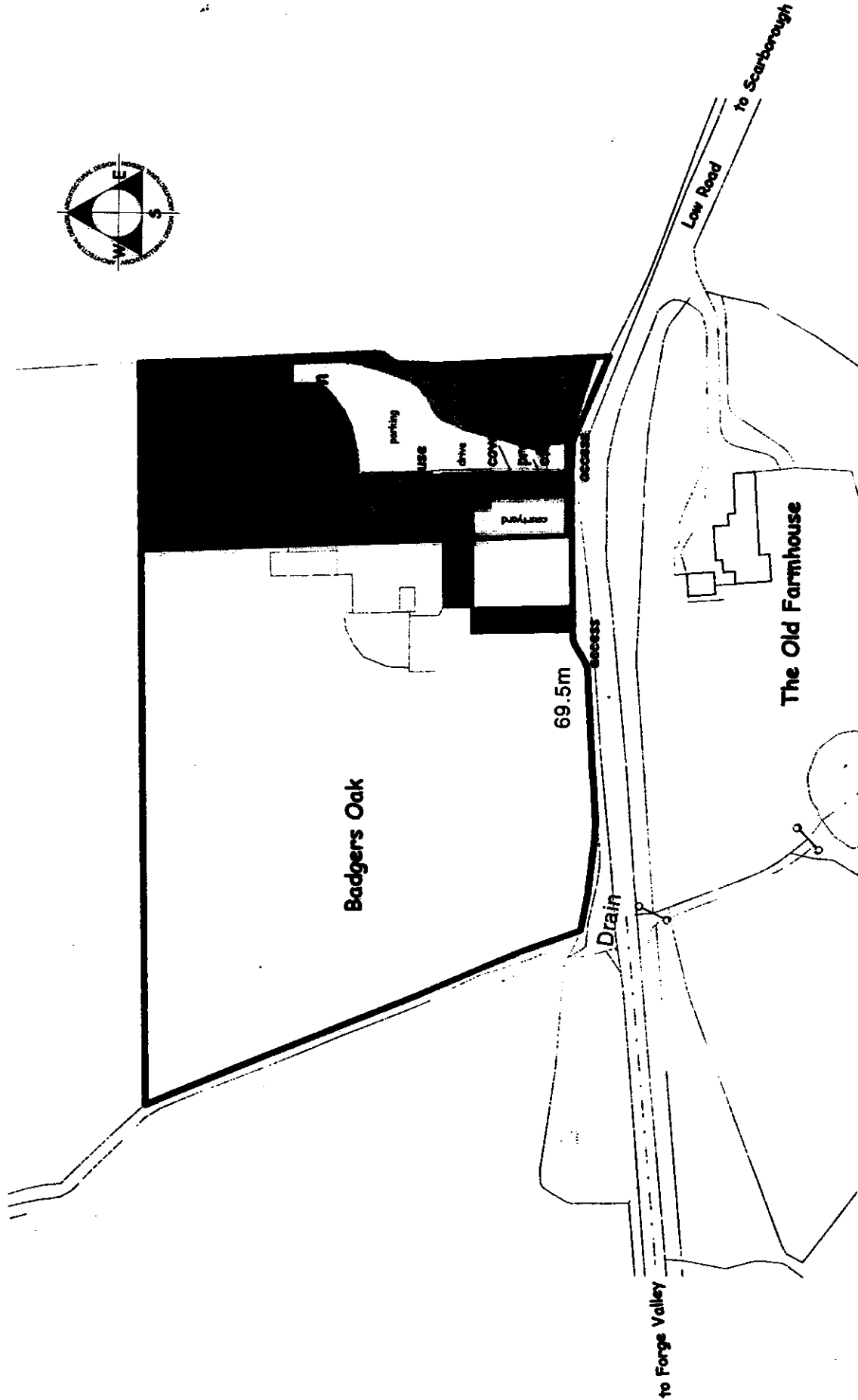
RICHARD G WINN Architectural Services

OLD BARN COTTAGE, MIDDLE FARM, MAIN STREET, ALLERSTON, PICKERING, NORTH YORKS, YO18 7PG
PHONE-FAX: 01723 850300 MOBILE: 07790 723705 e-mail richard@winn-design.co.uk

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PROPOSED CONVERSION OF WORKSHOP TO OFFICE Scale : 1:50
AT RAINCLIFFE BARN, LOW ROAD, THROXENBY Date : Jan 2008
SCARBOROUGH FOR MR AND MRS P JONES Drawn : R.G.W
PLANS, ELEVATION AND SECTION AS EXISTING Project : 1235-1



