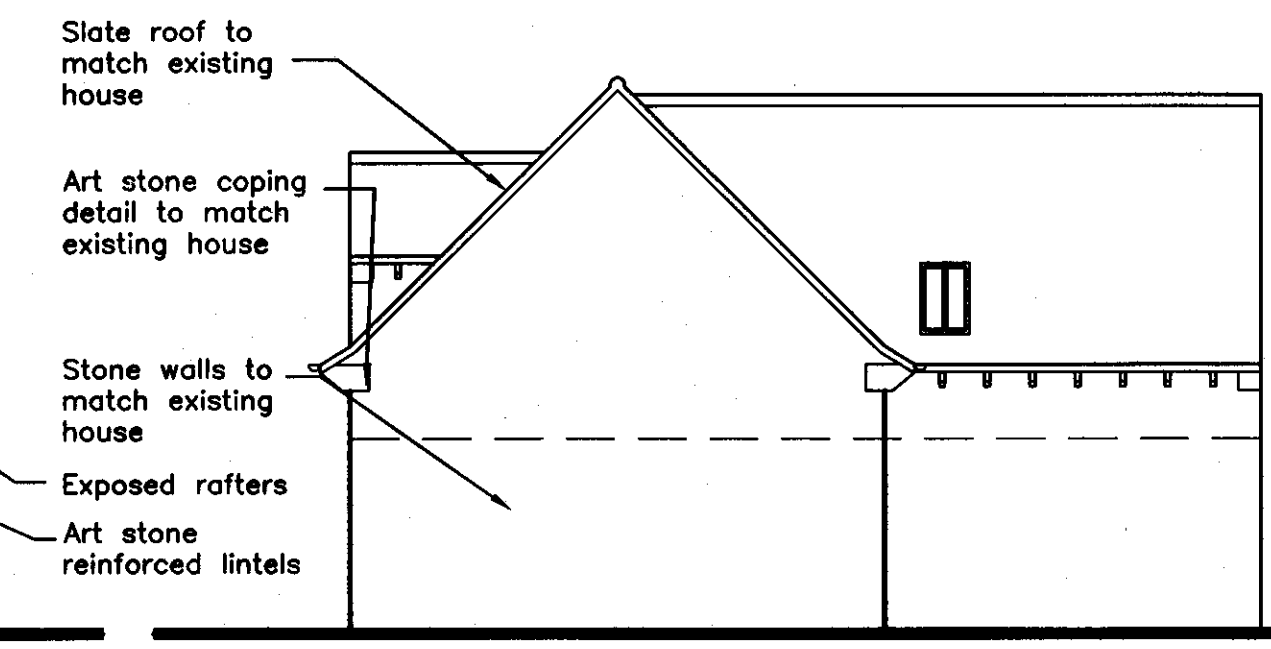


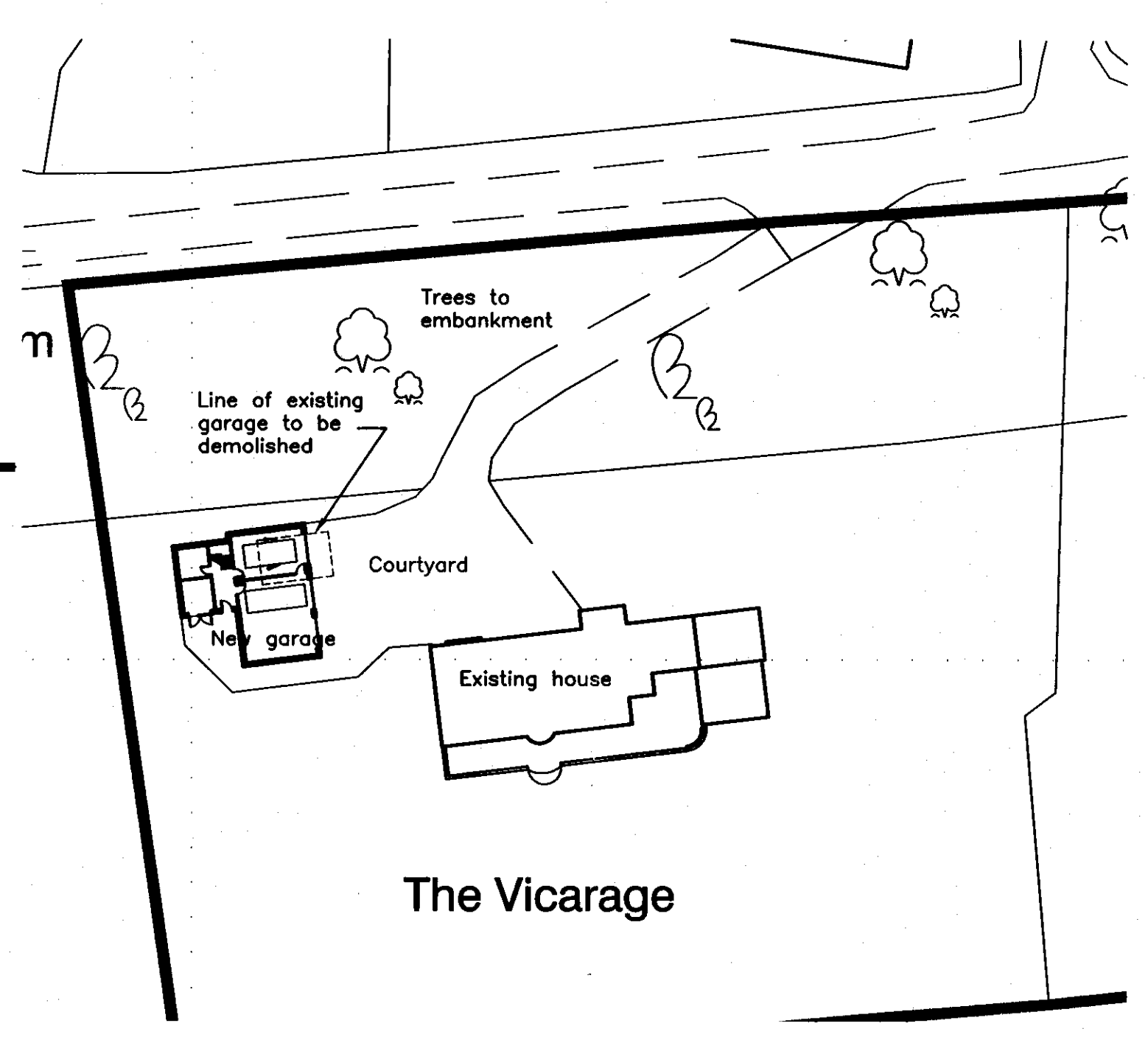
FRONT ELEVATION



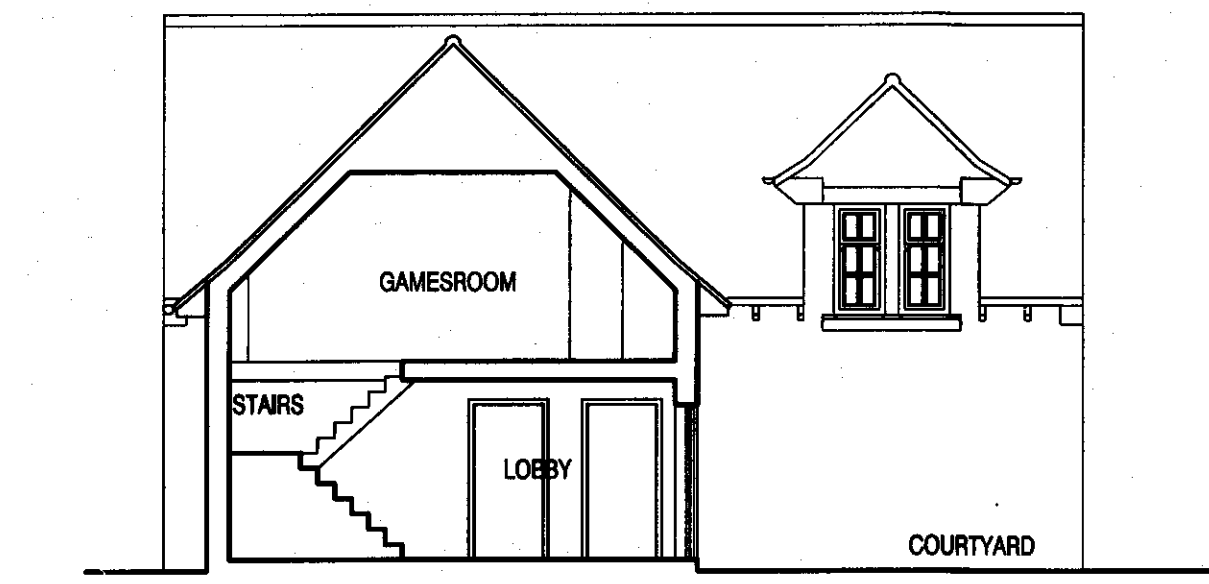
