

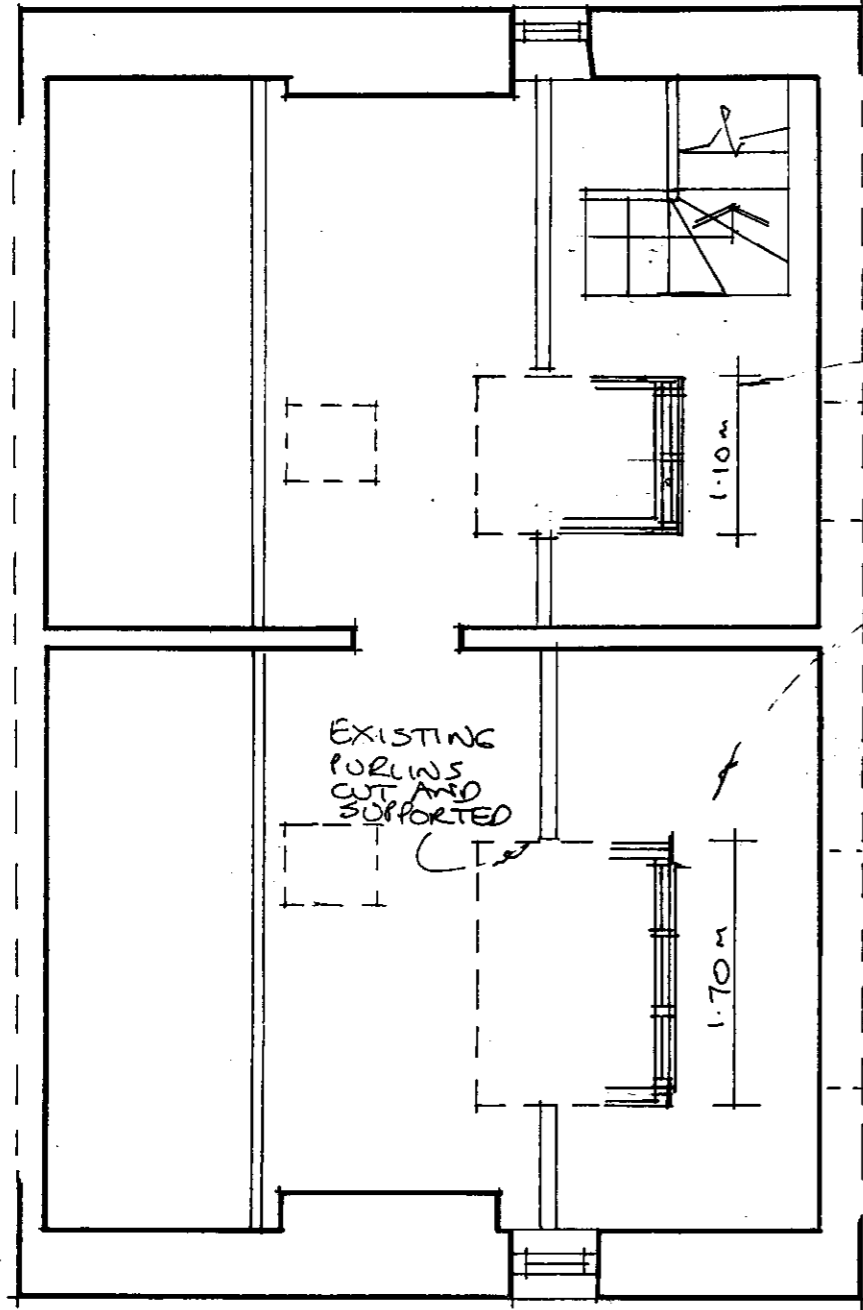
DORMER SPECIFICATION

WINDOW - YORKSHIRE SLIDER MADE OF TREATED SOFTWOOD AND WHITE GLOSS PAINTED

CHEEKS - 75x50 FRAMEWORK WITH LEAD CLAD TO PU1 CHEEKS, INSULATED WITH KINGSPAN RIGID INSULATION AND LINED WITH FOIL BACKED PLASTERBOARD

ROOF - CATSLIDE RECLAIMED PANTILES ON LATHS ON COUNTERLATHS 6mm THICK ON BITUMEN FELTED DECKING WITH RIGID INSULATION AND PLASTERBOARD UNDERDRAWING.