SITE LOCATION PLAN Scale 1:1250

CHANGE OF USE OF OBSOLETE AGRICULTURAL BUILDINGS TO DWELLING INCLUDING CONVERSION OF DETACHED OUTBUILDING INTO PRIVATE OFFICE AT RAINCLIFFE BARN, LOW ROAD, THROXENBY SCARBOROUGH FOR MR AND MRS P JONES

RICHARD G WINN Architectural Design

Old Barn Cottage, Middle Farm, Main Street, Allerston, Pickering, North Yorkshire YO18 7PG Tel: 01723 850300

NYMINPA

-2 MAY 2008



08/0356

pt. 1

Application for Planning Permission and listed building consent for alterations, extension or demolition of a listed building.

Town and Country Planning Act 1990

Planning (Listed Buildings and Conservation Areas Act) 1990

Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

1. Applicant Name and Address				2. Agent Name and Address			
Title:	Mr & Mrs	First name:	Peter	Title:	Mr	First name:	Richard
Last name:	Jones			Last name:	Winn		
Company (optional):				Company (optional):	Architectural Design		
Unit:	House number:	House suffix:		Unit:	House number:	House suffix:	
House name:	Raincliffe Barn			House name:	Old Barn Cottage		
Address 1:	Low Road			Address 1:	Middle Farm		
Address 2:	Throxenby			Address 2:	Main Street		
Address 3:				Address 3:	Allerston		
Town:	Scarborough			Town:	Scarborough		
County:	North Yorkshire			County:	North Yorkshire		
Country:	UK			Country:	UK		
Postcode:	YO12 5TD			Postcode:	YO18 7PG		

3. Description of Proposed Works

Please describe details of the proposed development or works including details of proposals to alter, extend or demolish the listed building(s):

Change of use of obsolete agricultural buildings into dwelling including the conversion of a detached outbuilding into a private office, for use by the applicant, and disabled parking bay.

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It is to be noted that the conversion was completed in November 2004, following an earlier approval in December 1999. However, this re-submission for the conversion is to 'regularize' a breach of condition 10 on the original approval and includes the provision of an office in lieu of the workshop.

Has the development or work(s) already started?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	If Yes, please state the date when the development or work(s) were started (DD/MM/YYYY): (date must be pre-application submission)	2003
Have the development or work(s) been completed?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	If Yes, please state the date when the development or work(s) were completed (DD/MM/YYYY): (date must be pre-application submission)	November 2004

4. Site Address Details

Please provide the full postal address of the application site.

Unit: **NYM / 2008** House number: **356** House suffix: **F**

House name: **Raincliffe Barn**

Address 1: **Low Road**

Address 2: **Throxenby**

Address 3:

Town: **Scarborough**

County: **North Yorkshire**

Postcode (optional): **YO18 7PG**

Description of location or a grid reference (must be completed if postcode is not known):

Easting: **N/A** Northing: **N/A**

Description:

N/A

5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much as possible:

Officer name: **Mrs Hilary Saunders and Mrs Beth Davies**

Reference: **Not applicable**

Date (DD/MM/YYYY):
(must be pre-application submission)

Details of pre-application advice received?
Informal approval to sketch proposals relating to the provision of an office and other pertinent details

6. Pedestrian and Vehicle Access, Rights and Easements

Is a new or altered vehicle access proposed to or from the public highway? Yes No Unknown

Is a new or altered pedestrian access proposed to or from the public highway? Yes No Unknown

Are there any new public roads to be provided within the site? Yes No Unknown

Are there any new public rights of way to be provided within or adjacent to the site? Yes No Unknown

Do the proposals require any diversions /extinguishments and/or creation of rights of way? Yes No Unknown

If you answered Yes to any of the above questions, please show details on your plans/drawings and state the reference of the plan (s)/drawing(s)

N/A

7. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste? Yes No Unknown

If Yes, please provide details:
Beneath the covered way. See attached drawing

Have arrangements been made for the separate storage and collection of recyclable waste? Yes No Unknown

If Yes, please provide details:
Beneath the covered way. See attached drawing
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8. Neighbour and Community Consultation

Have you consulted your neighbours or the local community about the proposal? Yes No

If Yes please provide details:
The adjoining owner, Mr I Harrison of Badgers Oak, Low Road, Throxenby has stated verbally that he has no objection to the proposed office. Mr Harrison, a building contractor and previous owner of the site, had undertaken the original conversion work

9. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the Council? Yes No

If Yes, please provide details:
N/A

10. Demolition

Does the proposal include the partial or total demolition of a listed building? Yes No

If Yes, which of the following does the proposal involve?

a) Total demolition of the listed building: Yes No

b) Demolition of a building within the curtilage of the listed building: Yes No

c) Demolition of a part of the listed building: Yes No

If the answer to c) is Yes:

i) What is the total volume of the listed building?(cubic metres)	
ii) What is the volume of the part to be demolished?(cubic metres)	
iii) What was the (approximate) date of the erection of the part to be removed? (MM/YYYY) (date must be pre-application submission)	

Please provide a brief description of the building or part of the building you are proposing to demolish:

Why is it necessary to demolish or extend (as applicable) all or part of the building(s) and or structure(s)?

11. Listed Building Alterations

Do the proposed works include alterations to a listed building? Yes No

If Yes, do the proposed works include: **NYM / 2008 / 0356 / FL**
(you must answer each of the questions)

a) Works to the interior of the building? Yes No

b) Works to the exterior of the building? Yes No

c) Works to any structure or object fixed to the property (or buildings within its curtilage internally or externally)? Yes No

d) Stripping out of any internal wall, ceiling or floor finishes (e.g. plaster, floorboards)? Yes No

If the answer to any of these questions is Yes, please provide plans, drawings, photographs sufficient to identify the location, extent and character of the items to be removed, and the proposal for their replacement, including any new means of structural support and state references for the plan(s)/drawing(s):

See attached supporting documentation

12. Listed Building Grading

Please state the grading (if known) of the building in the list of Buildings of Special Architectural or Historic interest? (Note: only one box must be ticked)

Grade I Ecclesiastical Grade I

Grade II Ecclesiastical Grade II

Grade II* Ecclesiastical Grade II*

Don't know

13. Immunity From Listing

Has a Certificate of Immunity from Listing been sought in respect of this building?

Yes No Don't know

If Yes, please provide the result of the application:

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	-2 MAY 2008	

14. Vehicle Parking

Please provide information on the existing and proposed number of on-site parking spaces:

Type of Vehicle	Total Existing	Total proposed (including spaces retained)	Difference in spaces
Cars	10	10	No change
Light goods vehicles/ public carrier vehicles			
Motorcycles			
Disability spaces	1	1	1
Cycle spaces			
Other (e.g. Bus)			
Other (e.g. Bus)			

15. Materials

Please provide a description of existing and proposed materials and finishes to be used in the building (demolition excluded):

	Existing (where applicable)	Proposed	Not applicable	Don't Know
	NYM / 2008 / 0396 / FL			
External walls	Natural coursed stone	Brickwork to match existing	<input type="checkbox"/>	<input type="checkbox"/>
Roof covering	Natural clay pantiles	Natural clay pantiles	<input type="checkbox"/>	<input type="checkbox"/>
Chimney			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Windows	White painted softwood	White painted softwood	<input type="checkbox"/>	<input type="checkbox"/>
External doors	White painted softwood	White painted softwood	<input type="checkbox"/>	<input type="checkbox"/>
Ceilings	Plasterboard	Plasterboard with skim finish	<input type="checkbox"/>	<input type="checkbox"/>
Internal walls	Plastered / rendered blockwork	Plasterboard with skim finish	<input type="checkbox"/>	<input type="checkbox"/>
Floors	Concrete	EasyFlow screed	<input type="checkbox"/>	<input type="checkbox"/>
Internal doors		Timber stained	<input type="checkbox"/>	<input type="checkbox"/>
Rainwater goods	Cast iron	Cast iron	<input type="checkbox"/>	<input type="checkbox"/>
Boundary treatments (e.g. fences, walls)			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Vehicle access and hard standing	10 mm down gravel	Disabled hardstanding and paths: 'Resin Bound' aggregate in colour to be agreed	<input type="checkbox"/>	<input type="checkbox"/>
Lighting			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Others (add description)			<input checked="" type="checkbox"/>	<input type="checkbox"/>

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Are you supplying additional information on submitted drawings or plans?

