

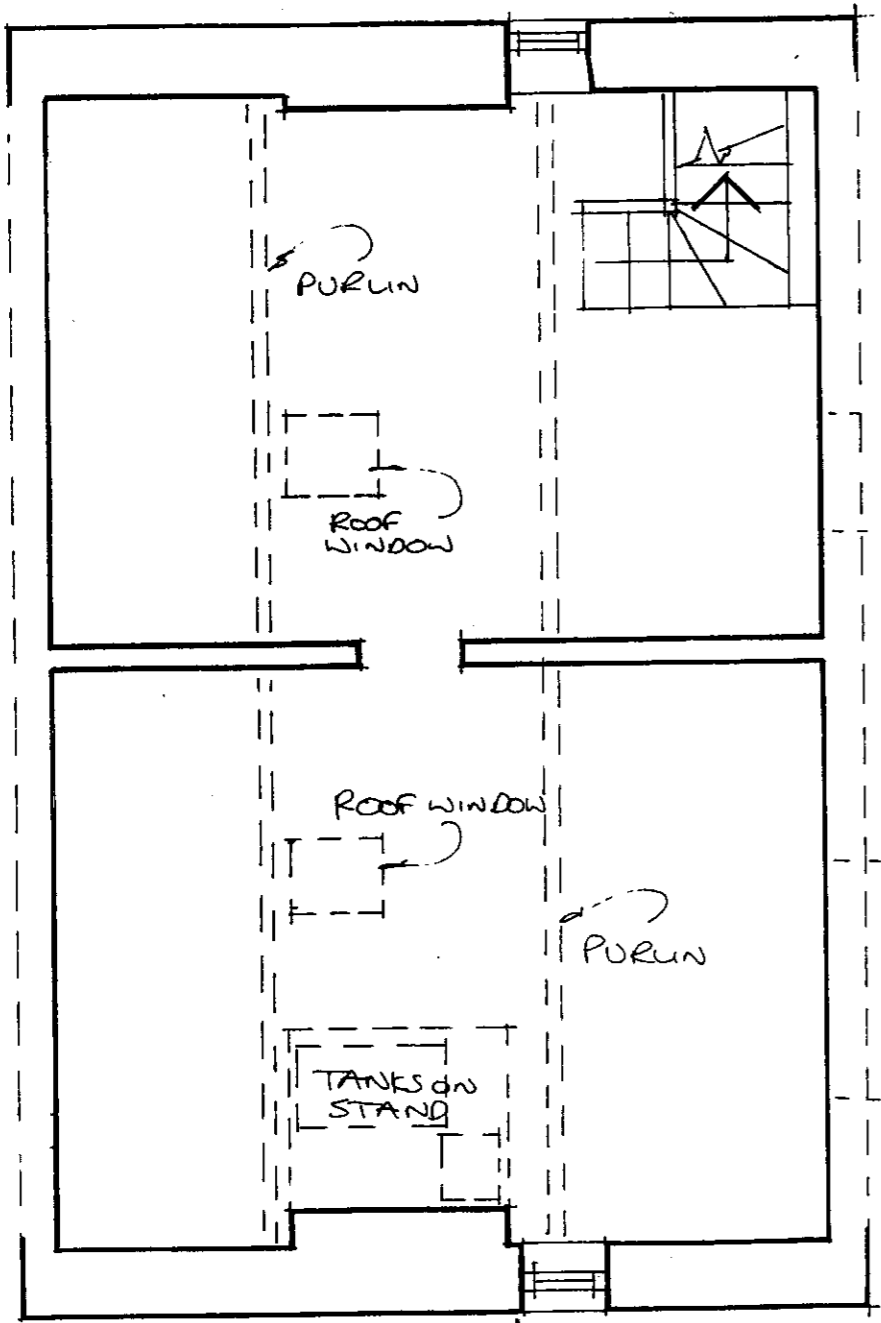
LOCATION PLAN 1:1250



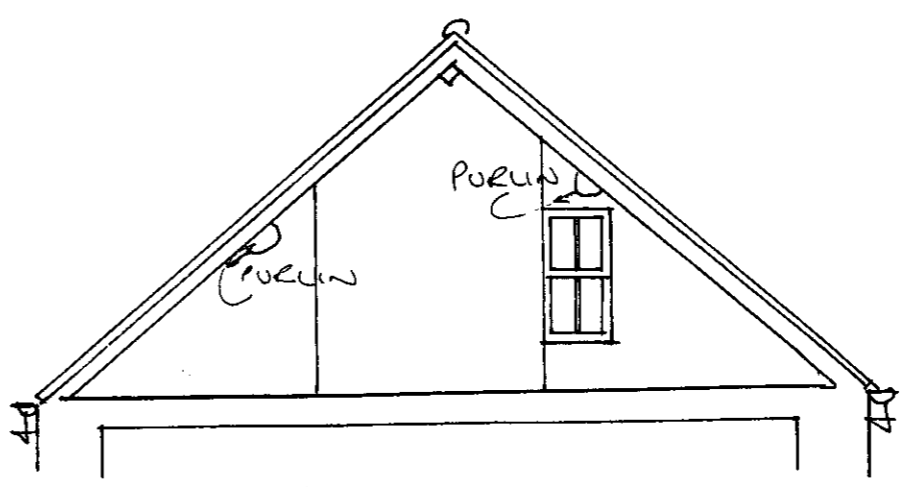
ADJACENT PROPERTY 'BEACHOLME' IN SECTION

SOUTH ELEVATION

NYMNPA
- 5 JUN 2008



PLAN



SECTION

PROPOSED CAT SLIDE DORMERS at THE COBLE, ROBIN HOODS BAY
for Mr & Mrs MACK
PLAN, ELEVATION AND SECTION AS EXISTING
 Scales 1:50 (plan and section) 1:75 (elevation)