• NOTE: REFER TO BELLSNOXELL SPECIFICATION FOR FULL STRUCTURAL DETAILS.



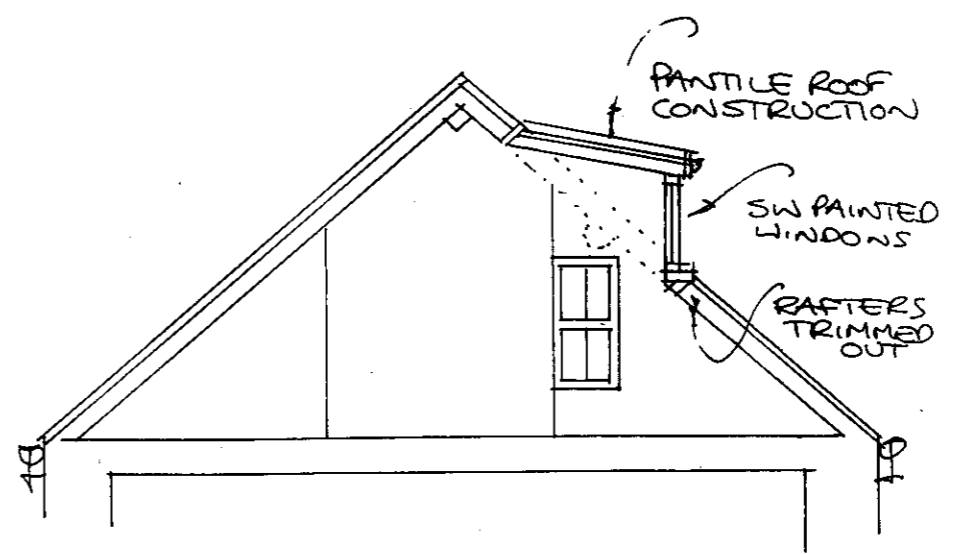
PLAN

2nd PROPOSED DORMER WINDOWS

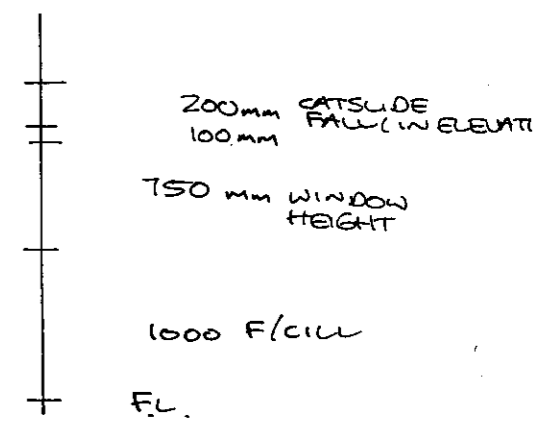


