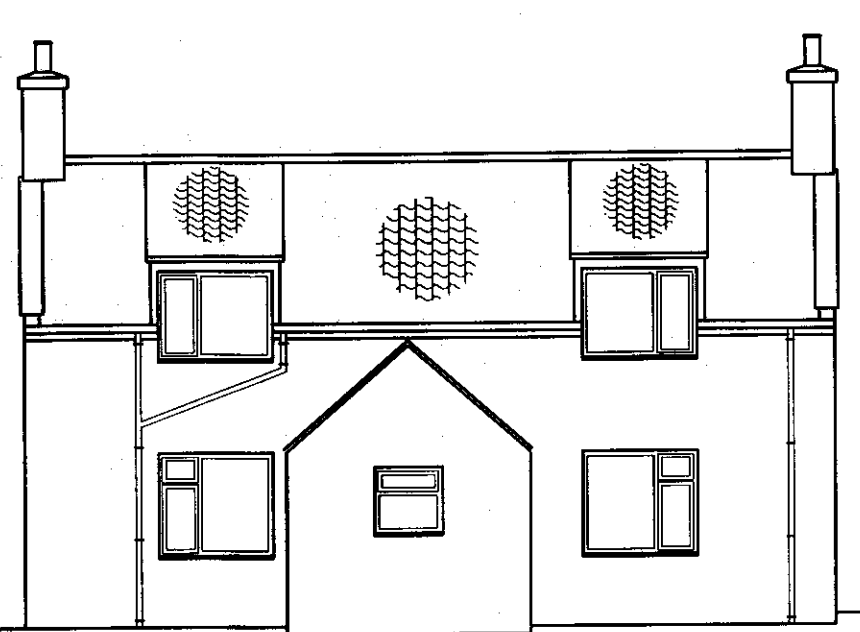
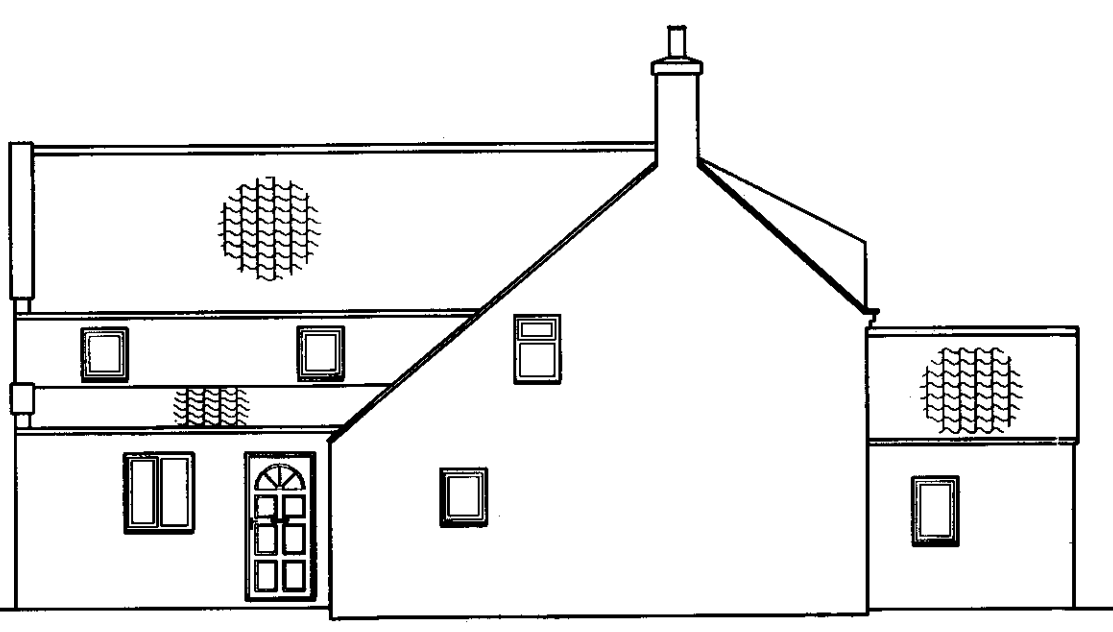