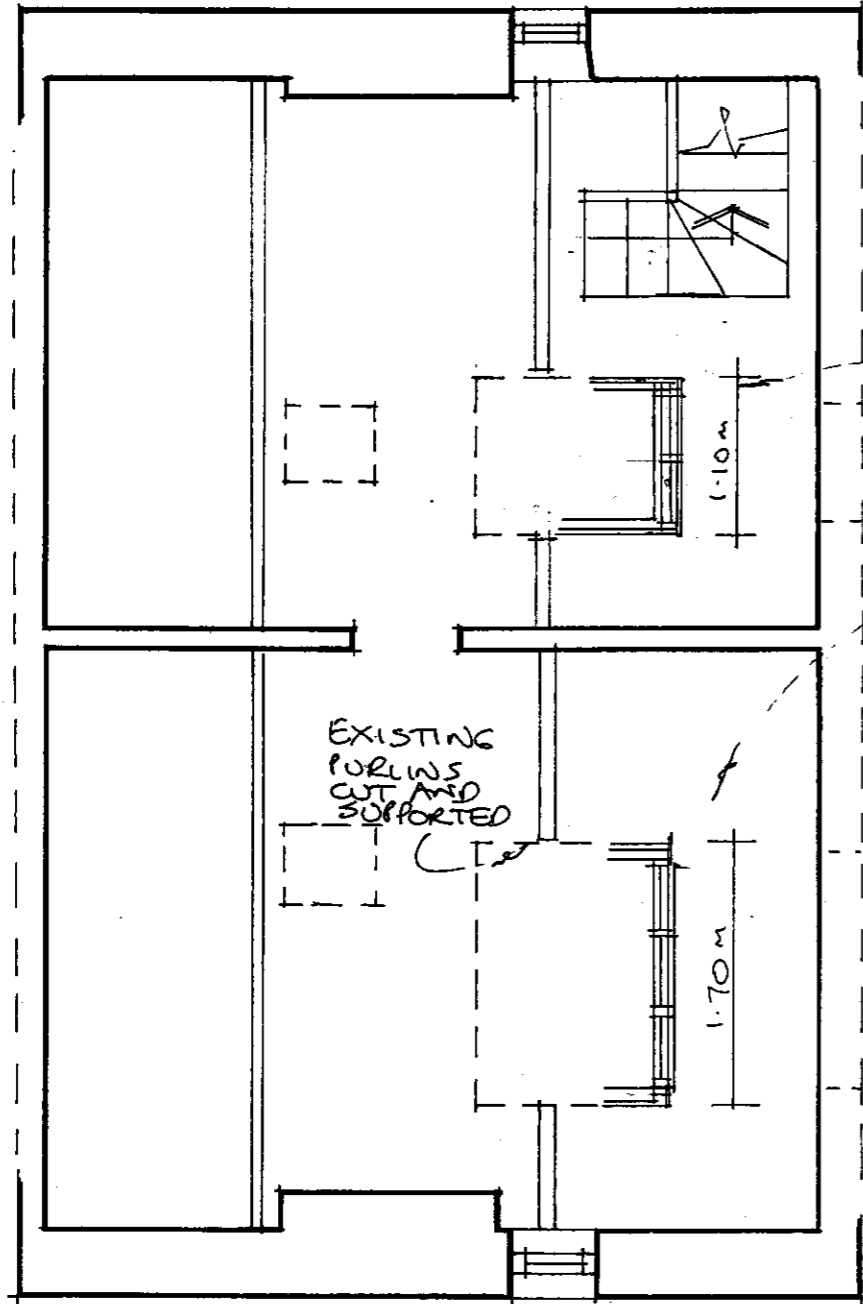
DORMER SPECIFICATION

WINDOW - YORKSHIRE SLIDER MADE OF TREATED SOFTWOOD AND WHITE GLOSS PAINTED

CHEEKS - 75x50 FRAMEWORK WITH LEAD CLAD TO PU1 CHEEKS, INSULATED WITH KINGSPAN RIGID INSULATION AND LINED WITH FOIL BACKED PLASTERBOARD

ROOF - CATSLIDE RECLAIMED PANTILES ON LATHS ON COUNTERLATHS 6mm THICK ON BITUMEN FELTED DECKING WITH RIGID INSULATION AND PLASTERBOARD UNDERDRAWING.

