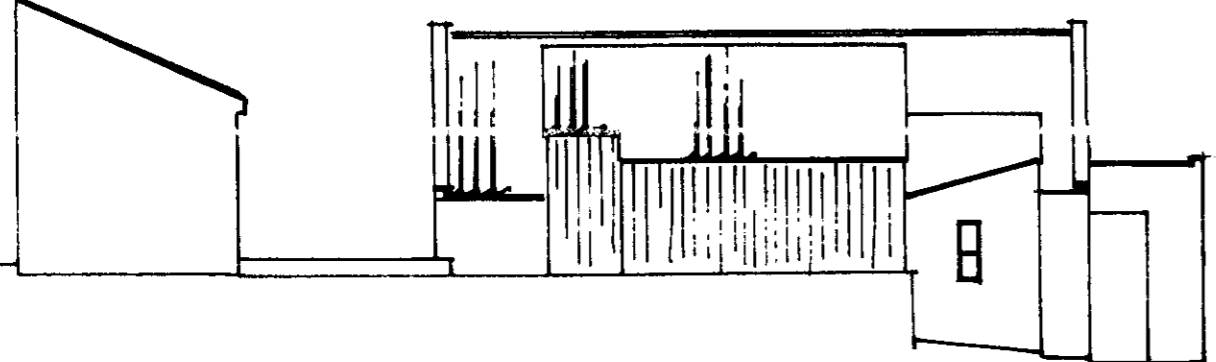
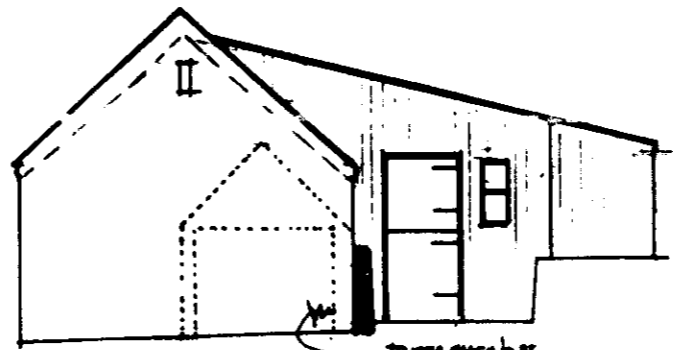