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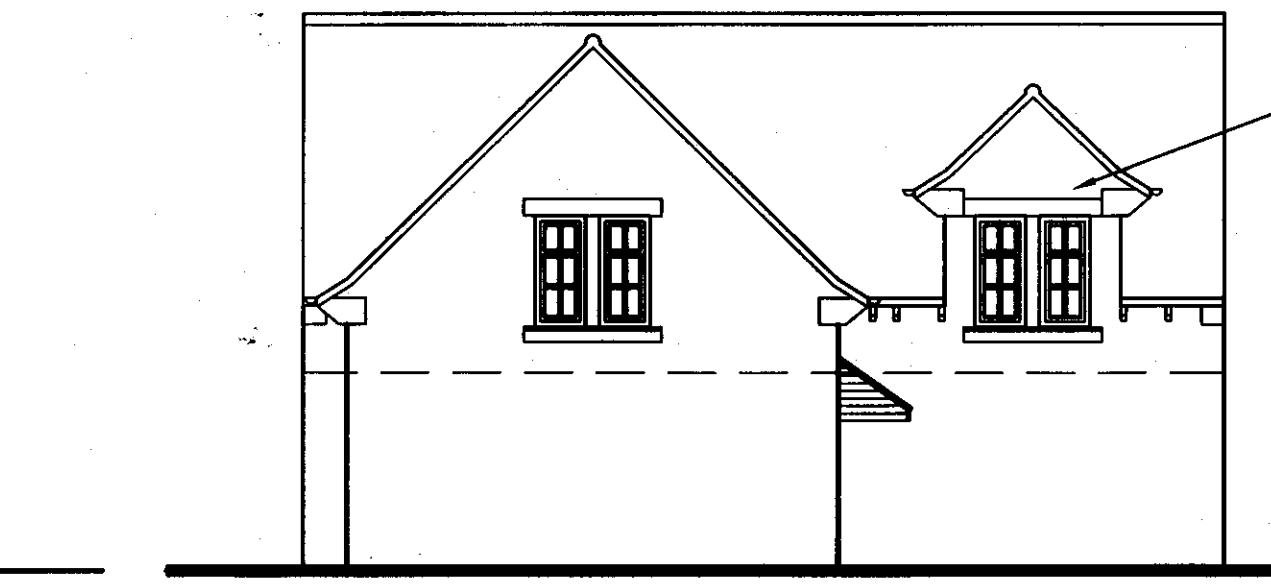
SIDE ELEVATION