• NOTE: REFER TO BELLSNOXELL SPECIFICATION FOR FULL STRUCTURAL DETAILS.

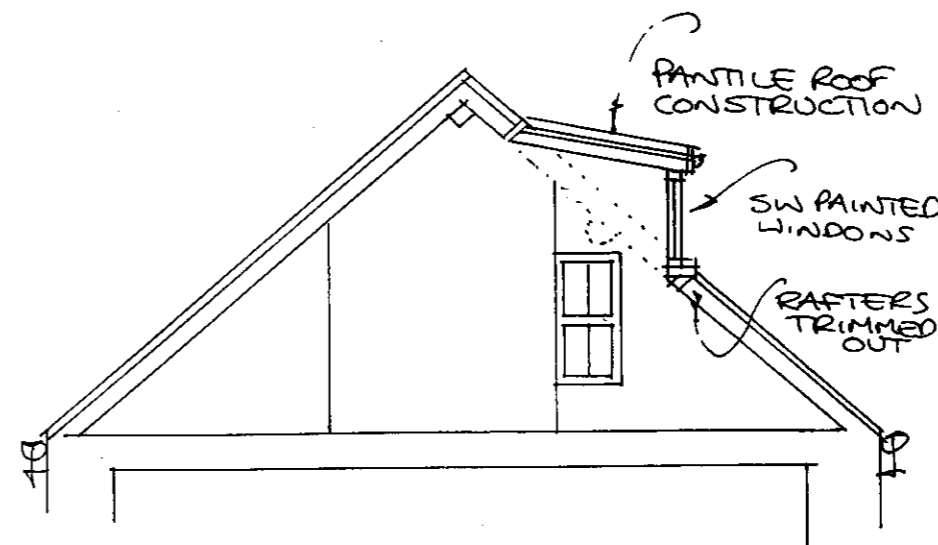


PLAN

2 no PROPOSED DORMER WINDOWS



SOUTH ELEVATION



SECTION

NYMNPA
- 5 JUN 2008

PROPOSED CAT SLIDE DORMERS at THE COBLE, ROBIN HOODS BAY
for Mr & Mrs MACK
PLAN, ELEVATION AND SECTION AS PROPOSED
Scales 1:50 (plan and section) 1:75 (elevation)