ROSE LEA ~ EGTON

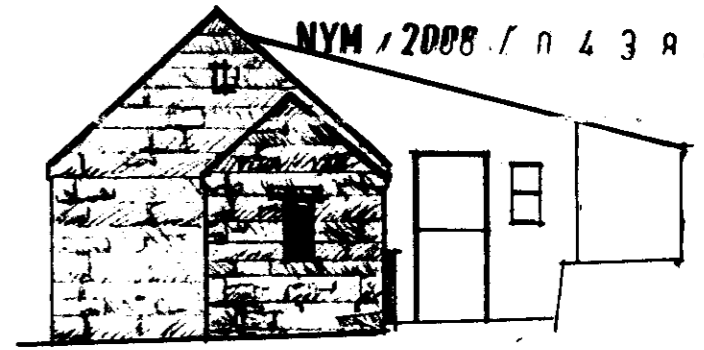
NYM / 2008 / 0438 / F1



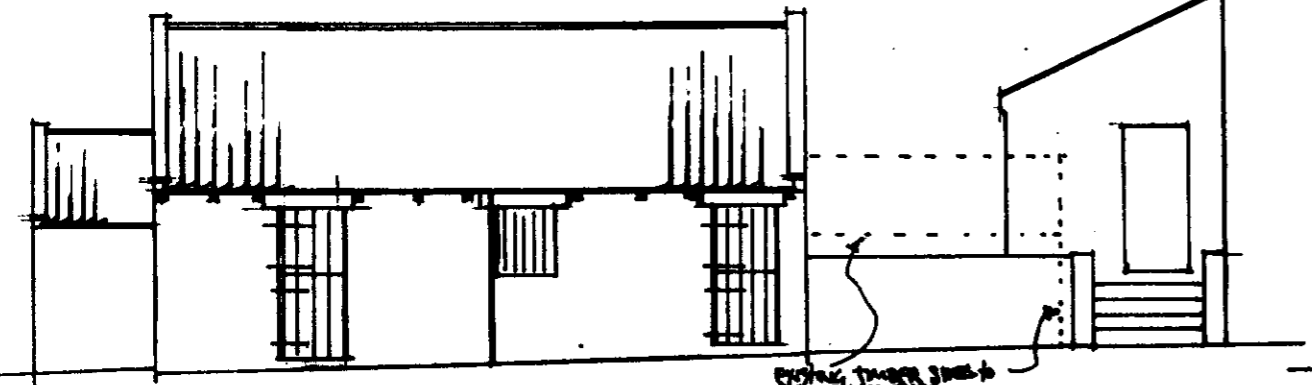
EXISTING NORTH ELEVATIONS



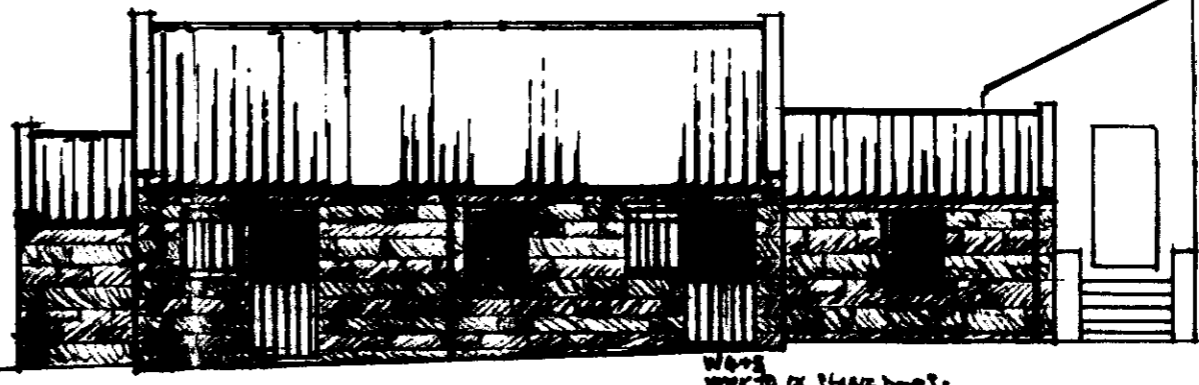
EXISTING EAST ELEVATION
 - Timberwork to be demolished