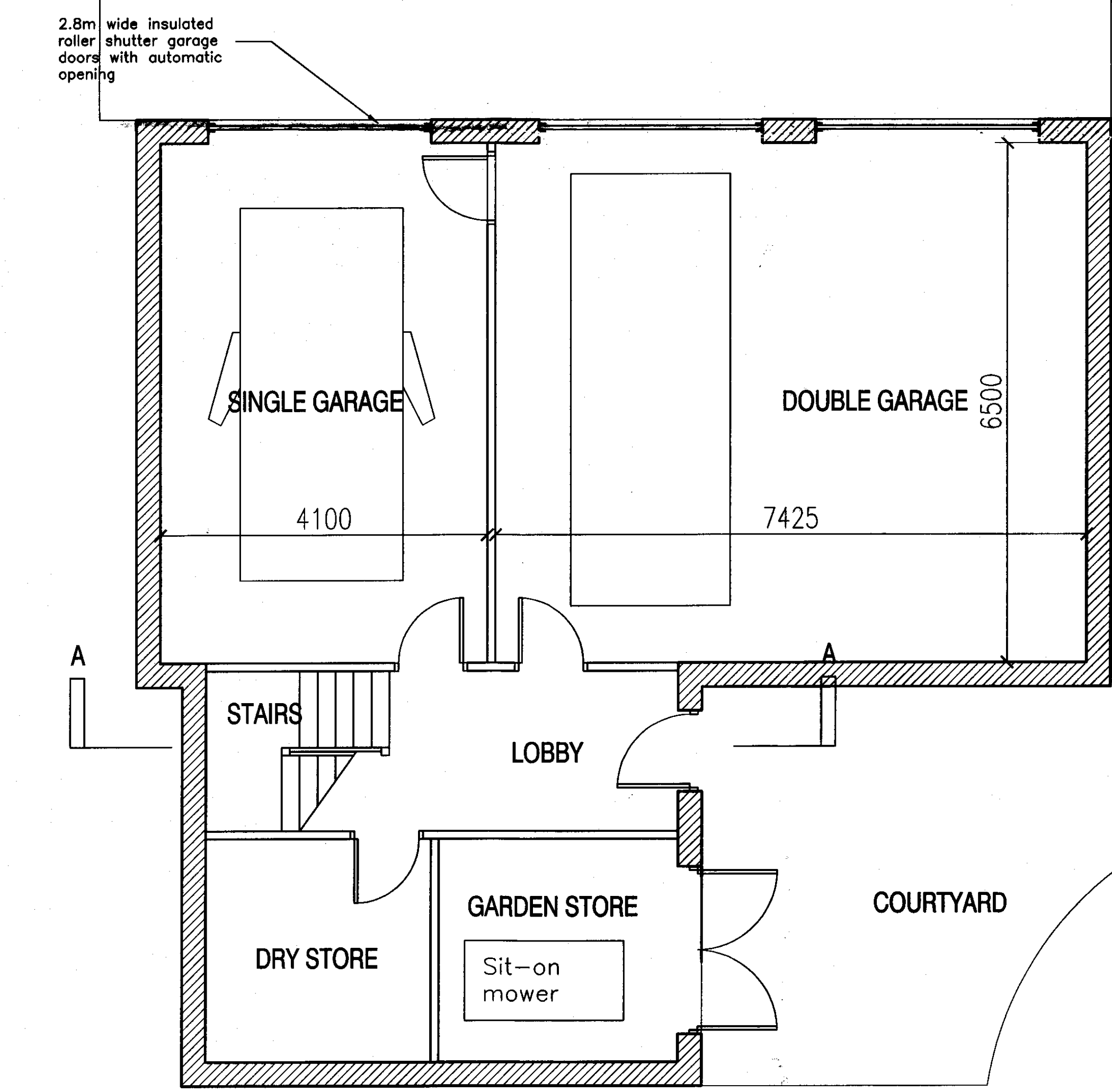
SITE PLAN



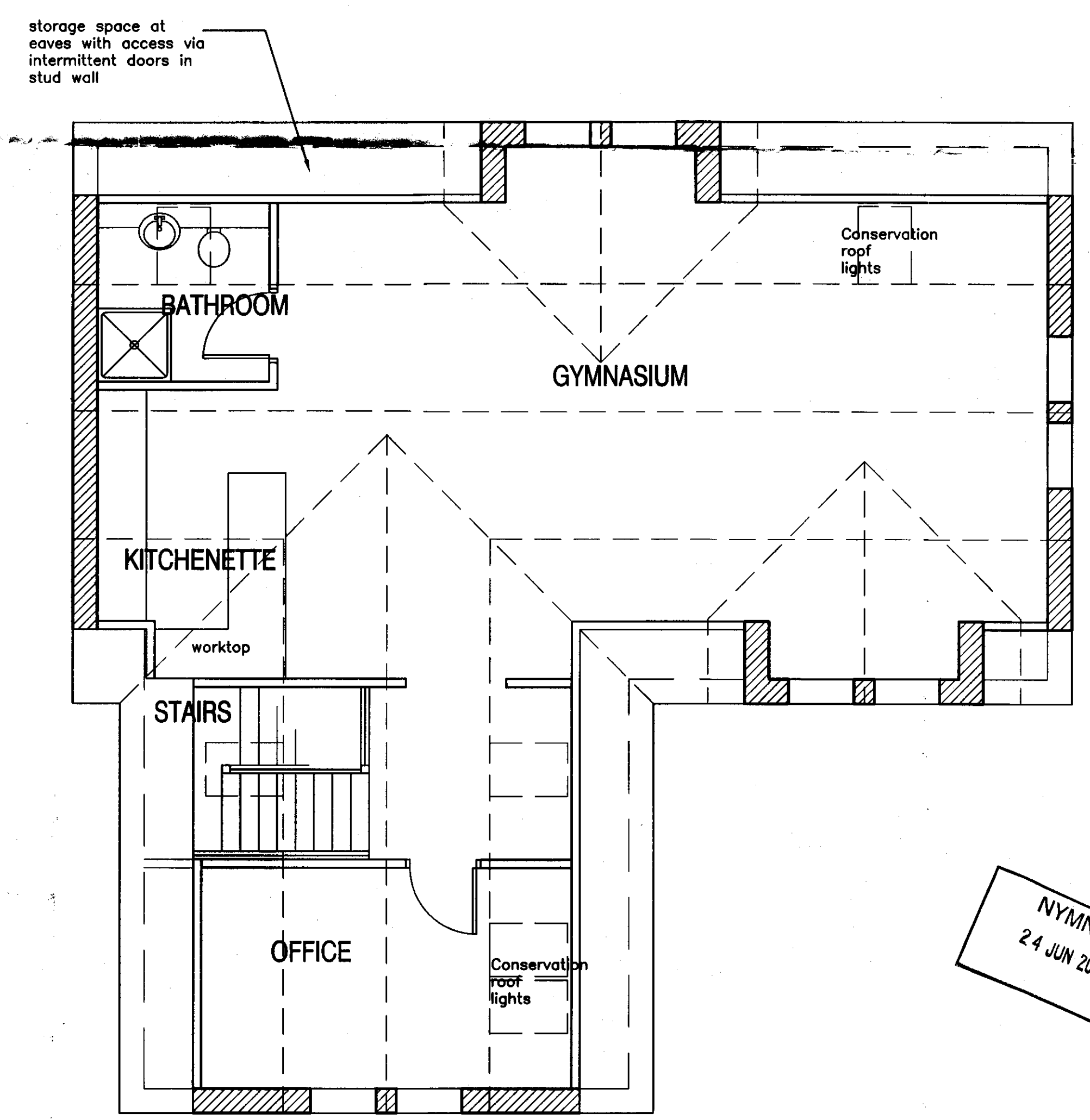
SECTION A-A



REAR ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

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rev B: dormer window added to elevations 17.06.08
 rev A: drawing amended as per clients request 23.05.08

sp&architects
 incorporating
Edwin Trotter Architects
 Birchwood House, Dalby Way, Couby Newham, Middlesbrough, TS8 0TW
 Telephone: 01642 591555 Facsimile: 01642 596596
 e-mail: mail@sp-architects.com

client
 Mr D. Collin
 Woodside Lodge
 Aislaby

project
 Proposed Garage
 Woodside Lodge
 Aislaby

NYMNP
 24 JUN 2008

Drawing file					
Plans, Elevations & Section					
drawn	checked	scale			
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status of this print					
Planning Application					
28/04/08					