Yes

No

If Yes, please state plan(s)/drawing(s) references:

Barry Denton Dip Arch RIBA drawing nos. 1023/6C, 7B, 8H and 9D
 Architectural Design's drawing numbers 1235-1 and 8
 Selected photographs

16. Foul Sewage

Please state how foul sewage is to be disposed of:

- Mains sewer Cess pit
 Septic tank Other
 Package treatment plant Unknown

Are you proposing to connect to the existing drainage system? Yes No

If Yes, please include the details of the existing system on the application drawings and state references for the plan(s)/drawing(s):

17. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.)

NYM / 2008 / 0 3 5 6 / Yes No

If Yes, you will need to submit a Flood Risk Assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)? Yes No

Will the proposal increase the flood risk elsewhere? Yes No Unknown

How will surface water be disposed of?

- Sustainable drainage system Existing watercourse
 Soakaway Pond/lake
 Main sewer Unknown

18. Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

a) Protected and priority species:

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

b) Designated sites, important habitats or other biodiversity features:

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

c) Features of geological conservation importance:

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

19. Existing Use

Please describe the current use of the site:

Previously - obsolete agricultural buildings
 Currently - private domestic dwelling and detached workshop.

Is the site currently vacant? Yes No

If Yes, please describe the last use of the site:

N/A

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When did this use end (if known)?

(date where known may be approximate)

Does the proposal involve any of the following:

Land which is known to be contaminated? Yes No

Land where contamination is suspected for all or part of the site? Yes No

A proposed use that would be particularly vulnerable to the presence of contamination? Yes No

If you have answered Yes to any of the above, you will need to submit an appropriate contamination assessment.

20. Trees and Hedges

Are there trees or hedges on the proposed development site? Yes No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character? Yes No

If Yes to either or both of the above, you will need to provide a full Tree Survey, with accompanying plan before your application can be determined. Your Local Planning Authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to construction - Recommendations'.

21. Trade Effluents

Does the proposal involve the need to dispose of trade effluents or waste? Yes No

If Yes, please describe the nature, volume and means of disposal of trade effluents or waste

N/A

Does your proposal include the gain, loss or change of use of residential units? Yes No
 If Yes please complete details of the changes in the tables below:

Proposed Housing							Existing Housing								
Market Housing	Not known	Number of Bedrooms					Total	Market Housing	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown				1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>							<input type="checkbox"/>							
Flats and maisonettes	<input type="checkbox"/>							<input type="checkbox"/>							
Live-work units	<input type="checkbox"/>							<input type="checkbox"/>							
Cluster flats	<input type="checkbox"/>							<input type="checkbox"/>							
Sheltered housing	<input type="checkbox"/>							<input type="checkbox"/>							
Bedsit/studios	<input type="checkbox"/>							<input type="checkbox"/>							
Unknown type	<input type="checkbox"/>							<input type="checkbox"/>							
Totals (a+b+c+d+e+f+g)=							A	Totals (a+b+c+d+e+f+g)=							F
Social Rented							Social Rented								
Social Rented	Not known	Number of Bedrooms					Total	Social Rented	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown				1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>							<input type="checkbox"/>							
Flats and maisonettes	<input type="checkbox"/>							<input type="checkbox"/>							
Live-work units	<input type="checkbox"/>							<input type="checkbox"/>							
Cluster flats	<input type="checkbox"/>							<input type="checkbox"/>							
Sheltered housing	<input type="checkbox"/>							<input type="checkbox"/>							
Bedsit/studios	<input type="checkbox"/>							<input type="checkbox"/>							
Unknown type	<input type="checkbox"/>							<input type="checkbox"/>							
Totals (a+b+c+d+e+f+g)=							B	Totals (a+b+c+d+e+f+g)=							G
Intermediate							Intermediate								
Intermediate	Not known	Number of Bedrooms					Total	Intermediate	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown				1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>							<input type="checkbox"/>							
Flats and maisonettes	<input type="checkbox"/>							<input type="checkbox"/>							
Live-work units	<input type="checkbox"/>							<input type="checkbox"/>							
Cluster flats	<input type="checkbox"/>							<input type="checkbox"/>							
Sheltered housing	<input type="checkbox"/>							<input type="checkbox"/>							
Bedsit/studios	<input type="checkbox"/>							<input type="checkbox"/>							
Unknown type	<input type="checkbox"/>							<input type="checkbox"/>							
Totals (a+b+c+d+e+f+g)=							C	Totals (a+b+c+d+e+f+g)=							H
Key worker							Key worker								
Key worker	Not known	Number of Bedrooms					Total	Key worker	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown				1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>							<input type="checkbox"/>							
Flats and maisonettes	<input type="checkbox"/>							<input type="checkbox"/>							
Live-work units	<input type="checkbox"/>							<input type="checkbox"/>							
Cluster flats	<input type="checkbox"/>							<input type="checkbox"/>							
Sheltered housing	<input type="checkbox"/>							<input type="checkbox"/>							
Bedsit/studios	<input type="checkbox"/>							<input type="checkbox"/>							
Unknown type	<input type="checkbox"/>							<input type="checkbox"/>							
Totals (a+b+c+d+e+f+g)=							D	Totals (a+b+c+d+e+f+g)=							I
Total existing residential units (A+B+C+D)=								Total proposed residential units (E+F+G+H)=							
Total net gain / loss of residential units															