SOUTH ELEVATION

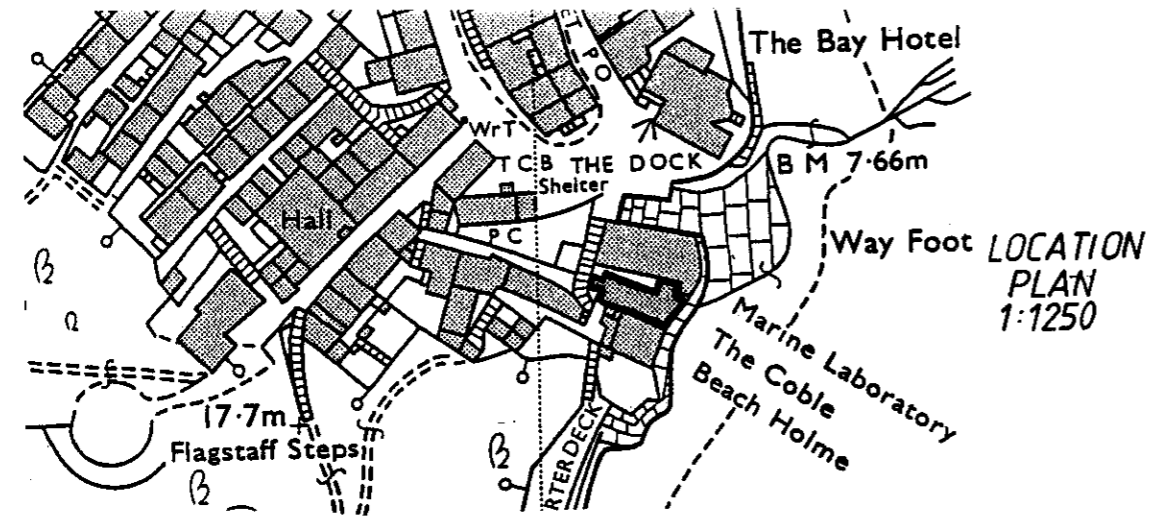
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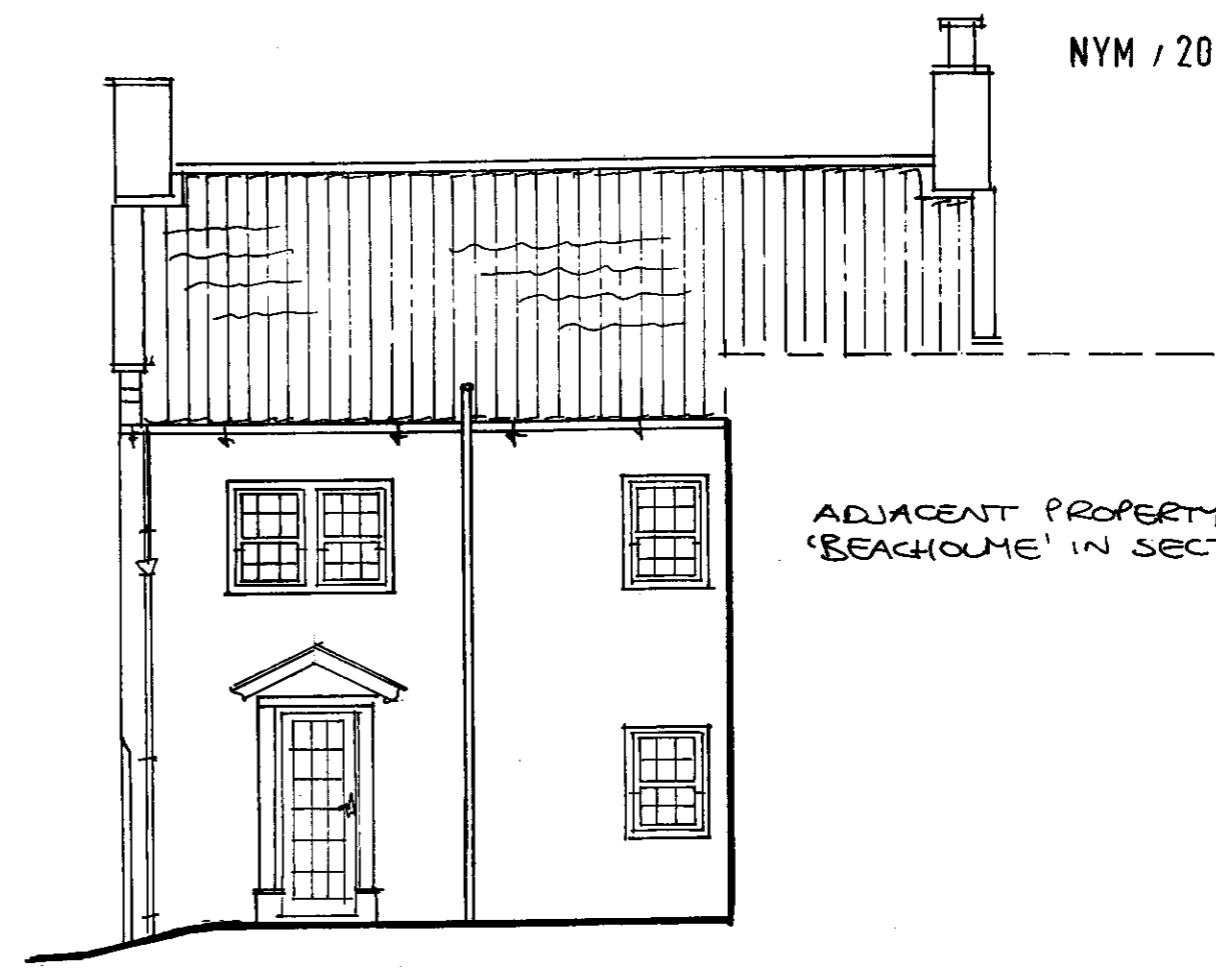
SECTION