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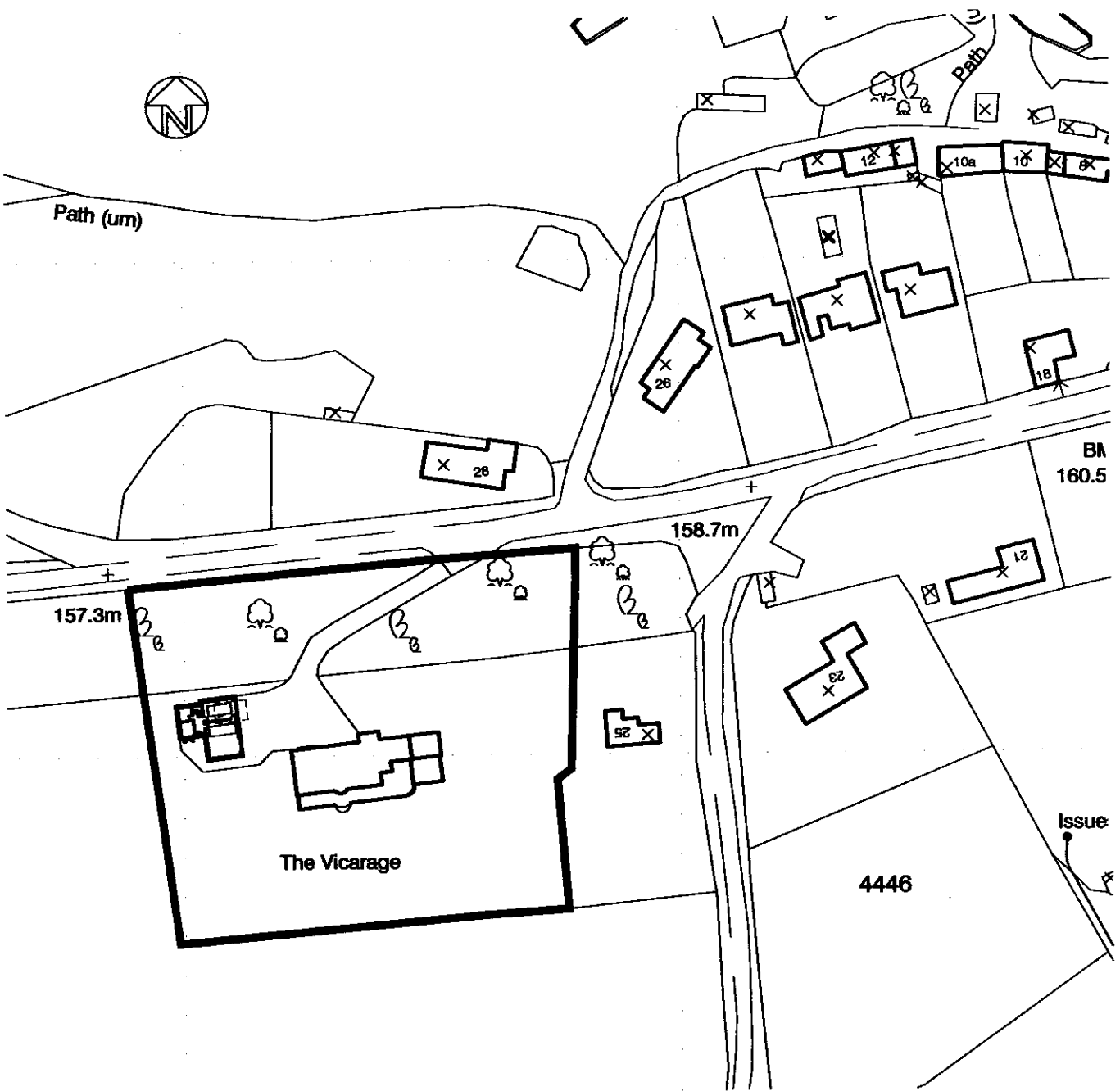
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NYMNP
17.III.2008

Rev A. Site area and land ownership boundary added.
revision 15/07/08 NDP date

client
Mr D Collin

drawn mt checked mt scale 1:1250@A1

project
Woodside Lodge, Proposed Garage

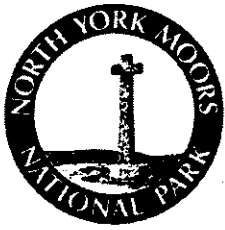
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drawing title
Location Plan

status of this print
planning application date 23/06/08

sp&architects

incorporating
Edwin Trotter Architects
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Telephone: 01642 591555 Facsimile: 01642 596596
e-mail: mail@spa-architects.com



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North York Moors National Park Authority
The Old Vicarage
Bondgate
Helmsley
York
YO62 5BP

08/485
PT1

Grid ref NZ 85331, 08515

Telephone: 01439 770657
Email: dc@northyorkmoors-npa.gov.uk
Website: www.moors.uk.net

Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

Publication of planning applications on council web sites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If any other information that is provided as part of the application which falls within the definition of personal data under the Data Protection Act and is not to be published on the council's website, please contact the council's planning department.

1. Applicant Name, Address and Contact Details

Title: First name: Surname:

Company name:

Street address:

Town/City:

County:

Country:

Postcode:

Country Code: National Number: Extension Number:

Telephone number:

Mobile number:

Fax number:

Email address:

Are you an agent acting on behalf of the applicant? Yes No

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24 JUN 2008

2. Agent Name, Address and Contact Details

Title: First Name: Surname:

Company name:

Street address:

Town/City:

County:

Country:

Postcode:

Country Code: National Number: Extension Number:

Telephone number:

Mobile number:

Fax number:

Email address:

3. Description of Proposed Works

Please describe the proposed works:

Demolish existing garage, proposed two storey garage with a pitched roof located next to the existing listed building, great care has been taken to reflect the appearance of the existing building in the details & materials used on the new building.
The ground floor of the new development will be used as garage and workshop space with storage to the rear, on the first floor a games room will be located at the rear, to the front an open plan kitchenette & gymnasium with a small bathroom in the corner.

Has the work already been started without planning permission? Yes No

4. Site Address Details

Full postal address of the site (including full postcode where available)

Description:

House:	0	Suffix:	
House name:	Woodhouse Lodge		
Street address:	Aislaby		
Town/City:	Whitby		
County:	North Yorkshire		
Postcode:			

Existing grade 2 listed building with surrounding land.

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24 JUN 2008

Description of location or a grid reference (must be completed if postcode is not known):

Easting:	484852
Northing:	508783

5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

Yes No

Is a new or altered pedestrian access proposed to or from the public highway?

Yes No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

Yes No

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your boundary?

Yes No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

Yes numerous trees are present on site some of which are within the proximity of the site boundary.

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No

8. Parking

Will the proposed works affect existing car parking arrangements? Yes No

If Yes, please describe:

Yes the garage will house the existing vehicles that would be parked in the driveway.

9. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the council? Yes No

10. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

The agent The applicant Other person

11. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

Walls - description:

Description of *existing* materials and finishes:

Existing stone walls

Description of *proposed* materials and finishes:

Existing stone to be reused, new stone to match

Roof - description:

Description of *existing* materials and finishes:

Slate roofs to all existing buildings

Description of *proposed* materials and finishes:

Slate roof to match existing roofs

11. Materials (continued)

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Windows - description:

Description of *existing* materials and finishes:

Timber frame sliding slash windows.

Description of *proposed* materials and finishes:

Timber frame sliding sash windows with double glazed units to match style of existing windows

Doors - description:

Description of *existing* materials and finishes:

Timber frame solid doors with double glazed units

Description of *proposed* materials and finishes:

Timber framed solid doors to match existing

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Vehicle access and hard standing - description:

Description of *existing* materials and finishes:

Existing tarmac drive to front and grass lawn surrounding property.

Description of *proposed* materials and finishes:

Tarmac drive to be extended to new garages and grass lawn around to be replaced to boundaries of building, gravel courtyard to be constructed as per drawings.

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement? Yes No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

D[00]01 Plans, Elevations & sections.

S[90]01 Location plan

Design and access statement.

12. Certificates (Certificate A)

Certificate of Ownership - Certificate A

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Title: Mr First name: Nigel Surname: Peacock

Person role: Agent Declaration date: 23/06/2008 Declaration made

12. Certificates (Agricultural Holdings Certificate)

Agricultural Holding Certificate

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

Agricultural Land Declaration - You Must Select Either A or B

(A) None of the land to which the application relates is, or is part of an agricultural holding.

(B) I have/The applicant has given the requisite notice to every person other than myself/the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below.

Title: Mr First Name: Nigel Surname: Peacock

Person role: Agent Declaration date: 23/06/2008 Declaration Made

13. Declaration

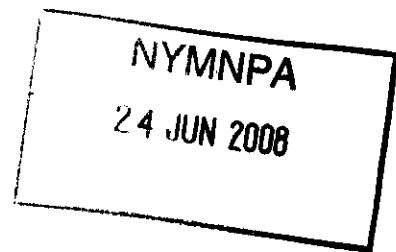
I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Date 23/06/2008

**DESIGN AND ACCESS STATEMENT TO
SUPPORT PLANNING APPLICATION**

sp architects

Project Title : Proposed Garage
 Project Location : Woodside Lodge, Aislaby.
 Type of Development : New domestic garage with first floor leisure space.
 Type of Application : Full planning application
 Date of Application : 23.06.08
 Prepared by : Martin Tapping

**DESIGN STATEMENT****1.0 Existing Site**

- 1.1 Existing site is situated in a residential neighborhood in Aislaby, the property comprises a substantial 3 storey detached house with separate single garage, also surrounding land which is used exclusively as domestic garden space containing mostly grassed lawns and trees around the perimeter. A public high running past the property provides access into the site via a private driveway. The existing house is stone faced with slate roof, measuring approx. 6.2m to eaves height & 10.5m to ridge, with a small extension to its east side and a self-standing single storey garage on the west side approx. 10m away towards the boundary. Car parking is currently provided by tarmac courtyard with capacity for approx. nine vehicles.

2.0 Proposed Building Works

- 2.1 The proposed development is intended as a secure garage to house the clients vehicles with additional space for storage of gardening equipment and a gymnasium /games room in a loft room above. The extent of the proposed development works include demolishing the existing garage, replacing with new garage as described (footprint measuring 119.5m²), minor landscaping around it & any drainage works that are required. The design of the proposed building is largely influenced by the existing dwelling, reflected in the tall narrow sliding slash windows, eaves details & materials used. This will allow the new building to blend seamlessly into the site and although it is unlikely to be viewed from the road will match the character of the national park in which it resides.
- 2.2 The new building is sited adjacent to the existing building approx. 10m from the north west corner facing the tarmac driveway. The garage will sit facing the drive for vehicle access and will accommodate up to 3 vehicles. Access to the first floor area will be predominately from the rear of the building. There should be no disturbance to existing trees/bushes/structures by the new development.
- 2.3 The vehicle access into the garage is via 1 of three garage doors facing the existing hard standing courtyard in front of the main building, doors to the rear of the garages provide access into the rest of the building. Main access on foot is provided to the rear of the building via a 1000mm wide door opening with a step up of approx. 50mm, a stair case with a rise of 202mm & going of 225 provides access to the first floor, the first floor is level throughout.

3.0 Conclusion

- 3.1 The building has been designed to be practical for the applicant's requirements yet sympathetic in style to the main dwelling. The garage is to be used purely for this existing dwelling, and we therefor request this application be granted planning consent.

NYM / 2008 / 0485 / FL

Arboricultural Consultant
PETER HARRIS M.ARB F.ARBOR.A
R. H. S. WISLEY DIP(HORT)



Our Ref.: PHA29020

Your Ref.:

18th July 2008

F.A.O.: Mr N. Peacock

Sp&architects,
Birchwood House, Dalby Way,
Coulby Newham,
Middlesbrough. TS8 0TW.

4 ROSEHILL WAY
STOKESLEY
NORTH YORKSHIRE
TS9 5NX

TEL: [REDACTED]

Dear Sirs,

**Re: Tree Survey & Root Protection,
Woodside Lodge, Aislaby.**

Further to the written instructions of Mr N. Peacock I attended the above property on the 15th July 2008 and set out below my findings in regards to trees adjacent to the proposed development.

Overview.

The proposal is understood to consist of demolishing an existing garage, with the placement of the new structure at approximately the same location.

The area has a tree belt to the north of the existing garage and a hedge line and single tree to the west, with a tarmac drive to the east and lawn to the south.

Inspection of trees has been constrained to those considered to be within a root influence of the new structure.

Root Protection Zones have been calculated in regards to the formulae of British Standard 5837:2005, Trees in Relation to Construction. (Indicated in Table 1.)

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21 JUL 2008

Job No 08031			
Rec'd 18 JUL 2008			
	Act	Seen	File
ITS			
IWP			
MOP	/	/	
DJH			

Tree Detail.

Table 1 - Tree detail for Present dimensions.