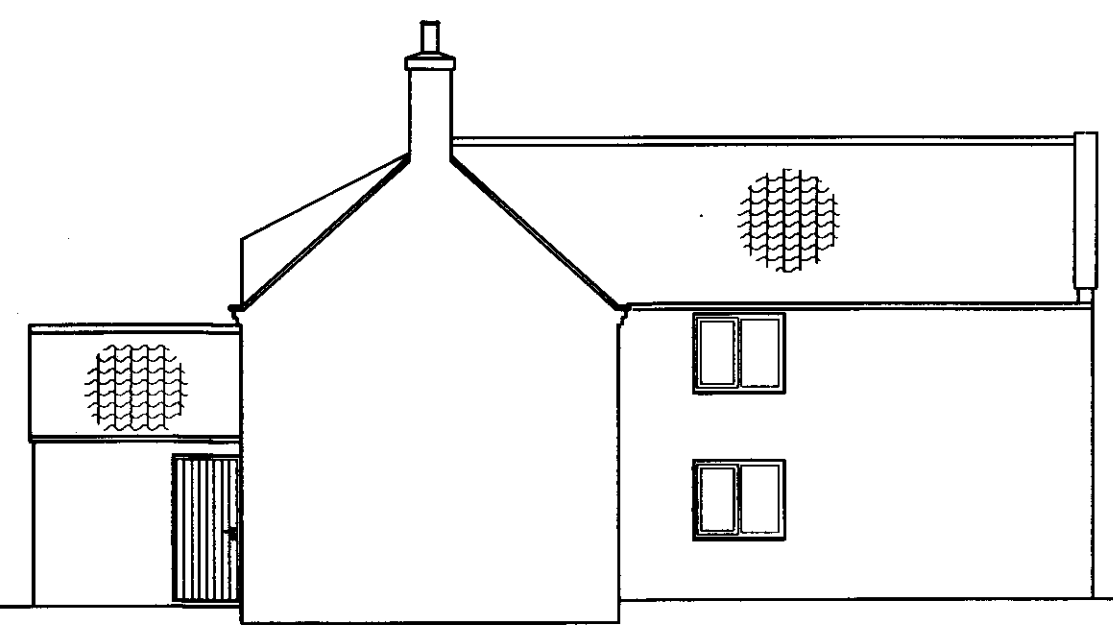
This drawing has been prepared to apply for Planning Permission and Building Regulation Approval. All details, dimensions etc. must be checked on site by the Builder before work commences.