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23. All Types of Development: Non-residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace? Yes No

If you have answered Yes to the question above please add details in the following table:

Use class/type of use		Not applicable	Existing gross internal floorspace (square metres)	Gross internal floorspace to be lost by change of use or demolition (square metres)	Total gross internal floorspace proposed (including change of use)(square metres)	Net additional gross internal floorspace following development (square metres)
A1	Shops	<input type="checkbox"/>				
	Net tradable area:	<input type="checkbox"/>				
A2	Financial and professional services	<input type="checkbox"/>				
A3	Restaurants and cafes	<input type="checkbox"/>				
A4	Drinking establishments	<input type="checkbox"/>				
A5	Hot food takeaways	<input type="checkbox"/>				
B1 (a)	Office (other than A2)	<input type="checkbox"/>	58.56	Nil	97.32	38.76
B1 (b)	Research and development	<input type="checkbox"/>				
B1 (c)	Light industrial	<input type="checkbox"/>				
B2	General industrial	<input type="checkbox"/>				
B8	Storage or distribution	<input type="checkbox"/>				
C1	Hotels and halls of residence	<input type="checkbox"/>				
C2	Residential institutions	<input type="checkbox"/>				
D1	Non-residential institutions	<input type="checkbox"/>				
D2	Assembly and leisure	<input type="checkbox"/>				
OTHER	Please specify	<input type="checkbox"/>				
		<input type="checkbox"/>				
Total						

In addition, for hotels, residential institutions and hostels, please additionally indicate the loss or gain of rooms

Use class	Type of use	Not applicable	Existing rooms to be lost by change of use or demolition	Total rooms proposed (including changes of use)	Net additional rooms
C1	Hotels	<input type="checkbox"/>			
C2	Residential institutions	<input type="checkbox"/>			
Other	Hostels	<input type="checkbox"/>			

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24. Employment

Please complete the following information regarding employees:

	Full-time	Part-time	Total full-time equivalent	Not known
Existing employees		One		
Proposed employees				

25. Hours of Opening

Please state the hours of opening for each non-residential use proposed:

Use	Monday to Friday	Saturday	Sunday and Bank Holidays	Not known
Office	No set hours	No set hours	No set hours	

26. Site Area

Please state the site area in hectares (ha)

29. Certificates

One certificate A, B, C, or D must be completed, together with the Agricultural Holdings Certificate with this application form

CERTIFICATE OF OWNERSHIP - CERTIFICATE A
 Certificate under Article 7 of the Town and Country Planning (General Development Procedure) Order 1995 & Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land or building to which the application relates.

Signed - Applicant:

Or signed - Agent:

NYM / 2008 / 0356 / FL

Date (DD/MM/YYYY):

Richard G Winn

29 April 2008

CERTIFICATE OF OWNERSHIP - CERTIFICATE B

Certificate under Article 7 of the Town and Country Planning (General Development Procedure) Order 1995 & Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990

I certify/ The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land or building to which this application relates.

Name of Owner	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

CERTIFICATE OF OWNERSHIP - CERTIFICATE C

Certificate under Article 7 of the Town and Country Planning (General Development Procedure) Order 1995 & Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990

I certify/ The applicant certifies that:

- Neither Certificate A or B can be issued for this application
- All reasonable steps have been taken to find out the names and addresses of the other owners (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of the land or building, or of a part of it, but I have/ the applicant has been unable to do so.