No.	Name	Common Name	Height (m)	DBH (mm)	Crown spread (m)	Root Protection Zone (m)
1.	Quercus robor	Oak	26.00	790	2.0 N, 6.0 E, 6.0 S, 2.0 W.	9.55
2.	Quercus robor	Oak	26.00	810	2.0 N, 6.0 E, 6.0 S, 2.0 W.	9.75
3.	Ilex aquifolium	Holly	3.0 to 12.0	Variable	2.0 radius	4.0 max
4.	Fraxinus excelsior	Ash	15.00	130	1.50 radius	1.60
5.	Fraxinus excelsior	Ash	15.00	250	2.50 radius	3.00
6.	Fraxinus excelsior	Ash	15.00	200	2.00 radius	2.30
7.	Fagus sylvatica	Beech	8.00	130	1.50 radius	1.60
8.	Fraxinus excelsior	Ash	15.00	2 X 130	2.00 radius	1.60
9.	Quercus robor	Oak	25.00	690	5.00 radius	8.30
10.	Fraxinus excelsior	Ash	16.00	380	2.0 N, 5.0 E, 5.0 S, 5.0 W.	4.60
11.	Ilex aquifolium	Holly hedge	3.0	Multistem	0.6 radius	1.0 max

N.B. DBH, is Diameter Breast Height.

Table 2 - Tree detail for Mature potential

No.	Common Name	Mature Height (m)	Water Demand	Distance to Development Foundations (m)
1.	Oak	20.00	High	6.0
2.	Oak	20.00	High	6.0
3.	Holly	12.00	Low	3.0
4.	Ash	23.00	Moderate	7.5
5.	Ash	23.00	Moderate	8.5
6.	Ash	23.00	Moderate	10.5
7.	Beech	20.00	Low	11.0
8.	Ash	23.00	Moderate	10.4
9.	Oak	20.00	High	13.5
10.	Ash	23.00	Moderate	6.0
11.	Holly	12.00	Low	2.0

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Discussion.

The potential for development is controlled by the key trees positions No's 1 and 2 both mature Oak where a maximum 9.75 metre radius protection of the RPA (Root Protection Area) would be required. Such protection being Herrace fence erected upon a scaffold frame as indicated in BS5837:2005.

Under the circumstance of such a RPA protection zone all other trees having lesser protection zone requirement would not be influenced by any such development.

For the purpose of my calculations it has had to be assumed that the western Thorn boundary hedge line and single Ash position No 10 is within the ownership of Woodlands Lodge.

Position No 11 Holly hedge is not appraised as having any amenity value and would necessitate removal.

Position No 3 Holly hedge line is 3.00 metres high at its eastern end and having been allowed to grow higher to the western sections with all subjects multistemmed.

Position No 4 Ash is appraised as being in a poor condition with a split in the lower trunk which could cause it to fail in due course.

Position No 5 Ash is suppressed with lax growth.

Position No 6 Ash is considered weak and in a poor condition relative to its etiolated height. This could be removed to the advantage of position No 7 Beech in very close proximity.

Position No 7 Beech this small subject would benefit from the removal of position No 6 Ash.

Position No 8 Ash is a weak twin stemmed subject considered to be in a poor condition.

N.B. The appraisal of the poor condition of those trees indicated above is due to natural overcrowding the dominance of positions No's 1 and 2 Oak which are in a satisfactory condition. In view of the poor condition of such subject the client may wish to see removal of such subjects.

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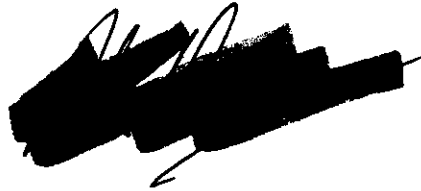
Conclusion.

It is my opinion that to achieve the agreement of North Yorkshire Moors National Parks Planning Authority would necessitate a modification to the present proposed location, moving the proposals 6.00 south to allow the erection of the RPA fence and allow a 1.00 metre working space between the fence and the proposed wall of the building.

For your information I have also included anticipated mature heights (some of which have been exceeded) and the water demand of such subjects, which would be required for building regulations.

I shall be pleased if I can assist further in any of the above matters.

Yours faithfully,



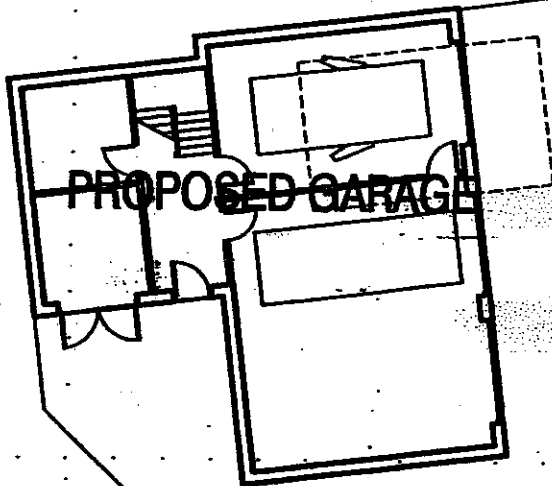
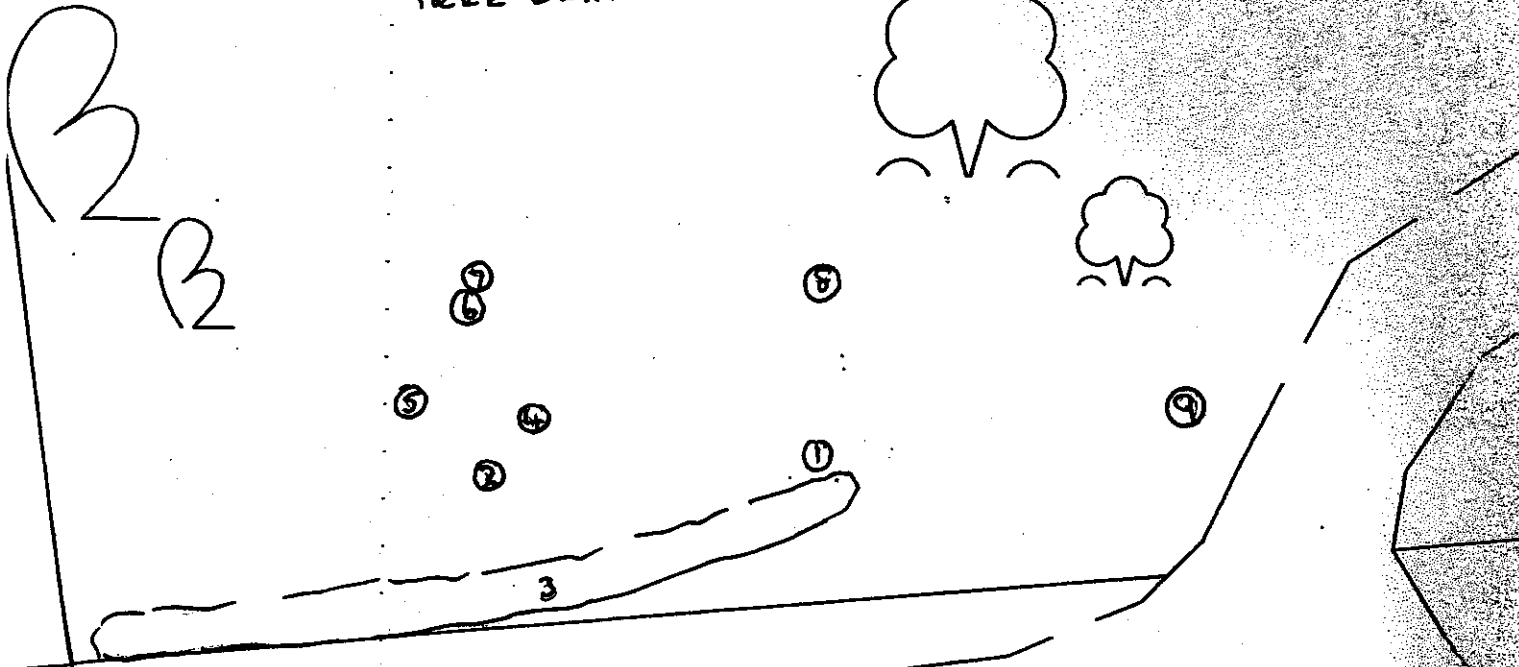
Peter Harris.