EXISTING SIDE ELEVATION

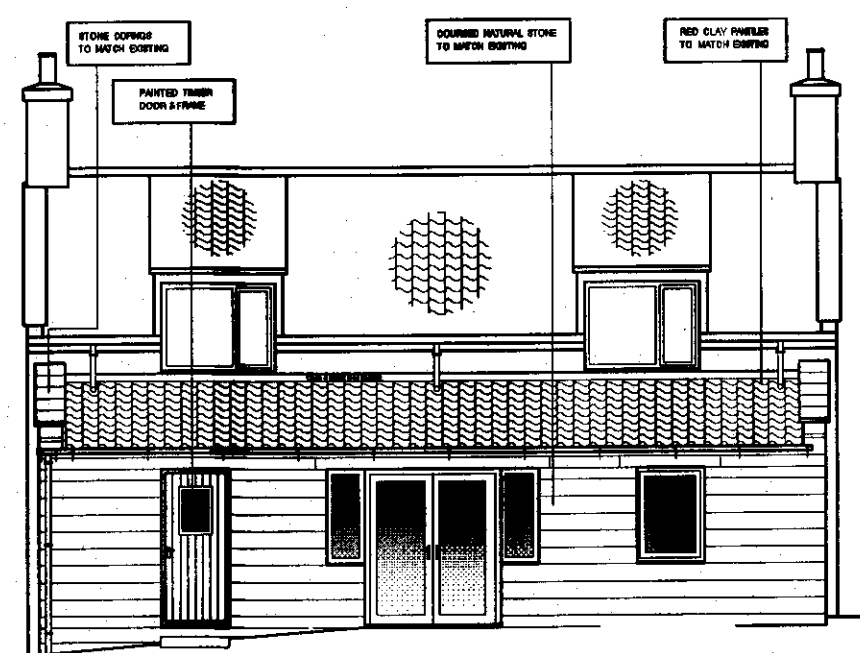


EXISTING FRONT ELEVATION

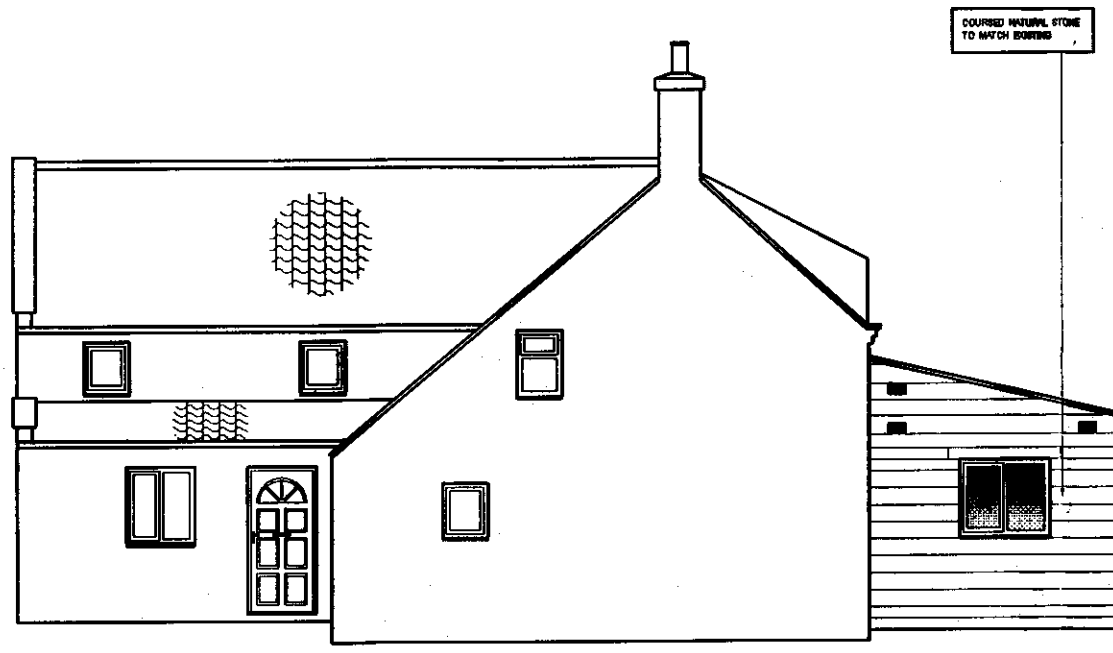


EXISTING BACK ELEVATION

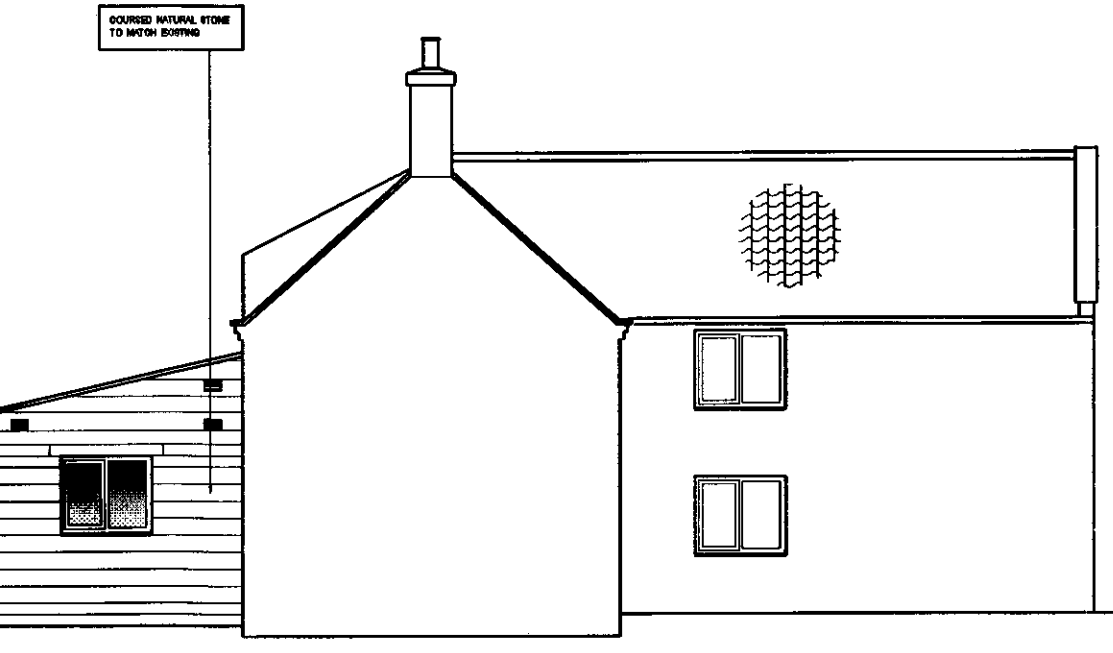
NYMNP
- 6 MAY 2008



PROPOSED SIDE ELEVATION



PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION

NOTES

FOUNDATIONS: 600 x 200 mm. Concrete strip foundations. Depth as required for firm bearing ground but not less than 750 mm. below finished ground level.

WALLS: 100 mm. natural stone, 40 mm. cavity, 60 mm. Celotex tuff-R CW3000 insulation and 100 mm. concrete block to inner leaf with 12.5 mm. plasterboard on dabs with 3 mm. plaster skim finish.
To give U-Value - 0.26W/m²K.
7N concrete blocks below ground level built in 1:3 cement and sand mortar with weak mix concrete cavity fill to 150 mm. below DPC's. Galvanised wall starters to be used at junction between existing wall and new wall.

WALL TIES: Stainless steel wall ties @ 900 mm. crs. horizontally and 450 mm. crs. vertically. Extra at corners and reveals.
Wall ties to incorporate a plastic retaining clip to ensure the insulation is held permanently against the cavity face of the blockwork.

DPC's: to BS6515 (1984) as shown. 150 mm. minimum above finished ground level. Insulated DPC's to window and door reveals and all cavity closures.

LINTELS: Two course Catnic lintels over window and door openings with 150 mm. minimum end bearing. Stone lintels to external supported by Catnic.

GROUND FLOOR: 60 mm. Cement and sand screed (1:3) on 500 gauge Polythene vapour control layer on 70 mm. Celotex tuff-RGA3000 insulation on 100 mm. concrete floor slab on 1200 gauge Visqueen Damp proof membrane on a thin layer of sand binding on 200 mm. of well consolidated hardcore. To give U-Value 0.22W/m²K.