PROPOSED EAST ELEVATION



EXISTING SOUTH ELEVATIONS



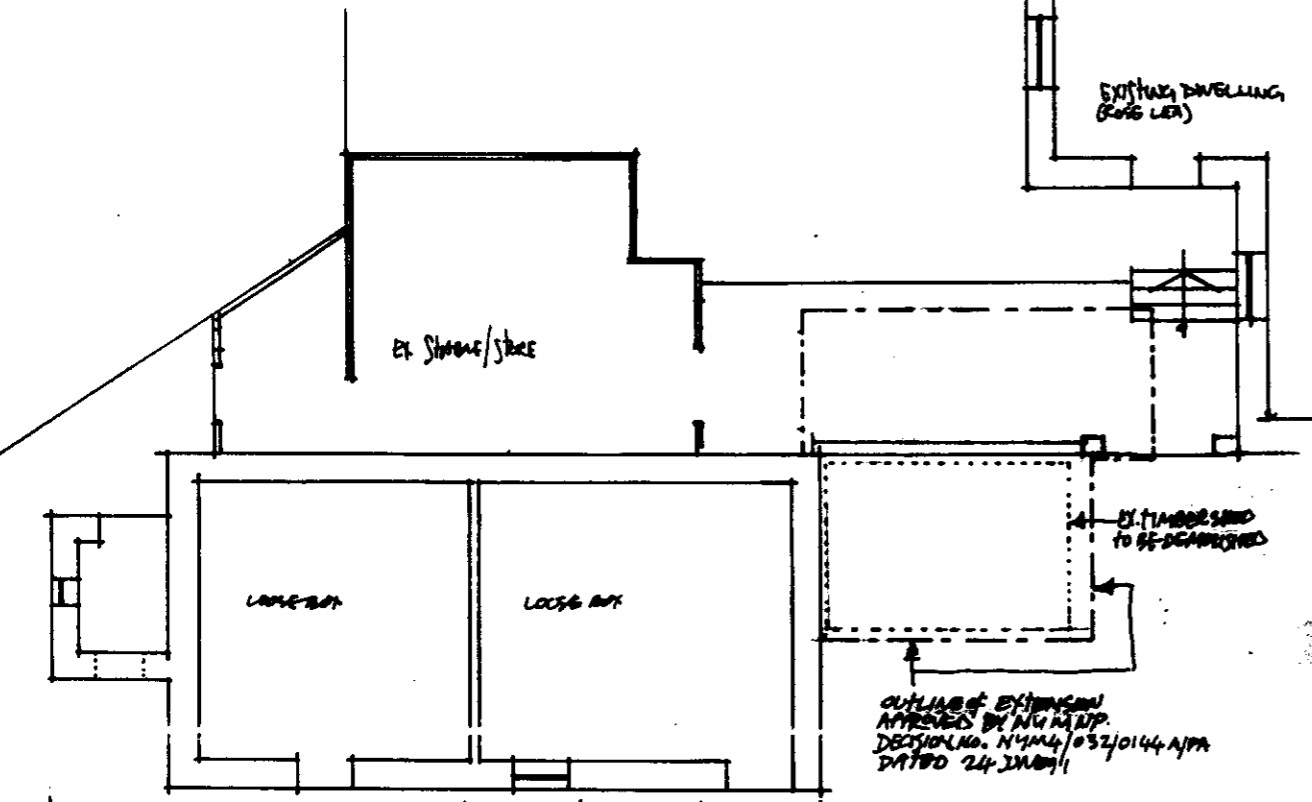
PROPOSED SOUTH ELEVATION

CASING AND WINDERS - W1-W2-W3 TO HAVE TOP MAKING SIZES WITH NO HORN

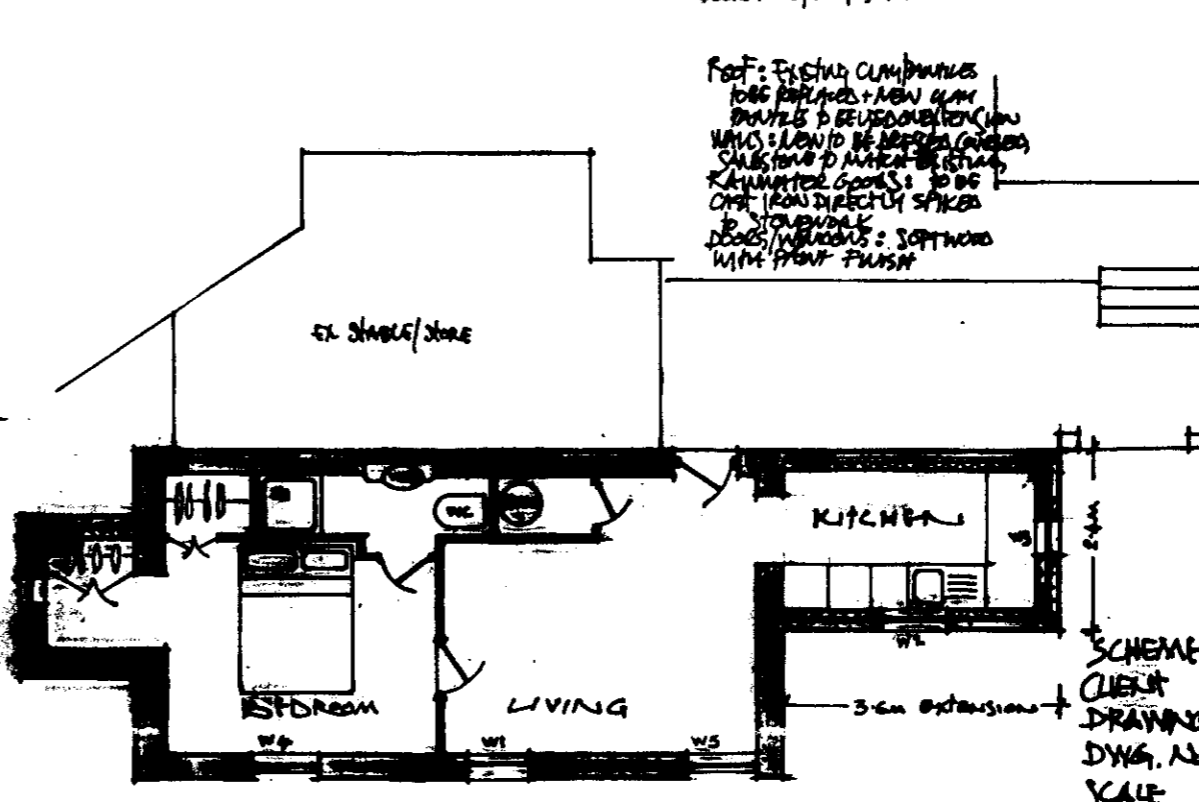
WORK TO BE DONE TO NEW WALLS - MAKE UP WITH LIGHT VERTICAL BOARDING PROPS WITH FEWER CALLS. RETAIN OPEN LEAF OF DOUBLE DOOR TO OPEN TO SITE

ROOF: EXISTING CLIMBERS TO BE REPLACED + NEW CLIMBERS TO BE USED ON EXISTING WALLS - LOW TO BE REPEATED ON NEW WALLS TO MATCH EXISTING. KITCHEN ROOF: TO BE OPEN FROM DIRECTLY SPIKED TO STONEDALE DECK/WINDERS: SOFTWOOD WITH FRONT FINISH

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EXISTING PLAN



PROPOSED PLAN

- SCHEME: GIBBERSON & CO. BUILDING & FORMATION
- CLIENT: MR BRANTHWAITE
- DRAWING: YHMF PROPOSALS
- DWG. NO.: W/E/10/03 REVISION 07
- SCALE: 1:100
- DATE: JAN 07
- DRAWN BY: MALCOLM WATSON
- TEL. NO.: 01947-895457

OUTLINE OF EXISTING DWELLING APPROVED BY NYMNP. DECISION NO. NYM4/032/0144/NPA DATED 24 JAN 04

EXISTING DWELLING (ROSE LEA)