3. Description of Proposed Works (continued)

NYM / 2008 / 0443 / LB

Has the work already started without consent? Yes No

If Yes, please state when the work was started (DD/MM/YYYY):

(date must be pre-application submission)

Has the work been completed without consent? Yes No

If Yes, please state the date when the work was completed (DD/MM/YYYY):

(date must be pre-application submission)

4. Site Address Details

Please provide the full postal address of the application site.

Unit: House number: House suffix:

House name: THE COBLE

Address 1: ROBIN HOODS BAY

Address 2:

Address 3:

Town: WHITBY

County: NORTH YORKS

Postcode (optional):

Description of location or a grid reference. (must be completed if postcode is not known):

Easting: Northing:

Description:

ADJACENT TOURIST VISITOR CENTRE.

5. Related Proposals

Are there any current applications, previous proposals or demolitions for the site? Yes No

If Yes please describe and include the planning application reference number(s), if known:

Description	Reference number

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much as possible:

Officer name:

Reference:

Date (DD/MM/YYYY): (must be pre-application submission)

Details of pre-application advice received?

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7. Neighbour and Community Consultation

Have you consulted your neighbours or the local community about the proposal? Yes No

If Yes please provide details:

8. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the council? Yes No

If Yes, please provide details:

9. Materials

Please provide a description of existing and proposed materials and finishes to be used in the building (demolition excluded):

	Existing (where applicable)	Proposed	Not applicable	Don't Know
External walls	RENDER		<input type="checkbox"/>	<input type="checkbox"/>
Roof covering	CLAY PANTILES		<input type="checkbox"/>	<input type="checkbox"/>
Chimney	STONE		<input type="checkbox"/>	<input type="checkbox"/>
Windows	PAINTED TIMBER		<input type="checkbox"/>	<input type="checkbox"/>
External doors	PAINTED TIMBER		<input type="checkbox"/>	<input type="checkbox"/>
Ceilings	EXPOSED OR PLASTERED		<input type="checkbox"/>	<input type="checkbox"/>
Internal walls	PLASTERED		<input type="checkbox"/>	<input type="checkbox"/>
Floors	TIMBER BOARDING		<input type="checkbox"/>	<input type="checkbox"/>
Internal doors	MIXED		<input type="checkbox"/>	<input type="checkbox"/>
Rainwater goods	CAST IRON		<input type="checkbox"/>	<input type="checkbox"/>
Boundary treatments (e.g. fences, walls)		<div style="border: 2px solid black; padding: 5px; width: fit-content; margin: 0 auto;"> NYMNPA - 5 JUN 2008 </div>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Vehicle access and hard standing			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lighting			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Others (add description)			<input checked="" type="checkbox"/>	<input type="checkbox"/>

Are you supplying additional information on submitted drawings or plans? Yes No

If Yes, please state plan(s)/drawing(s) references:

10. Demolition

Does the proposal include the partial or total demolition of a listed building? Yes No

If Yes, which of the following does the proposal involve?

- a) Total demolition of the listed building: Yes No
- b) Demolition of a building within the curtilage of the listed building: Yes No
- c) Demolition of a part of the listed building: Yes No

If the answer to c) is Yes:

i) What is the total volume of the listed building?(cubic metres)	
ii) What is the volume of the part to be demolished?(cubic metres)	
iii) What was the (approximate) date of the erection of the part to be removed? (MM/YYYY) (date must be pre-application submission)	

Please provide a brief description of the building or part of the building you are proposing to demolish:

Why is it necessary to demolish or extend (as applicable) all or part of the building(s) and or structure(s)?