The steps taken were:

Name of Owner	Address	Date Notice Served
<div style="border: 2px solid black; padding: 5px; width: fit-content; margin: 0 auto;"> NYMNPA - 2 MAY 2008 </div>		

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

29. Certificates (continued)

CERTIFICATE OF OWNERSHIP - CERTIFICATE D

Certificate under Article 7 of the Town and Country Planning (General Development Procedure) Order 1995 & Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

The steps taken were:

NYM / 2008 / 0 3 5 6 / F L

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

AGRICULTURAL HOLDINGS CERTIFICATE

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of, an agricultural holding.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

..... Richard G Winn

29 April 2008

B) I have/ The applicant has given the requisite notice to every person other than myself/ the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Name of Tenant	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

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30. Planning Application Requirements Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

- | | |
|--|--|
| 3 copies of a completed and dated application form: <input checked="" type="checkbox"/> | The correct fee: <input checked="" type="checkbox"/> |
| 3 copies of a plan which identifies the land to which the application relates and drawn to an identified scale and showing the direction of North: <input checked="" type="checkbox"/> | 3 copies of the completed, dated Article 7 Certificate (Agricultural Holdings): <input checked="" type="checkbox"/> |
| 3 copies of other plans and drawings or information necessary to describe the subject of the application: <input checked="" type="checkbox"/> | 3 copies of the completed dated Ownership Certificate (A, B, C, or D - as applicable): <input checked="" type="checkbox"/> |

31. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

..... Richard G Winn

28 April 2008

(date cannot be pre-application)

DESIGN STATEMENT

**RAINCLIFFE BARN, LOW ROAD, THROXENBY, SCARBOROUGH
NORTH YORKSHIRE YO12 5TD**

References:

Architectural Design's drawing nos. 1235- 1 and 8.

Barry Denton Dip Arch ARIBA drawing nos. 1203/6C, 7B, 8H, and 9D.

Letter from the NYMNPA Conservation Officer, Mrs Beth Davies dated 29 August 2007.

Recent photographs of the workshop.

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SITE HISTORY

Approval for the *'change of use of existing farm buildings at Raincliffe Farm to two units of residential accommodation with ancillary workspace'*, referred to as unit one and unit two, was granted on 10 December 1999 (NYM4/018/3010B/PA) with subsequent amendments, approved 18 August 2004 (NYM/2004/0397/LB).

The conversion work was undertaken by the then owner Mr I Harrison (building contractor) and completed early in November 2004. Mr Harrison currently occupies unit one, now known as Badgers Oak, and sold unit two, now known as Raincliffe Barn, to Mr and Mrs P Jones in late November 2004.

Unfortunately, condition 10 on approval NYM4/018/3010B/PA was inadvertently breached which has effectively rendered the original planning approval invalid. See paragraph one contained in Mrs Davies's letter dated 29 August 2007 - copy attached.

As a consequence, the current planning application seeks to regularize this matter by reapplying for the change of use of Raincliffe Barn to a residential dwelling and includes the provision of an office in lieu of the previously approved workspace.

MAIN HOUSE - DESIGN CONSIDERATIONS

It is not our intention to address or justify the need for the residential conversion in this document as the appropriate criteria, contained in the relevant policies regarding conversion of redundant farm buildings were met at the time of the original application. Nor do we consider it necessary to produce a detailed design statement as such, insofar as the converted residential building has already been constructed in accord with the conditions of approval.

Externally:

- I provision of a disabled ramped access bounded by a low wall constructed in secondhand brickwork to match the existing brickwork elements and,
- J a disabled parking bay and access paths formed with 'resin bound' aggregate in a colour congruent with the surrounding materials and to the approval of the LPA.
- K With the exception of stove and vent pipes, the roof is unaltered. The twin wall stove pipe will be painted matt.
- L Replacements frames - white painted, single glazed.

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Access

There is no proposed change to the access from Low Road which complies with NYCC Highways requirements.

Parking

There is ample space for on site parking and turning.

Structural survey

As the items identified in Maughan Associates (structural engineer) report were implemented during construction, no further structural suitability report is necessary.

Protected species survey

As no invasive work to the roof is envisaged, no survey required.

Flood risk assessment

The property is not in a flood risk area.

Richard G Winn
Architectural Services
29 April 2008



Environment Agency

You are in: Maps > Flood Map

I'm looking for...

What's in your Backyard?

- Maps
- Current Flood Warnings
- Flood risk and home insurance
- How to use the Flood Map
- When is it going to flood?
- Your questions answered

Map of YO12 5TD :

Click on [Learn more](#), then click the symbol or area on the map to see more information.

Click on the map to ...
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Now click on the area of the flood extent you are interested in.

What's on the map?

1. Tick the boxes.
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Flooding from rivers or sea without defences

Extent of extreme flood

Flood defences

Areas benefiting from flood defences

Click here to find out what else is in your backyard.