PROPOSED CAT SLIDE DORMERS at THE COBLE, ROBIN HOODS BAY
for Mr & Mrs MACK
PLAN, ELEVATION AND SECTION AS PROPOSED
Scales 1:50 (plan and section) 1:75 (elevation)

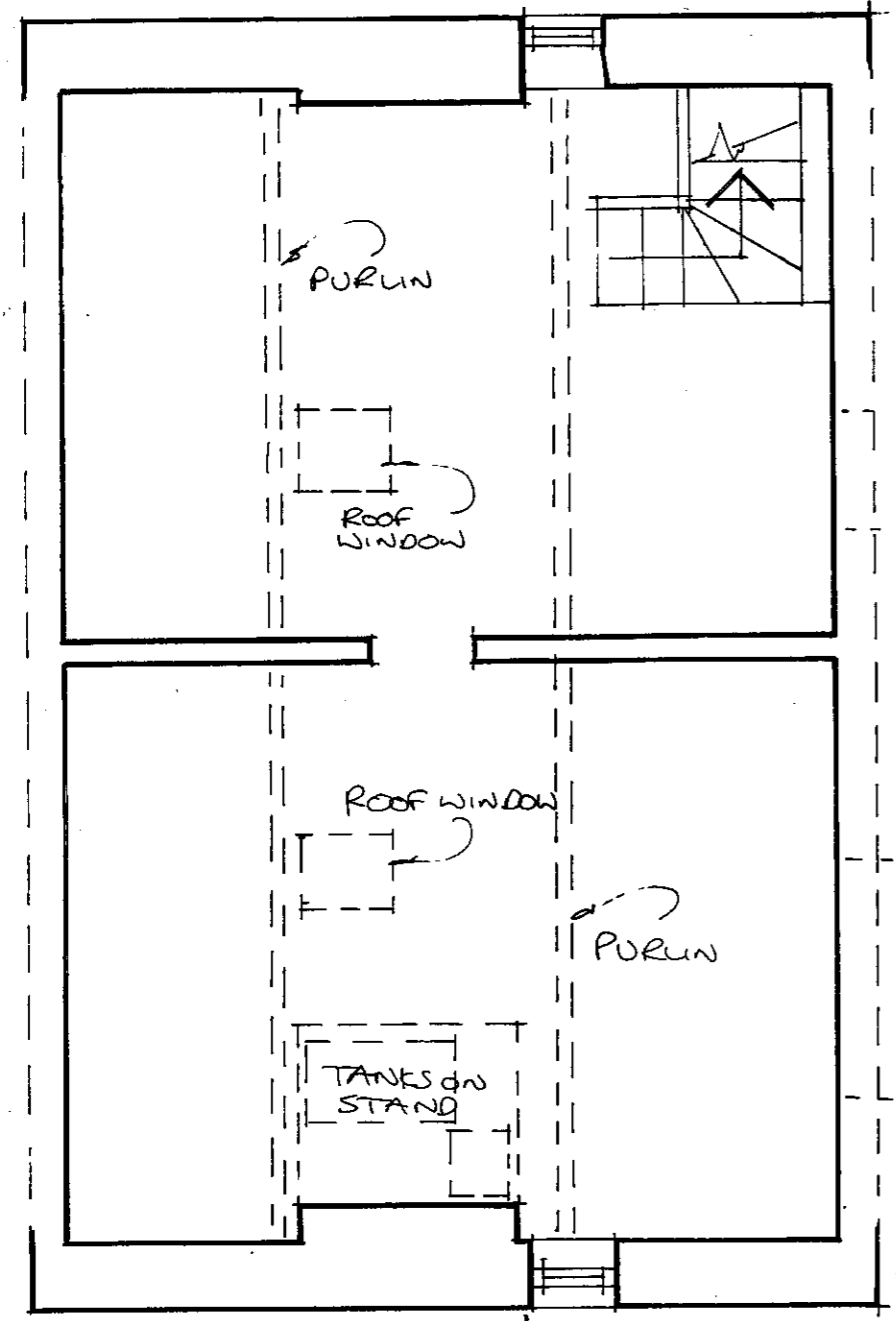


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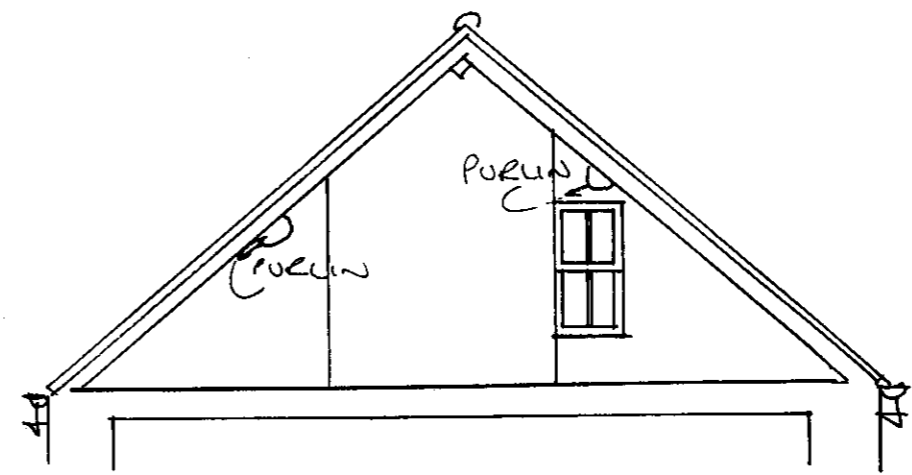


ADJACENT PROPERTY
'BEACHHOUSE' IN SECTION

SOUTH ELEVATION



PLAN



SECTION

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PROPOSED CAT SLIDE DORMERS at THE COBLE, ROBIN HOODS BAY
for Mr & Mrs MACK
PLAN, ELEVATION AND SECTION AS EXISTING
Scales 1:50 (plan and section) 1:75 (elevation)



North York Moors National Park Authority
The Old Vicarage
Bondgate
Helmsley
York
YO62 5BP

Telephone: 01438 770657
Email: dc@northyorkmoors-npa.gov.uk
Website: www.moors.nk.nat

08/0458 PE.1

Grid ref NZ98317, 04845

Householder Application for Planning Permission for works or extension to a dwelling.
Town and Country Planning Act 1990

Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

1. Applicant Name and Address		2. Agent Name and Address	
Title: MR & MRS	First name: NICHOLAS	Title: MR	First name: STEVEN
Last name: MACK		Last name: MCGIVERN	
Company (optional):		Company (optional):	
Unit:	House number:	House suffix:	
House name: THE COBLE		House name: MELROSE HOUSE	
Address 1:		Address 1:	
Address 2:		Address 2:	
Address 3:		Address 3: HINDERWELL	
Town: ROBIN HOOD BAY		Town: SALTBURN	
County: NORTH YORKSHIRE		County: NORTH YORKSHIRE	
Country:		Country:	
Postcode: YO22 4SN		Postcode: TS13 5ES	

3. Description of Proposed Works

Please describe the proposed works:

INSERTION OF TWO CATSLIDE DORMER WINDOWS.

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3. Description of Proposed Works (continued)

Has the work already been started without planning permission? Yes No
 If Yes, please state when the works were started (DD/MM/YYYY): (date must be pre-application submission)

Has the work already been completed without planning permission? Yes No
 If Yes, please state when the works were completed (DD/MM/YYYY): (date must be pre-application submission)

4. Site Address Details

Please provide the full postal address of the application site.

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Postcode (optional):

5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No

Is a new or altered pedestrian access proposed to or from the public highway? Yes No

Do the proposals require any diversions, extinguishments and/or creation of public rights of way? Yes No

If Yes to any questions, please show details on your plans or drawings and state the reference number(s) of the plan(s)/ drawing(s):

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much possible:

Officer name:

Reference:

Date (DD MM YYYY): (must be pre-application submission)

Advice given:

7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your boundary? Yes No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No

If Yes, please show on your plans, indicating the scale, which trees by giving them numbers e.g. T1, T2 etc. and state the reference number of any plans or drawings:

8. Parking

Will the proposed works affect existing car parking arrangements? Yes No

If Yes, please describe:

9. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the Council? Yes No

If Yes, please provide details:

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10. Materials

If applicable, please state what materials are to be used externally. Include type, colour and name for each material:

	Existing (where applicable)	Proposed	Not applicable	Don't Know	Drawing references if applicable
Walls	RENDER	As Now	<input type="checkbox"/>	<input type="checkbox"/>	
Roof	CLAY PANTILES	" "	<input type="checkbox"/>	<input type="checkbox"/>	
Windows	PAINTED TIMBER	" "	<input type="checkbox"/>	<input type="checkbox"/>	
Doors	PAINTED TIMBER	" "	<input type="checkbox"/>	<input type="checkbox"/>	
Boundary treatments (e.g. fences, walls)			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Vehicle access and hard-standing			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Lighting			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Others (please specify)		<div style="border: 1px solid black; padding: 5px; display: inline-block;"> NYMNPA 11 JUN 2008 </div>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement? Yes No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

11. Certificates

One Certificate A, B, C, or D, must be completed, together with the Agricultural Holdings Certificate with this application form

CERTIFICATE OF OWNERSHIP - CERTIFICATE A

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

10/6/08

CERTIFICATE OF OWNERSHIP - CERTIFICATE B

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/ The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which this application relates.

Name of Owner	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

CERTIFICATE OF OWNERSHIP - CERTIFICATE C

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/ The applicant certifies that:

- Neither Certificate A or B can be issued for this application
- All reasonable steps have been taken to find out the names and addresses of the other owners (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of the land or building, or of a part of it, but I have/ the applicant has been unable to do so.

The steps taken were:

Name of Owner	Address	Date Notice Served

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Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

11. Certificates (continued)

CERTIFICATE OF OWNERSHIP - CERTIFICATE D

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

The steps taken were:

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

AGRICULTURAL HOLDINGS CERTIFICATE

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of, an agricultural holding.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

9/06/08.