ROOF: Red clay pantiles on 19 x 35 mm. tanalised tie battens on Protect A1 roofing underlay on 19 x 35 mm. tanalised counter battens on two layers of built up roofing felt on 18 mm. plywood on 125 x 50 mm. rafters @ 400 mm. crs. on 100 x 50 mm. wallplate. 125 x 50 mm. ceiling joists @ 400 mm. crs. All structural timber to be class C16. Roof holding down straps to be 30 x 5 mm. galvanised mild steel straps 900 mm. long fixed to foot of rafters and plugged and screwed to blockwork. Straps @ 1500 mm. crs. 200 x 75 mm. C16 roof purlin built in both ends @ mid span of rafters. 100 x 50 mm. C16 ceiling joist binder built in both ends and ceiling joists secured to binder with galvanised universal framing anchors. 225 x 150 mm. Air bricks with sleeves and cavity tray over as shown to ventilate cold roof space.

ROOF INSULATION: 70 mm. Celotex tuff-RGA3000 fixed between ceiling joists with 65.5 mm. Kooltherm K18 and 3 mm. skim to ceiling.

LATERAL RESTRAINTS: 30 x 5 mm. Galvanised mild steel straps 1200 mm. long secured to underside of 3 nos. rafters and turned 100 mm. down cavity face of blockwork @ 1200 mm. crs. Rafters to have full depth noggings at straps.

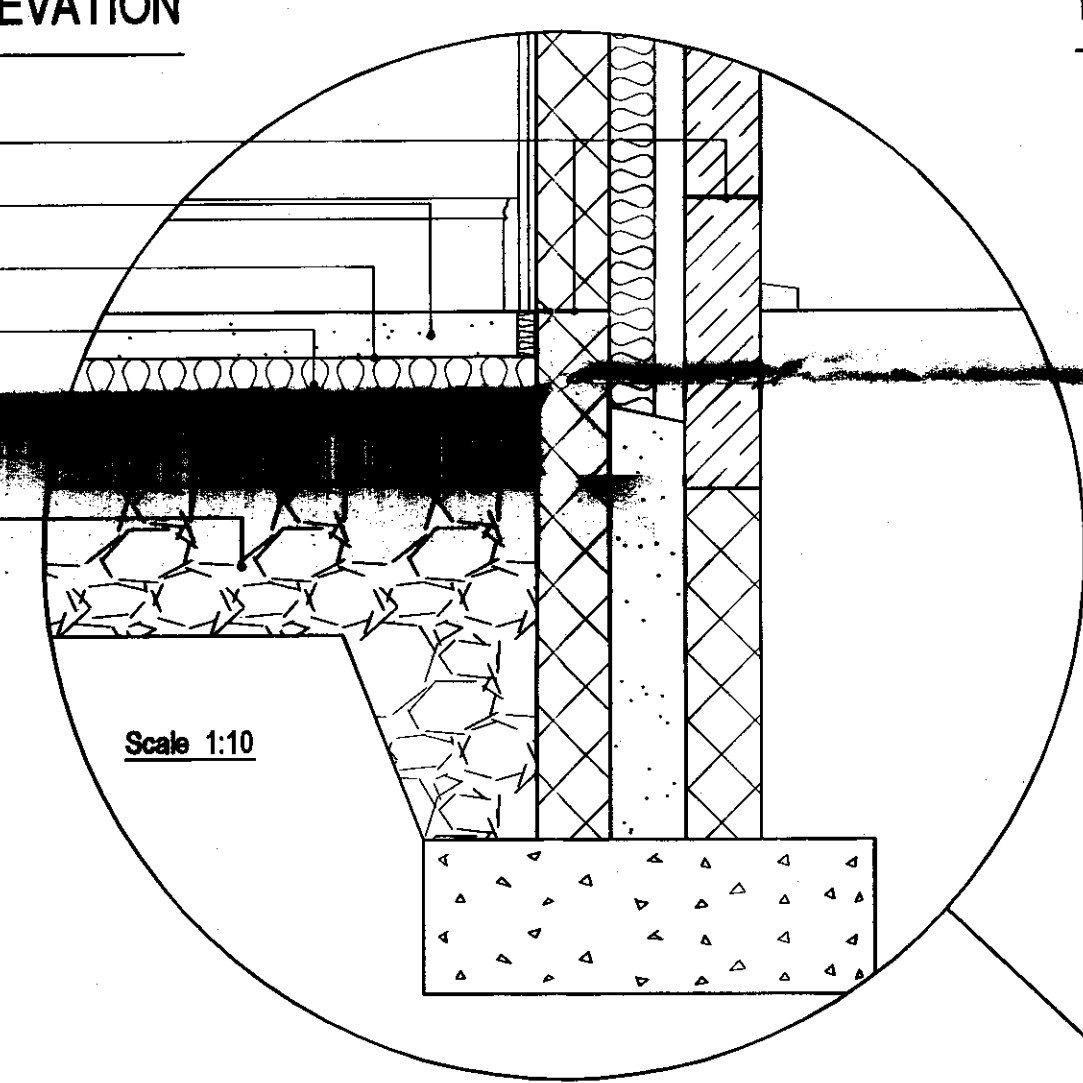
PLUMBING: Wastes from inset sink and washing machine on deep seal traps to existing foul drainage through 32 mm. waste pipes.