11. Listed Building Alterations

Do the proposed works include alterations to a listed building? Yes No

If Yes, do the proposed works include: (you must answer each of the questions)

- a) Works to the interior of the building? Yes No
- b) Works to the exterior of the building? Yes No
- c) Works to any structure or object fixed to the property (or buildings within its curtilage internally or externally)? Yes No
- d) Stripping out of any internal wall, ceiling or floor finishes (e.g. plaster, floorboards)? Yes No

If the answer to any of these questions is Yes, please provide plans, drawings, photographs sufficient to identify the location, extent and character of the items to be removed, and the proposal for their replacement, including any new means of structural support and state references for the plan(s)/drawing(s):

12. Listed Building Grading

Please state the grading (if known) of the building in the list of Buildings of Special Architectural or Historic interest? (Note: only one box must be ticked)

- Grade I
- Grade II
- Grade II*
- Ecclesiastical Grade I
- Ecclesiastical Grade II
- Ecclesiastical Grade II*
- Don't know

13. Immunity From Listing

Has a Certificate of Immunity from Listing been sought in respect of this building?

- Yes
- No
- Don't know

If Yes, please provide the result of the application:

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14. Certificates

One Certificate A, B, C, or D, must be completed with this application form

CERTIFICATE OF OWNERSHIP - CERTIFICATE A

NYN # 2008 7 0 4 3 / LB

Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land or building to which the application relates.

Signed - Applicant:

Or signed - Agent:

Date DD/MM/YYYY:

[Redacted Signature]

14/03/2008

CERTIFICATE OF OWNERSHIP - CERTIFICATE B

Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990

I certify/ The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land or building to which this application relates.

Name of Owner	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date DD/MM/YYYY:

[Redacted Signature]

[Redacted Signature]

[Redacted Date]

CERTIFICATE OF OWNERSHIP - CERTIFICATE C

Certificate under Article 7 of the Town and Country Planning (General Development Procedure) Order 1995 & Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990

I certify/ The applicant certifies that:

- Neither Certificate A or B can be issued for this application
- All reasonable steps have been taken to find out the names and addresses of the other owners (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of the land or building, or of a part of it, but I have/ the applicant has been unable to do so.

The steps taken were:

[Redacted Text]

Name of Owner	Address	Date Notice Served

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- 5 JUN 2008

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

[Redacted Newspaper Name]

On the following date (which must not be earlier than 21 days before the date of the application):

[Redacted Date]

Signed - Applicant:

Or signed - Agent:

Date DD/MM/YYYY:

[Redacted Signature]

[Redacted Signature]

[Redacted Date]

14. Certificates (continued)

CERTIFICATE OF OWNERSHIP - CERTIFICATE D

Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

The steps taken were:

NYM / 2008 / 0 4 4 3 / L B

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):
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Signed - Applicant: _____ Or signed - Agent: _____ Date DD/MM/YYYY: _____

15. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

- 3 copies of a completed and dated application form:
- 3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North:
- 3 copies of other plans and drawings or information necessary to describe the subject of the application:
- 3 copies of the completed, dated Ownership Certificate (A, B, C, or D - as applicable):

16. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant: _____ Or signed - Agent: _____ Date (DD/MM/YYYY): **14/03/2008** (date cannot be pre-application)

17. Applicant Contact Details

Telephone numbers

Country code:	National number:	Extension number:
<input type="text"/>	<input type="text"/>	<input type="text"/>
Country code:	Mobile number (optional):	
<input type="text"/>	<input type="text"/>	
Country code:	Fax number (optional):	
<input type="text"/>	<input type="text"/>	

Email address (optional):

18. Agent Contact Details

Telephone numbers

Country code:	National number:	Extension number:
<input type="text"/>	<input type="text"/>	<input type="text"/>
Country code:	Mobile number (optional):	
<input type="text"/>	<input type="text"/>	
Country code:	Fax number (optional):	
<input type="text"/>	<input type="text"/>	

Email address (optional):

19. Site Visit

- Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No
- If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (*Please select only one*)
- Agent Applicant Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name: _____ Telephone number: _____

Email address: _____

PLANNING & ACCESS STATEMENT

PROPOSED DORMER WINDOWS

at

THE COBLE

ROBIN HOODS BAY

For

Mr & Mrs MACK

**Prepared by
Stephen McGivern
Melrose House
Hinderwell
TS13 5ES**

NYMNPA
- 5 JUN 2008

March 2008

1.0 Design

1.1 Context

The application relates to the insertion of dormer windows in a three storey house. The storey relating to the application is already floored and has the benefit of small roof windows and an existing stair access.