B) I have/ The applicant has given the requisite notice to every person other than myself/ the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Name of Tenant	Address	Date Notice Served

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Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

12. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

- | | | |
|--|--|---|
| 3 copies of a completed and dated application form: <input checked="" type="checkbox"/> | 3 copies of a design and access statement where proposed works fall within one of the following designated areas: <input checked="" type="checkbox"/> <ul style="list-style-type: none"> • National Park • Site of special scientific interest • Conservation area • Area of outstanding natural beauty • World Heritage Site • The Broads | The correct fee: <input type="checkbox"/> |
| 3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North: <input checked="" type="checkbox"/> | | 3 copies of the completed, dated Article 7 Certificate (Agricultural Holdings): <input type="checkbox"/> |
| 3 copies of other plans and drawings or information necessary to describe the subject of the application: <input checked="" type="checkbox"/> | | 3 copies of the completed, dated Ownership Certificate (A, B, C or D - as applicable): <input type="checkbox"/> |

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information:

Signed -

Or signed - Agent:

Date (DD/MM/YYYY):

9/6/08

(date cannot be pre-application)

14. Applicant Contact Details

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

15. Agent Contact Details

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

16. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one) Agent Applicant Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name: Telephone number:

Email address:

12. Planning Application Requirements Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted. The correct fee: The original and 3 copies of the following documents:

<input checked="" type="checkbox"/> The completed and dated application form	<input checked="" type="checkbox"/> The completed, dated Article 7 Certificate (Agricultural Holdings)	<input checked="" type="checkbox"/> A design and access statement where proposed works fall within one of the following designated areas:
<input checked="" type="checkbox"/> A plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of north	<input checked="" type="checkbox"/> The completed, dated Ownership Certificate (A, B, C or D - as applicable)	<input checked="" type="checkbox"/> National Park
<input checked="" type="checkbox"/> Other plans and drawings or information necessary to describe the subject of the application		<input type="checkbox"/> Site of special scientific interest
		<input type="checkbox"/> Conservation area
		<input type="checkbox"/> Area of outstanding natural beauty
		<input type="checkbox"/> World Heritage Site
		<input type="checkbox"/> The Broads

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11 JUN 2008

PLANNING & ACCESS STATEMENT

PROPOSED DORMER WINDOWS

at

THE COBLE

ROBIN HOODS BAY

For

Mr & Mrs MACK

**Prepared by
Stephen McGivern
Melrose House
Hinderwell
TS13 5ES**

March 2008

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11 JUN 2008

1.0 Design

1.1 Context

The application relates to the insertion of dormer windows in a three storey house. The storey relating to the application is already floored and has the benefit of small roof windows and an existing stair access.

1.2 Amount of development

The proposed windows are in scale with adjacent properties and relate to existing windows in the floor below

1.3 Appearance

The windows are to be built to match adjacent dormers with traditional materials matching with the existing house and others in the locality.

2.0 Access

No changes are envisaged in access arrangements.

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11 JUN 2008

**14 Cowley Road
Acklam
Middlesbrough
TS5 7EU**

Your Ref: Enq: 4092

The Planning Department
North York Moors
National Park
The Old Vicarage
Bondgate
Helmsley
YORK YO62 5BP

03 June 2008

Dear Sir/Madam,

**RE: The Coble, Covet Hill, Robin Hood's Bay, Whitby
North Yorkshire YO22 4SN**

We now enclose the following:-

1. Cheque in the sum of £150 made payable to North York Moors National Park Authority.
2. Planning Application in quadruplicate prepared by Mr. S.J. McGivern of Melrose House, Hinderwell, Saltburn.
3. Planning and Access Statement, together with plans in quadruplicate prepared by Mr. McGivern.
4. Plan, elevation and section as existing in quadruplicate.
5. Copy letter from Gillian Kleine, Building Conservation Officer addressed to Barrie Snoxell (our surveyor) dated 8th April 2008.
6. Photographs showing The Coble, Beachholme (an adjacent property) and dormer windows on other properties in the Old Bay.