ELECTRICAL: All electrical work that is required to meet the requirements of Part P (Electrical Safety) must be designed, installed, inspected and tested by a person competent to do so. Prior to completion of the project the Council shall be provided with an appropriate BS 7671 electrical installation certificate that has been issued by a person who is competent to do so or an electrical self-certification certificate in accordance with Part P and issued by a person who is registered under an electrical self-certification scheme that has been authorised by the Secretary of State.

ELECTRICAL: Switches and socket outlets for lighting and other equipment shall be located at appropriate heights between 450 mm. and 1200 mm. from finished floor level.

DRAINAGE: 110 mm. PVCu underground drainage laid to falls of 1:40 from new gully to existing foul drainage and Inspection Chamber. Drainage laid on and surrounded in 100 mm. of 10 mm. gravel. Lintels over where drainage passes under new walls.

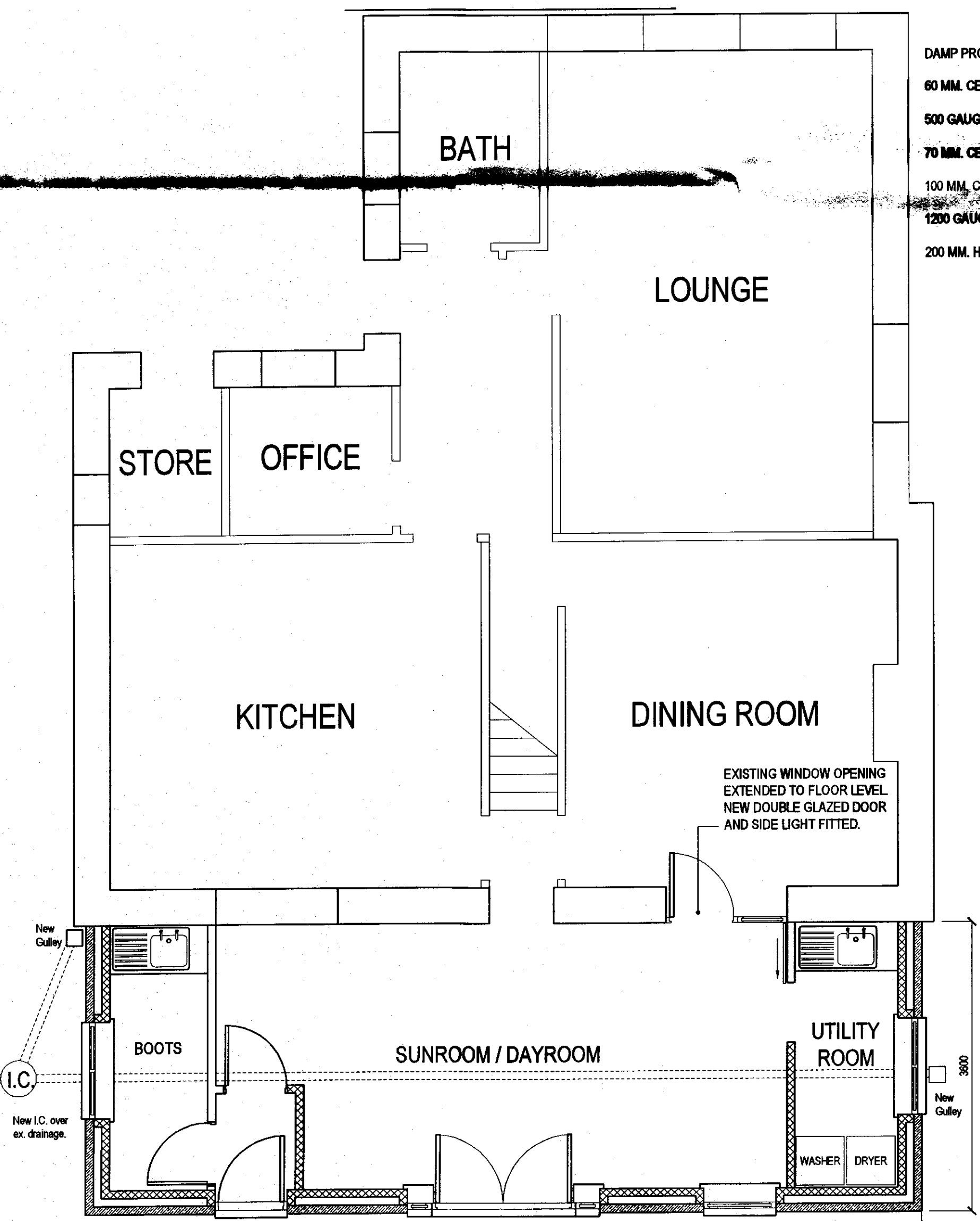
- DAMP PROOF COURSE
- 60 MM. CEMENT AND SAND SCREED
- 500 GAUGE VAPOUR CONTROL LAYER
- 70 MM. CELOTEX TUFF-RGA3000
- 100 MM. CONCRETE FLOOR SLAB
- 1200 GAUGE VISQUEEN DAMP PROOF MEMBRANE
- 200 MM. HARDCORE