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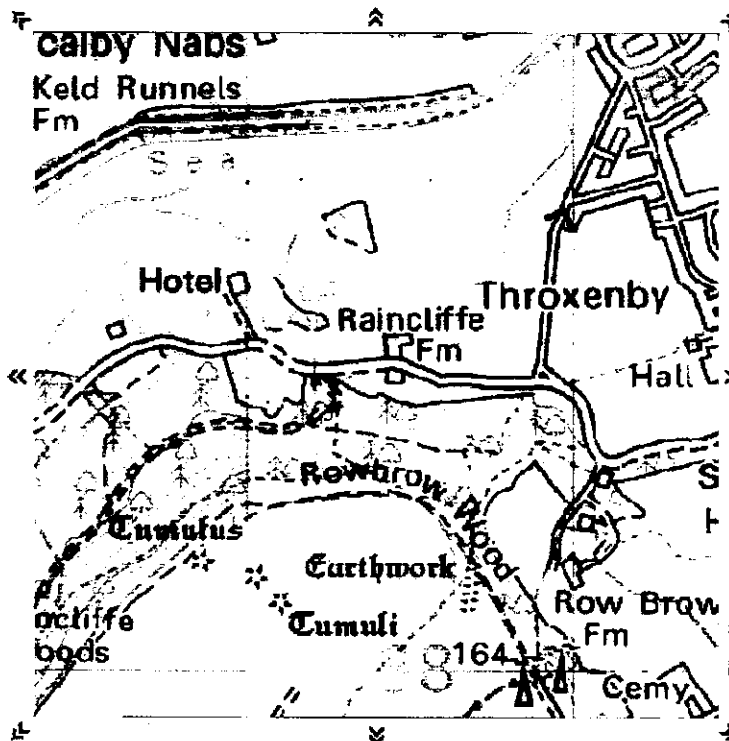
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Overview map :



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North York Moors National Park Authority

A member of the Association of National Park Authorities

The Old Vicarage, Bondgate, Helmsley, York YO62 5BP

Tel: 01439-770657 e-mail: general@northyorkmoors-npa.gov.uk

Fax: 01439 770691 www.moors.uk.net

Andy Wilson

Chief Executive (National Park Officer)

Mr and Mrs Jones
'Badgers Oak'
Raincliffe Barn
Lady Edith's Drive
Throxenby
Scarborough

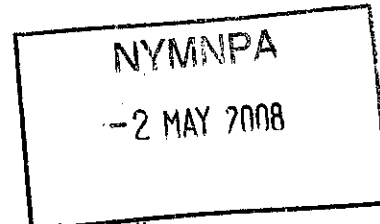
Your ref:

Our ref: 2005/317/LB

Date: 29 August 2007

Dear Mr and Mrs Jones

Raincliffe Farm, Throxenby



I write further to our meeting on site. I have had the opportunity to discuss your proposals with the Authority's Development Control Manager, Mark Hill, and would make the following comments:

- 1) Mark has asked me to bring Condition 10 of the original approval for the conversion of Raincliffe Farm to your attention. I have enclosed a copy of the conditions for your information. Condition 10 states that the house must not be occupied in advance of the workspace being used. This is to ensure that that the property is sold to someone with a genuine requirement for this space and to minimise future pressure for the conversion of this space to form additional residential accommodation. You are in breach of this condition as you have occupied the house before the workspace. It is clear from our meeting that you do intend to use the workspace and as such it is very unlikely that the Authority would seek to take enforcement action against you with regards this issue. You should be aware though that due to recent case law this breach effectively renders the original planning approval invalid. It is my understanding that you will be advised to submit a new planning application for the conversion to ensure that the residential accommodation has a valid approval should you ever wish to sell the property. This is an opportune time to address this matter as it is likely that you will need to apply for permission for some of the other work your proposed when we met on site. I would advise that you speak to your Planning Officer, Hilary Saunders, about this issue on her return on 3 September as she will be able to advise you in more detail about this issue.
- 2) You mentioned on site that you have been struggling to maintain your 'wild flower' meadow. I spoke to our Ecology Officer, Polly Thomson, who said she would be happy to visit you on site to make suggestions about maintenance. I did leave a message on your answer phone to this effect so you may well already have seen Polly about this issue. If you did decide that you wanted to incorporate this space within your garden,