You will note from the proposed alterations that the plans have been drawn so as to ensure that the dormer windows follow the same line as existing windows to the south elevation and are proportionate in size.

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You will also note from Gillian Kleine's letter that she states "that there may be some gain in allowing two very small dormers on the south slope if we could negotiate the removal of the two inappropriate roof lights on the north slope"

We look forward to hearing from you.

Yours faithfully,

A large black rectangular redaction box covering the signature of the sender.

Nicholas & Marie Mack

NYMNPA
11 JUN 2008

North York Moors National Park Authority



A member of the Association of National Park Authorities

The Old Vicarage, Bondgate, Helmsley, York YO62 5BP
 Tel: 01439 770657 e-mail: general@northyorkmoors-npa.gov.uk
 Fax: 01439 770691 www.moors.uk.net

Andy Wilson
 Chief Executive (National Park Officer)

Mr Barrie Snoxell
 Barclays Bank House
 Baxtergate
 Whitby
 YO21 1BW

Your ref: 55808

Our ref: Enq: 4092

Date: 8 April 2008

NYMNPA

11 JUN 2008

Dear Barrie

The Coble, Covet Hill, Robin Hood's Bay

It was good to meet you last Friday, and I now write to confirm the advice given to you on site in respect of the above property.

The 1960s extension to the main building, located underneath the current patio, may be repaired like-for-like without listed building consent, with the exception of the party wall to the main listed building at the back. This is of traditional construction and has been inappropriately repaired in the past. Given the damp issues in this building, it should be repaired using lime plaster/render. A change of style to the large picture windows from tilt and turn to hopper opening type would require listed building consent, but I would have no objection to this change. Replacement of the existing modern fireplace in this room would require consent, and any new design proposed should be simple in style and would need to be approved.

The partition wall in the small porch area with the high level internal window is modern, and I have no objection to relocating it to create a wc. I also have no objection to replacing the external door in this porch area with a panelled door with glazed upper section. Listed building consent would be needed for both changes.

The ground floor area to the south has damp issues as it is a retaining wall. Tanking would not be an acceptable solution, but conservative repair using lime mortar and lime plaster/render should be undertaken, and I would support an independent ventilated dry lining (not blockwork), though listed building consent will be required for this. Walls which are not retaining should be repaired conservatively using lime technology, taking the opportunity to rectify any previous inappropriate repairs, and not dry lined.

Removal of the modern dining room fireplace and will require listed building consent and the treatment of the opening and details of the log stove/flue liner would need to be agreed.

Continued...



15GK526V

Our Ref: Enq: 4092

2

Date: 8 April 2008

Replacement of the patio railings on a like for like basis would not require consent, and I would advise the railings be painted a soft grey shade, to fade into the background when viewed from the beach. If you wish to include a stainless steel mesh, this will need consent and a sample should be supplied to us for approval. The removal of the first floor modern fireplace is acceptable and would require listed building consent.

Further information is required on the construction date of the door surround to Covet Hill in order to support a proposal for its removal. The Bay is well documented in photographs and it would be helpful to see what was previously there. Any new design would need to be of greater architectural value given that the existing door surround, though modern, is unusual and well constructed. The door itself may be replaced with a part glazed panelled door. Listed building consent will be required for both of these alterations.

Although we would normally resist any new openings in a listed building, I feel that there may be some gain in allowing two very small dormers on the south slope if we could negotiate the removal of the two inappropriate roof lights on the north slope. The dormers should run into the roof slope rather than being gabled, and should have a timber structure with glazed cheeks. A pair of small side hung casements with a horizontal glazing bar and single glazing would be most appropriate.

Listed building consent would be needed for the proposed balustrade in the attic, this should be a very simple and clean design to avoid visual clutter in the room.

A window repair schedule should be submitted along with the application.

I hope this is of help to you, please do not hesitate to contact me if you have any further queries.

Yours sincerely


Gillian Kleine
Building Conservation Officer