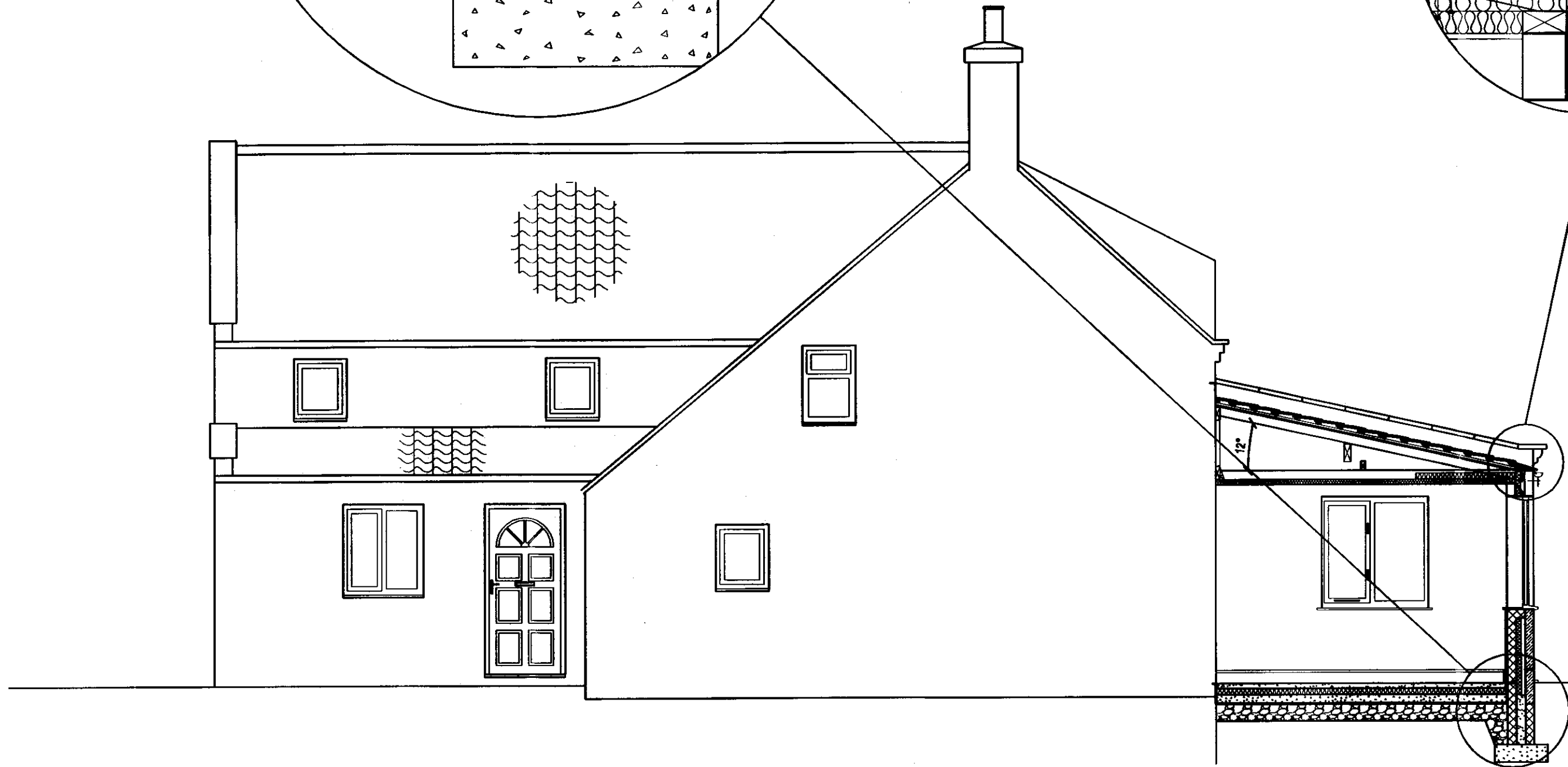
Scale 1:10

- KOOLTHERM K18 (62.5 mm.)
- 500 GAUGE POLYTHENE VCL
- CELOTEX TUFF-RGA3000 (70mm.)
- NO. 4 MILLED LEAD FLASHING.
- COUNTER BATTENS.
- 20 MM. PLYWOOD.
- A1 PROTECT UNDERLAY