1.2 Amount of development

The proposed windows are in scale with adjacent properties and relate to existing windows in the floor below

1.3 Appearance

The windows are to be built to match adjacent dormers with traditional materials matching with the existing house and others in the locality.

2.0 Access

No changes are envisaged in access arrangements.

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North York Moors National Park Authority

A member of the Association of National Park Authorities

The Old Vicarage, Bondgate, Helmsley, York YO62 5BP

Tel: 01439 770657 e-mail: general@northyorkmoors-npa.gov.uk

Fax: 01439 770691 www.moors.uk.net

Andy Wilson
Chief Executive (National Park Officer)

Mr Barrie Snoxell
Barclays Bank House
Baxtergate
Whitby
YO21 1BW

Your ref: 55808

Our ref: Enq: 4092

Date: 8 April 2008

NYMNPA

- 5 JUN 2008

Dear Barrie

The Coble, Covet Hill, Robin Hood's Bay

It was good to meet you last Friday, and I now write to confirm the advice given to you on site in respect of the above property.

The 1960s extension to the main building, located underneath the current patio, may be repaired like-for-like without listed building consent, with the exception of the party wall to the main listed building at the back. This is of traditional construction and has been inappropriately repaired in the past. Given the damp issues in this building, it should be repaired using lime plaster/render. A change of style to the large picture windows from tilt and turn to hopper opening type would require listed building consent, but I would have no objection to this change. Replacement of the existing modern fireplace in this room would require consent, and any new design proposed should be simple in style and would need to be approved.

The partition wall in the small porch area with the high level internal window is modern, and I have no objection to relocating it to create a wc. I also have no objection to replacing the external door in this porch area with a panelled door with glazed upper section. Listed building consent would be needed for both changes.

The ground floor area to the south has damp issues as it is a retaining wall. Tanking would not be an acceptable solution, but conservative repair using lime mortar and lime plaster/render should be undertaken, and I would support an independent ventilated dry lining (not blockwork), though listed building consent will be required for this. Walls which are not retaining should be repaired conservatively using lime technology, taking the opportunity to rectify any previous inappropriate repairs, and not dry lined.

Removal of the modern dining room fireplace and will require listed building consent and the treatment of the opening and details of the log stove/flue liner would need to be agreed.

Continued...



CUSTOMER SERVICE EXCELLENCE

15GK526V

Our Ref: Enq: 4092

2

Date: 8 April 2008

Replacement of the patio railings on a like for like basis would not require consent, and I would advise the railings be painted a soft grey shade, to fade into the background when viewed from the beach. If you wish to include a stainless steel mesh, this will need consent and a sample should be supplied to us for approval. The removal of the first floor modern fireplace is acceptable and would require listed building consent.

Further information is required on the construction date of the door surround to Covet Hill in order to support a proposal for its removal. The Bay is well documented in photographs and it would be helpful to see what was previously there. Any new design would need to be of greater architectural value given that the existing door surround, though modern, is unusual and well constructed. The door itself may be replaced with a part glazed panelled door. Listed building consent will be required for both of these alterations.

Although we would normally resist any new openings in a listed building, I feel that there may be some gain in allowing two very small dormers on the south slope if we could negotiate the removal of the two inappropriate roof lights on the north slope. The dormers should run into the roof slope rather than being gabled, and should have a timber structure with glazed cheeks. A pair of small side hung casements with a horizontal glazing bar and single glazing would be most appropriate.

Listed building consent would be needed for the proposed balustrade in the attic, this should be a very simple and clean design to avoid visual clutter in the room.

A window repair schedule should be submitted along with the application.

I hope this is of help to you, please do not hesitate to contact me if you have any further queries.

Yours sincerely



Gillian Kleine
Building Conservation Officer

NYMNPA - 5 JUN 2008