Enc: Drawings 08031 D
PHA29020 Tree locations and Fence RPA.

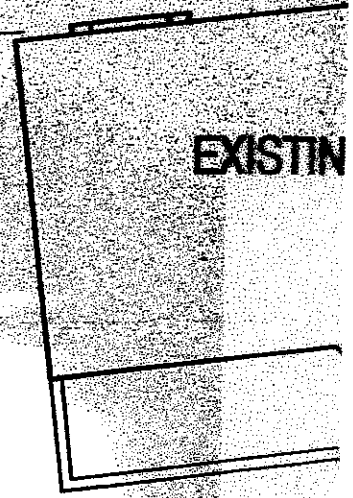
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TREE BELT



PROPOSED GARAGE



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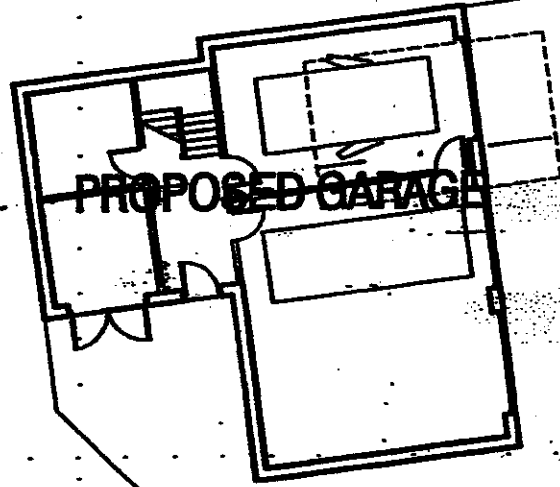
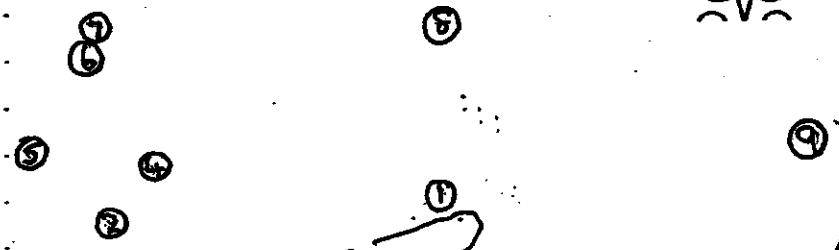
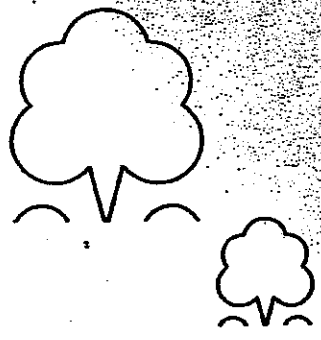
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21 JUL 2008

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TREE BELT

2
B



← HEDGEC FENCE
← PROTECTION OF
ROOT ZONES

10

← HOEN
HEDGE

EXISTING

NYMNPA
21 JUL 2008

DRAWING 8031 / D
PHA 29020
1:200
PROPOSED ROOT
PROTECTION

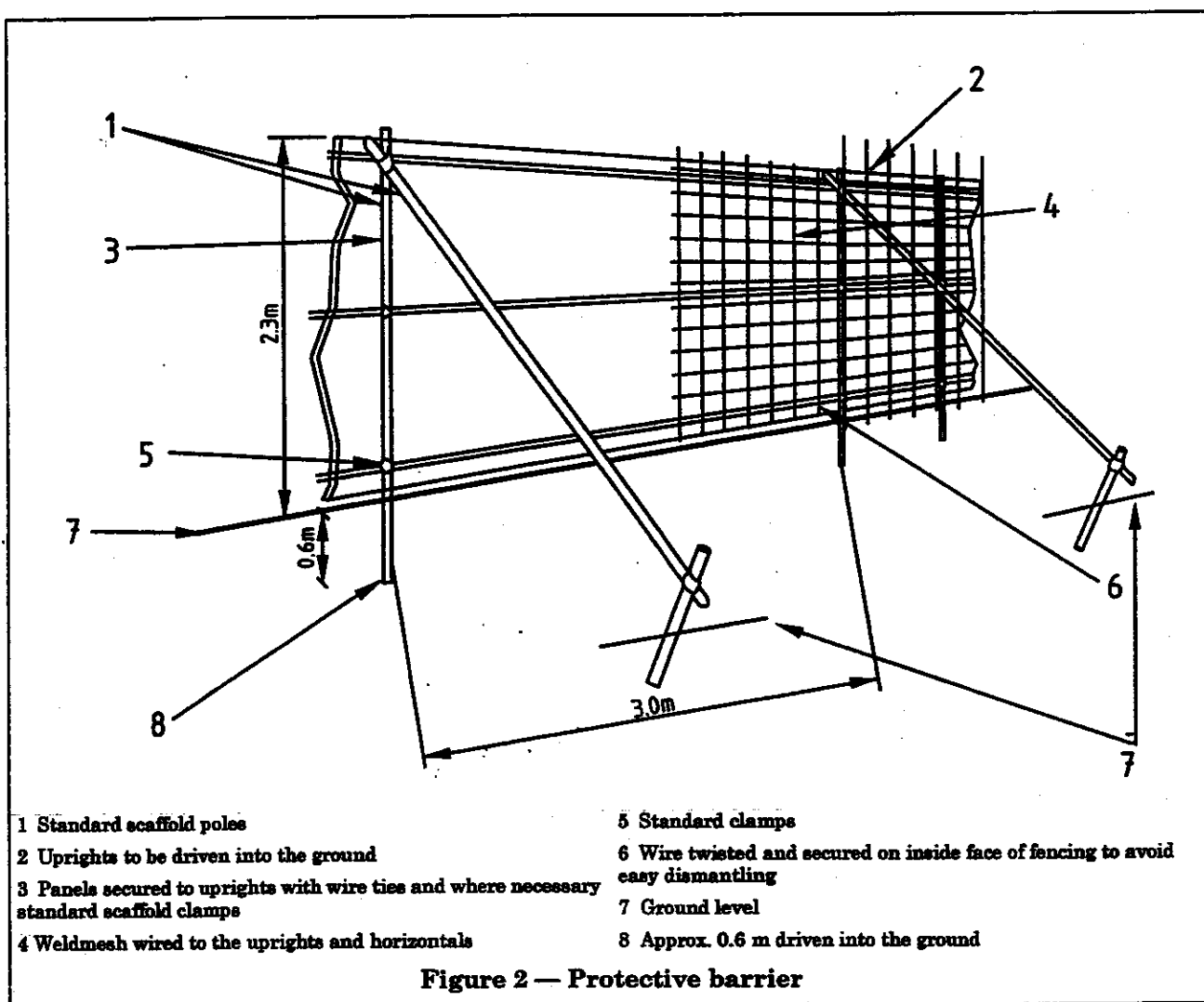
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9.3 Ground protection