EX STORE/STORE

EX STORE/STORE

LARGE BOX

LOOSE BOX

EX TIMBERWORK TO BE DEMOLISHED

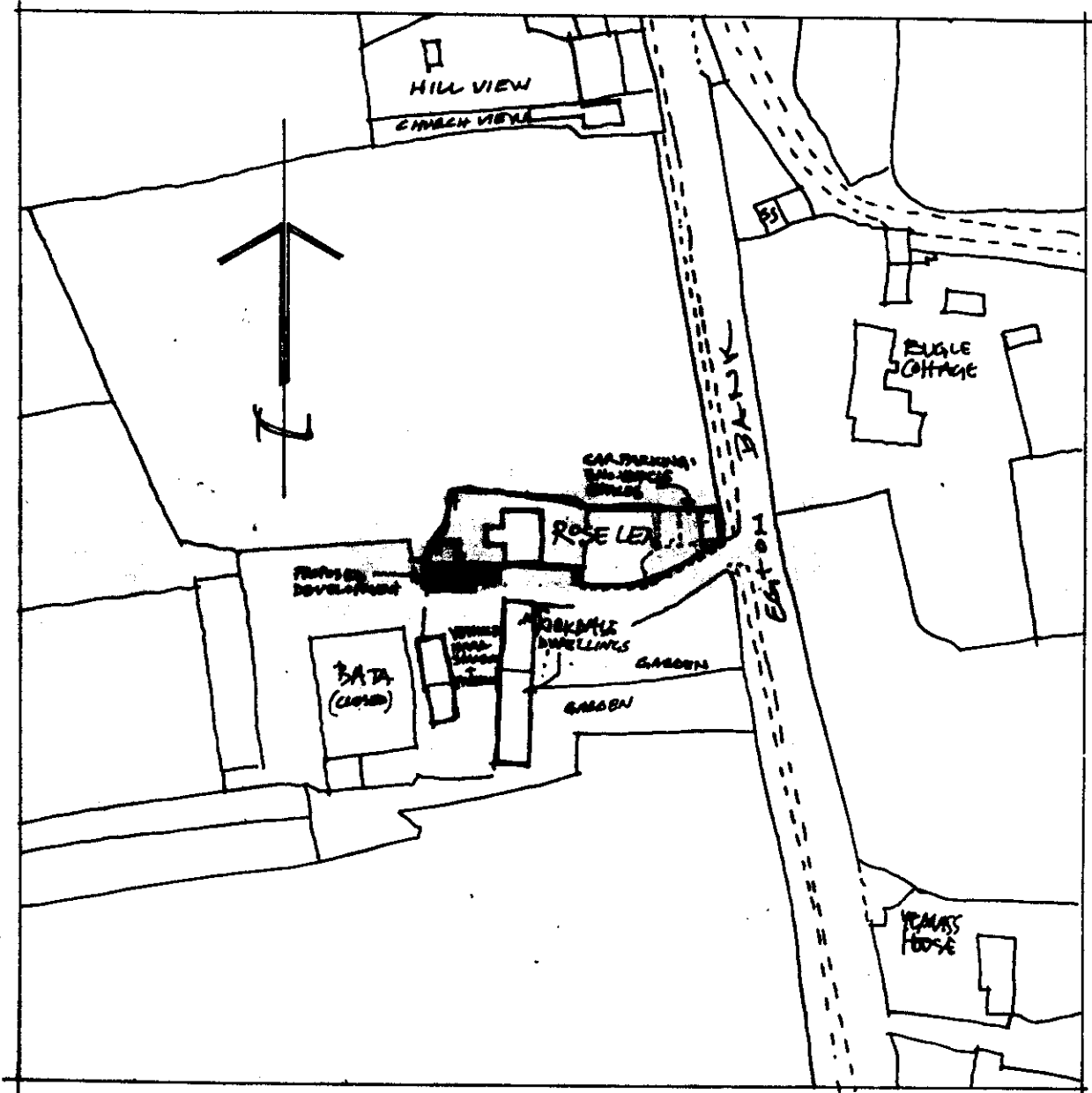
EXTENSION TO BE CONCRETE

KITCHEN

STORE

LIVING

3.6m extension



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JGHEM • CONVERSION OF BUILDING
FORM ANNECTED TO
DAG • LOCATION
DAG No. • 41/10/04
SCALE • 1:1250
DATE • JAN 07



08/0438 Pt.1

North York Moors National Park Authority
 The Old Vicarage
 Bendgate
 York
 YO62 5BP
 Telephone: 01438 770657
 Email: dc@northyorkmoors-rpa.gov.uk
 Website: www.moors.nparks.gov.uk

Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

1. Applicant Name and Address		2. Agent Name and Address	
Title:	MR/MRS First name: R+D	Title:	MR First name: MALCOLM
Last name:	BRAITHWAITE	Last name:	WATSON
Company (optional):		Company (optional):	
Unit:	House number: <input type="text"/> House suffix: <input type="text"/>	Unit:	House number: <input type="text"/> House suffix: <input type="text"/>
House name:	ROSE LEA	House name:	DELVES FARM
Address 1:	EGTON	Address 1:	EGTON GRANGE
Address 2:	WHITBY	Address 2:	WHITBY
Address 3:		Address 3:	
Town:		Town:	
County:		County:	
Country:	N.YKS	Country:	N.YKS
Postcode:	YO 21 1HT	Postcode:	YO 22 5BB

3. Description of Proposed Works

Please describe the proposed works:

**CHANGE OF GLAZING ON SOUTH ELEVATION
 FROM OBSCURE GLASS (AS REQUIRED BY CONDITION 10 - PLANNING
 DECISION NOTICE NO. NYM/2007/0143/FL)
 TO CLEAR GLASS**

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3. Description of Proposed Works (continued)

Has the work already been started without planning permission? Yes No

If Yes, please state when the works were started (DD/MM/YYYY): (date must be pre-application submission)

Has the work already been completed without planning permission? Yes No

If Yes, please state when the works were completed (DD/MM/YYYY): (date must be pre-application submission)

4. Site Address Details

Please provide the full postal address of the application site.

Unit: House number: House suffix:

House name: ROSE LEA

Address 1: EGTON

Address 2:

Address 3:

Town: WHITBY

County: N. Yks

Postcode (optional): YO 21 1UT

5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No

Is a new or altered pedestrian access proposed to or from the public highway? Yes No

Do the proposals require any diversions, extinguishments and/or creation of public rights of way? Yes No

If Yes to any questions, please show details on your plans or drawings and state the reference number(s) of the plan(s)/drawing(s):

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently). Please tick if the full contact details are not known, and then complete as much possible:

Officer name: ANDREW MUIR

Reference: NYM/2007/0143/PL

Date (DD MM YYYY): 17.12.2007
(must be pre-application submission)

Advice given: APPLY TO L.A. TO HAVE CONDITIONS LIFTED

7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your boundary? Yes No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No

If Yes, please show on your plans, indicating the scale, which trees by giving their numbers e.g. T1, T2 etc. and state the reference number of any plans or drawings:

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8. Parking

Will the proposed works affect existing car parking arrangements? Yes No

If Yes, please describe:

9. Council Employee - Member

Is the applicant or agent related to any member of staff or elected member of the Council? Yes No

If Yes, please provide details:

10. Materials

If applicable, please state what materials are to be used externally. Include type, colour and name for each material:

	Existing (where applicable)	Proposed	Not applicable	Don't Know	Drawing references if applicable
Walls			<input type="checkbox"/>	<input type="checkbox"/>	
Roof			<input type="checkbox"/>	<input type="checkbox"/>	
Windows W1, W2 W4, W5	AS CONDITION 10 - PLANNING CONSENT NYM/2007/0143/FL 26 OCT 2007 - 'GLAZING TO BE OBTURB'	GLAZING TO BE CLEAR	<input type="checkbox"/>	<input type="checkbox"/>	W/E/10/03 REV B
Doors			<input type="checkbox"/>	<input type="checkbox"/>	
Boundary treatments (e.g. fences, walls)			<input type="checkbox"/>	<input type="checkbox"/>	
Vehicle access and hard-standing			<input type="checkbox"/>	<input type="checkbox"/>	
Lighting		NYMNP - 4 JUN 2008	<input type="checkbox"/>	<input type="checkbox"/>	
Others (please specify)			<input type="checkbox"/>	<input type="checkbox"/>	

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement? Yes No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

11. Certificates

One Certificate A, B, C, or D, must be completed, together with the Agricultural Holdings Certificate with this application form
CERTIFICATE OF OWNERSHIP - CERTIFICATE A

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7
 I certify/ The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Signed - Applicant: _____ Or signed - Agent: _____ Date (DD/MM/YYYY): 21 May 2008

CERTIFICATE OF OWNERSHIP - CERTIFICATE B

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7
 I certify/ The applicant certifies that I have/ the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which this application relates.