Continued



CUSTOMER SERVICE EXCELLENCE

35BD701MS/1

COPY

Decision No. NYM4/018/3010B/PA

TOWN AND COUNTRY PLANNING ACT, 1990
NORTH YORK MOORS NATIONAL PARK AUTHORITY

NOTICE OF DECISION OF PLANNING AUTHORITY ON APPLICATION FOR
PERMISSION TO CARRY OUT DEVELOPMENT

To The Rural Buildings Preservation Trust
c/o The Rural Heritage Conservation Service
Hill Centre
Carmel
Cumbria
LA11 7SS

The above named Authority being the Planning Authority for the purposes of your application dated 25 June 1999, in respect of proposed development for the purposes of change of use of existing farm buildings to two units of residential accommodation with ancillary workspace (Use Class B1) at Raincliffe Farm, Lady Ediths Drive, Scarborough have considered your said application and have granted permission for the proposed development subject to the following condition(s):

1. The development hereby permitted shall be begun before the expiration of five years from the date of this permission.
2. The development hereby permitted shall not be carried out other than in accordance with the application plans as amended by the plans received at the National Park Office on the 17 September 1999.
3. Details of the stone and tiles, including samples if so required by the local planning authority, to be used for the external surfaces of the development hereby permitted shall be submitted to and approved by the local planning authority before the development is commenced and all the stone and tiles used in the construction of the building authorised by the approval shall conform to the details/samples so approved.
4. All new window frames shall be of a single glazed timber casement design with glazing bars painted a colour to be agreed in writing by the local planning authority and thereafter shall be so maintained.
5. All new doors and garage doors within the development hereby approved shall be of a vertical boarded, ledged, braced and framed timber design, side hung and single glazed, with a white, off-white, cream or a dark paint finish to be agreed in writing by the local planning authority and thereafter shall be so maintained.
6. The external face of the frame to all new windows shall be set in reveals to match those of the existing windows.
7. Prior to the commencement of the development hereby approved full details of the proposed rooflight(s) shall be submitted to and approved in writing by the local planning authority. The rooflight(s) shall be installed in accordance with the approved details and thereafter be so maintained.



Mrs V A Dilcock
Chief Planning Officer

COPY

Continued/8 ...

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Date 10 DEC 1999

NOTE :-
No consent, permission or approval hereby given absolves the applicant from the necessity of obtaining the approval, under the Building Regulations, of the District Council in whose area the site of the proposed Development is situated; or of obtaining approval under any other Bye-Laws, local Acts, orders, regulations and statutory provisions in force; and no part of the proposed development should be commenced until such further approval has been obtained.

TOWN AND COUNTRY PLANNING ACT 1990

Continuation of Decision No. NYM4/018/3010B/PA

Date: 10 DEC 1999

Conditions (Continued)

8. The guttering to the development hereby permitted shall be directly fixed to the stonework by means of gutter spikes with no fascia boarding being utilized in the development and shall thereafter be so maintained.
9. All rainwater goods shall be black painted cast iron and thereafter so maintained unless otherwise agreed in writing by the local planning authority.
10. The workspace accommodation hereby approved shall be and remain ancillary to the use of that dwelling to which it is attached, shall form and remain part of the curtilage of that dwelling and shall not be sold off or let separately. The residential accommodation hereby approved shall not be occupied in advance of the associated workspace being made available and the residential accommodation hereby approved shall only be occupied by persons wholly or mainly employed in the associated workspace and their dependents, unless otherwise with the prior written approval of the local planning authority.
11. There shall be no retail sales from the premises the subject of the permission hereby approved without the prior written agreement of the local planning authority.
12. The workspace elements of the development hereby permitted shall be used for Class B1 industrial purposes and for no other purpose (including any other purpose in Class B1 of the Schedule to the Town and Country Planning (Use Classes) Order, 1987, or in any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order).
13. The garage(s) and car ports hereby permitted shall not be used for purposes other than domestic purposes with sufficient space maintained free of obstruction for the parking of motor vehicles associated with the adjacent dwelling.
14. The access and car parking space arrangements proposed shall be provided in accordance with the submitted drawings before the development hereby permitted is first brought into use and shall thereafter be kept available for such use and maintained clear at all times of any other obstruction.
15. Full details of the proposed means of disposal of surface water and foul drainage shall be submitted to and approved in writing by the local planning authority prior to the commencement of the development hereby permitted and shall be provided in accordance with the approved details before the development is brought into use.

Continued/16 ...



Mrs V A Dilcock
Chief Planning Officer

NYM/NPA
-2 MAY 2008