9.3.1 Where it has been agreed during the design stage, and shown on the tree protection plan, that vehicular or pedestrian access for the construction operation may take place within the root protection area (RPA), the possible effects of construction activity should be addressed by a combination of barriers and ground protection. The position of the barrier may be shown within the RPA at the edge of the agreed working zone but the soil structure beyond the barrier to the edge of the RPA should be protected with ground protection.

9.3.2 For pedestrian movements within the RPA the installation of ground protection in the form of a single thickness of scaffold boards on top of a compressible layer laid onto a geotextile, or supported by scaffold, may be acceptable (see Figure 3).

9.3.3 For wheeled or tracked construction traffic movements within the RPA the ground protection should be designed by an engineer to accommodate the likely loading and may involve the use of proprietary systems or reinforced concrete slabs (see 11.8 and 11.9).



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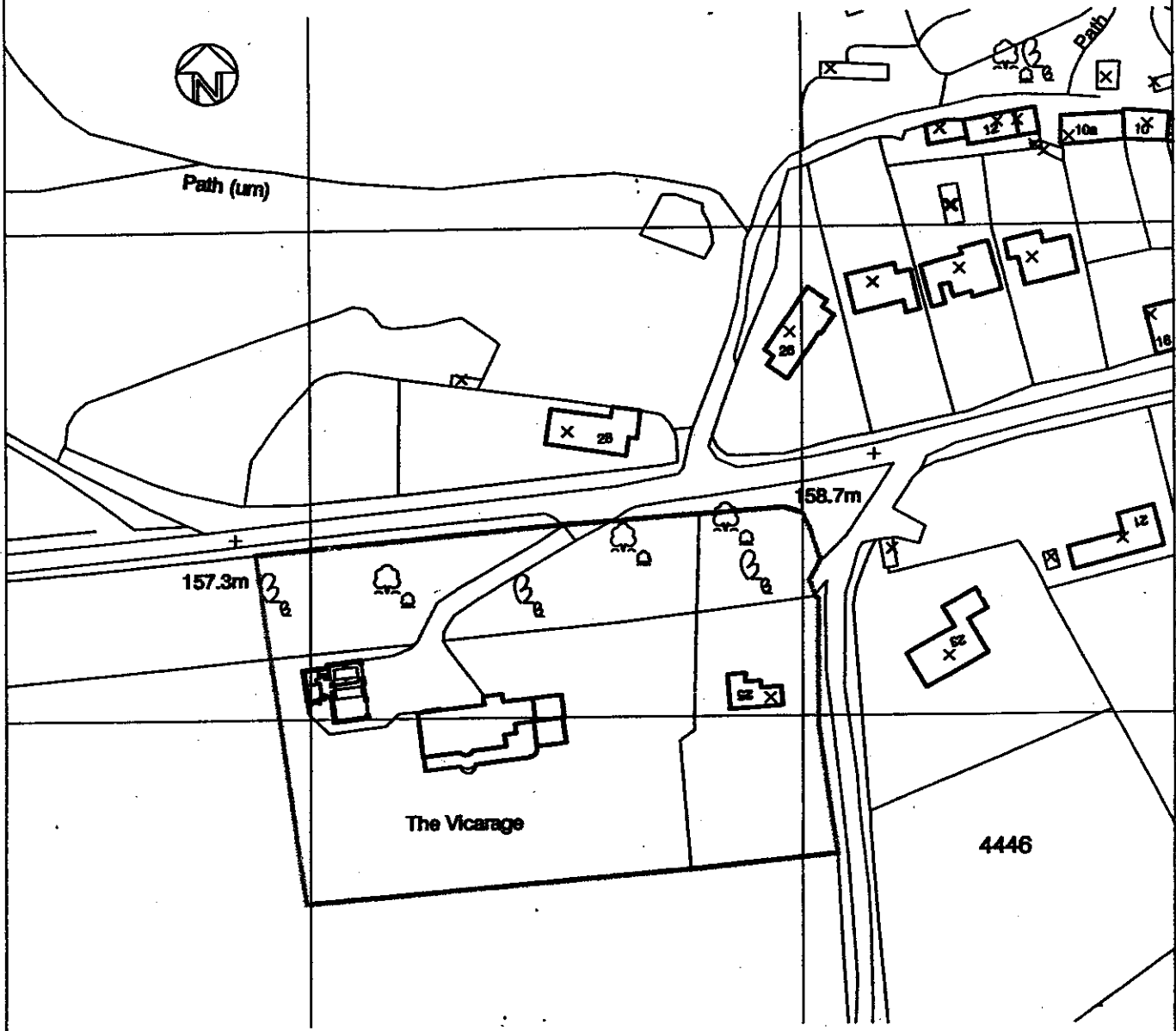
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 21 JUL 2008

client
 Mr D Collin

project
 Woodside Lodge, Proposed Garage

drawing title
 Location Plan

drawn	checked	scale	revision	date
rst		1:1250@A1		

job number	type	element	sequence	revision
08031	S	[90]	01	-

status of this plot
 planning application

date
 23/06/08

sp&architects
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 Orchard House, Bully Way, Cully Newton, Midleborough, TS8 0TW
 Telephone: 01642 981355 Facsimile: 01642 506306
 e-mail: mail@sp-architects.com