Scale 1:10



PROPOSED GROUND FLOOR PLAN PAVING



SECTION A-A

b	April 2008	Reduced pitch on roof.
REV.	DATE	DESCRIPTION

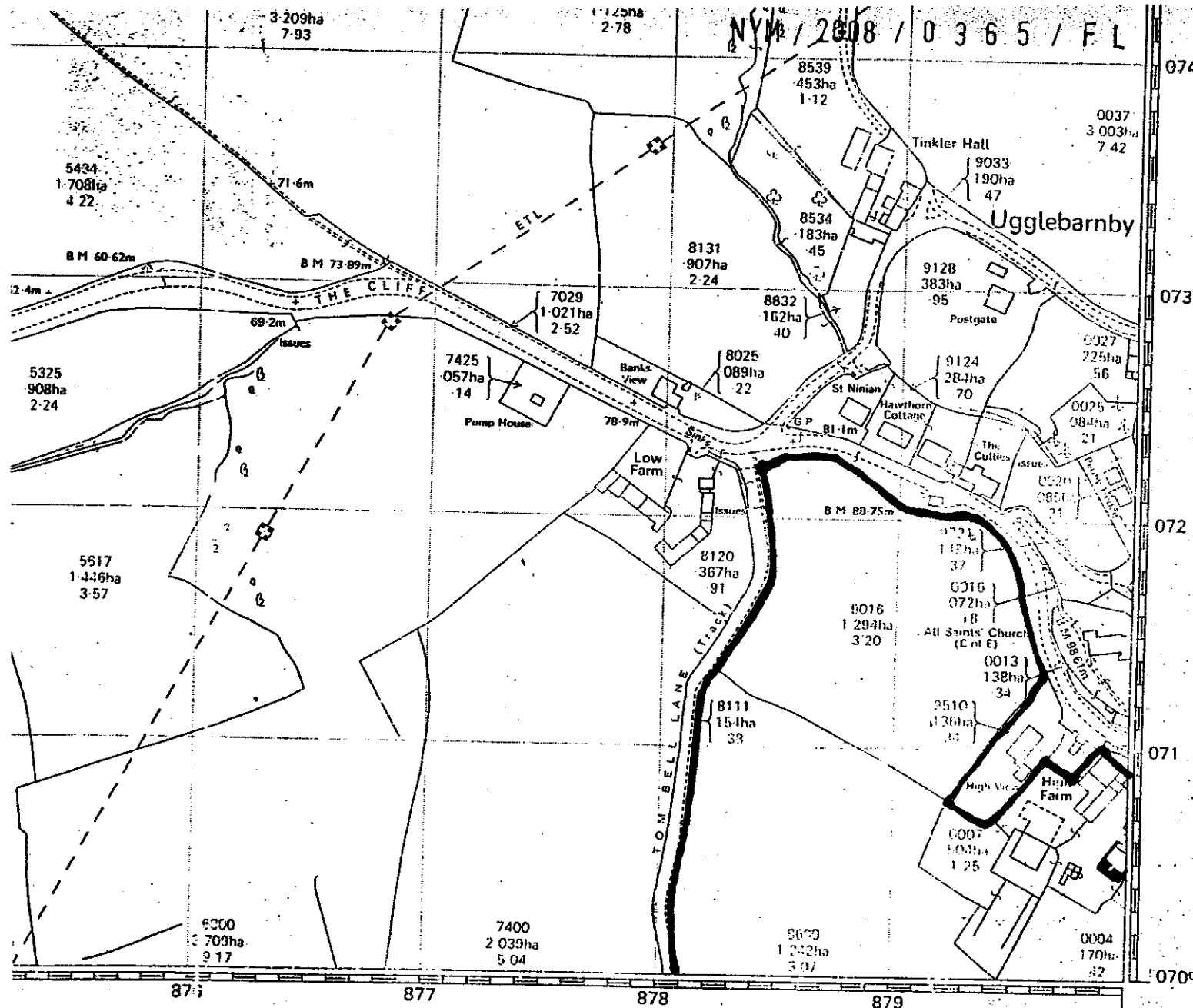
Project
PROPOSED SUN ROOM AND UTILITY ROOM.

Address
HIGH FARM, UGGLEBARNBY, WHITBY, YO22 5HX

Client
Mr. & Mrs. R.J. HARLAND

Drawing
PLANS AS EXISTING AND PROPOSED.

Scale	Date	Dwn. by	Dwg. no.
1:100 & 1:50	April 2008	J. Peoples	RJH/01b



CUM UGGLEBARNBY C P

given in metres above the Newlyn Datum.

For later levelling information, a list of particulars of bench marks shown on this map, and the details of any other bench marks which may be shown on any later editions of this map, are obtainable from the Ordnance Survey, Southampton.

no road, track or path is shown as evidence of the existence of a right of way.

the depth of tunnels where shown is approximate.

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A description of this publication is given in O.S. Leaflet No 32.

NYM/2008/0365/FL

-6 MAY 2008

PROPOSED SUN ROOM AND UTILITY ROOM
EXTENSION AT HIGH FARM, UGGLEBARNBY,
WHITBY FOR Mr. & Mrs R. J. HARLAND



08/0365 Pt. 1

Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

Publication of planning applications on council web sites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If any other information that is provided as part of the application which falls within the definition of personal data under the Data Protection Act and is not to be published on the council's website, please contact the council's planning department.