Name of Owner	Address	Date Notice Served

Signed - Applicant: _____ Or signed - Agent: _____ Date (DD/MM/YYYY): _____

CERTIFICATE OF OWNERSHIP - CERTIFICATE C

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7
 I certify/ The applicant certifies that:
 • Neither Certificate A or B can be issued for this application
 • All reasonable steps have been taken to find out the names and addresses of the other owners (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of the land or building, or of a part of it, but I have/ the applicant has been unable to do so.

The steps taken were:

Name of Owner	Address	Date Notice Served
	NYMNPA	
	- 4 JUN 2008	

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant: _____ Or signed - Agent: _____ Date (DD/MM/YYYY): _____

11. Certificates (continued)

CERTIFICATE OF OWNERSHIP - CERTIFICATE D

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

The steps taken were:

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

AGRICULTURAL HOLDINGS CERTIFICATE

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of, an agricultural holding.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

29 May 2008

B) I have/ The applicant has given the requisite notice to every person other than myself/ the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Name of Tenant	Address	Date Notice Served
	NYMNPA	
	- 4 JUN 2008	

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

12. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

- | | | | | | |
|--|-------------------------------------|--|--------------------------|--|--------------------------|
| 3 copies of a completed and dated application form: | <input checked="" type="checkbox"/> | 3 copies of a design and access statement where proposed works fall within one of the following designated areas: | <input type="checkbox"/> | The correct fee: | <input type="checkbox"/> |
| 3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North: | <input checked="" type="checkbox"/> | <ul style="list-style-type: none"> • National Park • Site of special scientific interest • Conservation area • Area of outstanding natural beauty • World Heritage Site • The Broads | | 3 copies of the completed, dated Article 7 Certificate (Agricultural Holdings): | <input type="checkbox"/> |
| 3 copies of other plans and drawings or information necessary to describe the subject of the application: | <input checked="" type="checkbox"/> | | | 3 copies of the completed, dated Ownership Certificate (A, B, C or D - as applicable): | <input type="checkbox"/> |

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

29 May 2008

(date cannot be pre-application)

Design Statement

Conversion of Outbuilding to Form Dwelling

Rose Lea - Egton

Decision No. NYM/2007/0143/FL

Purpose of application:

To omit the obscure glazing and add back clear glazing to the windows on the south elevation. This was a requirement under Condition 10 of the above decision notice.

Context: Permission was granted to convert the outbuilding into a one bedroom annexe to the main dwelling. Accommodation also includes living and kitchen facilities. The Annexe will be occupied by the son of the owners.

Layout: The bedroom, living room and kitchen form a linear sequence of rooms within the structure with their principal windows facing south. There are small secondary windows on the gable walls giving additional light to the bedroom and kitchen but there are no other opening to the living room.

The principal windows that this application relates to, overlook the old access road to BATA agricultural store. Since the application was submitted this commercial use has ceased to operate.

To the south of the road the windows overlook the vehicle hardstanding of the two Kirkdale dwellings. These two properties are converted from redundant farm buildings and are sited at right angles to the frontage of the Annexe. The two gables of Kirkdale facing the Annexe have no windows. The gardens of Kirkdale are on the east side and will not be overlooked from the proposals.

Conclusion: The extent to which this Condition lays down the use of obscure glass is unreasonable and prevents any benefit of an outside view for the occupant of the Annexe. There will be no loss of privacy for the occupants of Kirkdale in either their house or over their gardens.

Malcolm Watson: Architect
May 2008