1. Applicant Name, Address and Contact Details

Title: First name: Surname:

Company name:

Street address:

Town/City:

County:

Country:

Postcode:

Telephone number:

Mobile number:

Fax number:

Email address:

Are you an agent acting on behalf of the applicant? Yes No

2. Agent Name, Address and Contact Details

No Agent details were submitted for this application

3. Description of Proposed Works

Please describe the proposed works:

Has the work already been started without planning permission? Yes No

4. Site Address Details

Full postal address of the site (including full postcode where available) Description:

House: Suffix:

House name:

Street address:

Town/City:

County:

Postcode:

Description of location or a grid reference (must be completed if postcode is not known):

Easting:

Northing:

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- 6 MAY 2008

5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No

Is a new or altered pedestrian access proposed to or from the public highway? Yes No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way? Yes No

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title: Mr First name: A. Surname: Muir

Reference:

Date:

Details of the pre-application advice received:

Appears to be OK

7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your boundary? Yes No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No

8. Parking

Will the proposed works affect existing car parking arrangements? Yes No

9. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the council? Yes No

10. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

The agent The applicant Other person

11. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

Walls - description:

Description of *existing* materials and finishes:

Coursed Natural Stone

Description of *proposed* materials and finishes:

Coursed Natural Stone

Roof - description:

Description of *existing* materials and finishes:

Red Clay Pantiles

Description of *proposed* materials and finishes:

Red Clay Pantiles

Windows - description:

Description of *existing* materials and finishes:

White PVCu Double Glazed

Description of *proposed* materials and finishes:

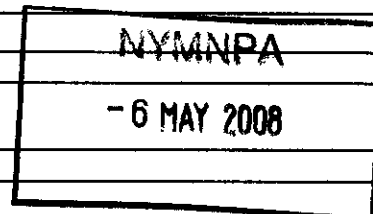
White PVCu Double Glazed

Doors - description:

Description of *existing* materials and finishes:

Description of *proposed* materials and finishes:

Painted Timber door



11. Materials (continued)

NYM / 2008 / 0 3 6 5 / F L

Boundary treatments - description:Description of *existing* materials and finishes:Description of *proposed* materials and finishes:

N/A

Vehicle access and hard standing - description:Description of *existing* materials and finishes:Description of *proposed* materials and finishes:

N/A

Lighting - add descriptionDescription of *existing* materials and finishes:Description of *proposed* materials and finishes:

N/A

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement? Yes No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

Drawing nos.RJH/01b

12. Certificates (Certificate A)**Certificate of Ownership - Certificate A****Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7**

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Title: Mr First name: R.J. Surname: Harland

Person role: Applicant Declaration date: 29/04/2008 Declaration made**12. Certificates (Agricultural Holdings Certificate)****Agricultural Holding Certificate****Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7**

Agricultural Land Declaration - You Must Select Either A or B

(A) None of the land to which the application relates is, or is part of an agricultural holding. (B) I have/The applicant has given the requisite notice to every person other than myself/the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Title: Mr First Name: R.J. Surname: Harland

Person role: Applicant Declaration date: 29/04/2008 Declaration Made**13. Declaration**I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Date 29/04/2008

NYMNPA
- 6 MAY 2008

DESIGN AND ACCESS STATEMENT

FOR

PROPOSED DOMESTIC EXTENSION

AT

HIGH FARM
UGGLEBARNBY
WHITBY

NYMNPA

- 6 MAY 2008

FOR

Mr & Mrs. R. J. HARLAND

DESIGN ASPECTS

CONTEXT

High Farm, Ugglebarnby, Whitby is a working farm and is the full time occupation of Mr. R. J. Harland. The farmhouse, which is the subject of this Planning Application, is the dwelling of Mr & Mrs. Harland and family.

AMOUNT OF DEVELOPMENT

The floor area of the proposed extension is 21.45 square meters.

LAYOUT

The existing utility room / rear entrance is too small to house laundry and deep-freezing equipment to service a growing family. A lobby is also necessary where working footwear can be left before entering the house.

SCALE

The total proposed floor area is 21.45 sq. meters. The floor area of the existing utility room (which will be demolished) is 5.4 sq. meters.

The length of the proposed extension will be 7.1m. and 3.6 m. wide. The highest point of the lean to roof will be 3.8 meters.

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- 6 MAY 2008

LANDSCAPING

It is proposed to take up the existing concrete hard standing and replace with paving. No soft landscaping is proposed.

APPEARANCE

The external walls will be constructed of coursed natural stone partly recycled from the existing utility room.

The roof will be red clay pantiles to match existing.

The windows and doors will be white PVCu double glazed to match existing.

ACCESS

Access to the proposed extension is through door to lobby and disabled access is through double doors to sunroom with ramp to doors not exceeding 1 in 20.