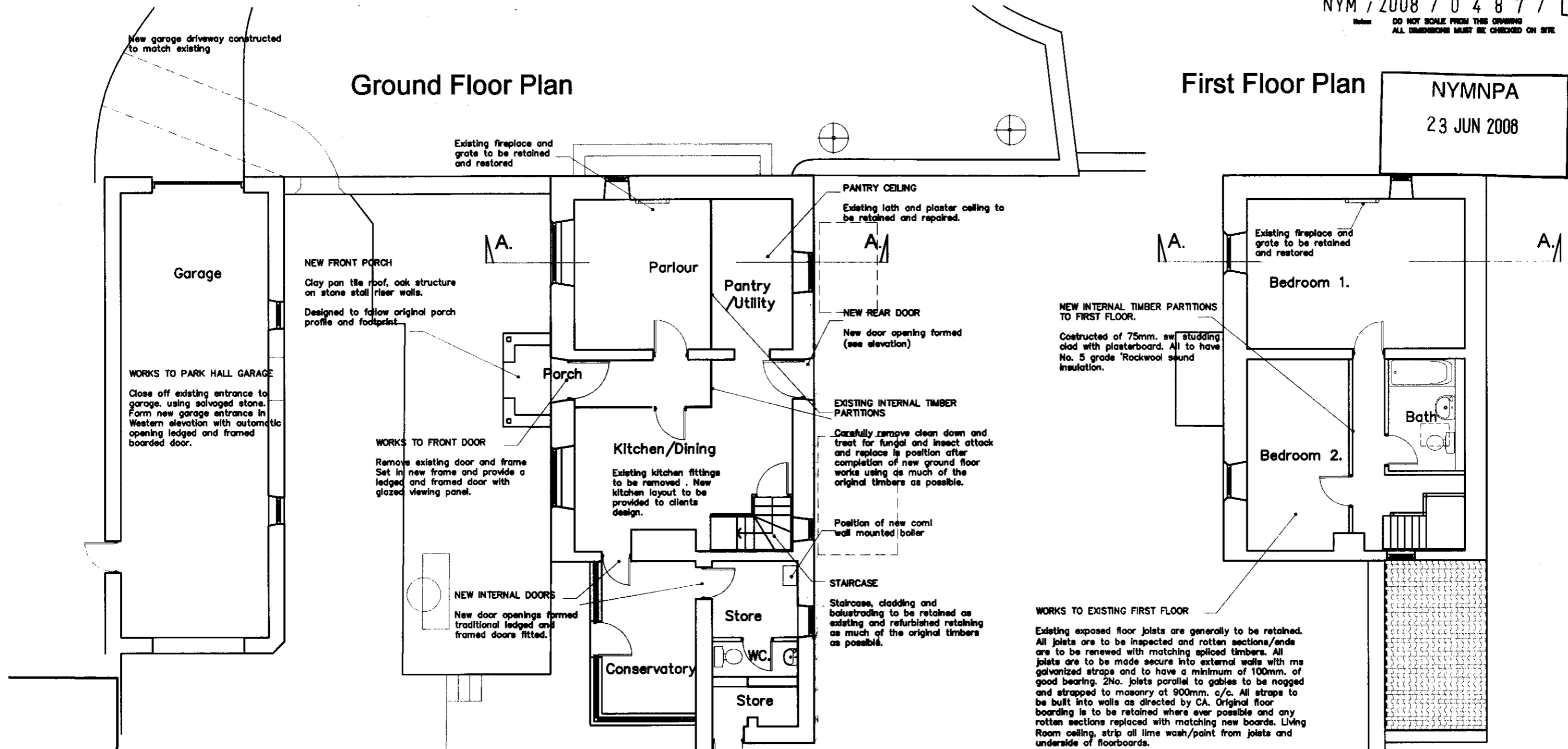


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ALL DIMENSIONS MUST BE CHECKED ON SITE

# Ground Floor Plan

# First Floor Plan

**NYMNP**  
23 JUN 2008



**NEW FRONT PORCH**  
Clay pan tile roof, oak structure on stone stall riser walls.  
Designed to follow original porch profile and footprint.

**WORKS TO PARK HALL GARAGE**  
Close off existing entrance to garage, using salvaged stone. Form new garage entrance in Western elevation with automatic opening ledged and framed boarded door.

**WORKS TO FRONT DOOR**  
Remove existing door and frame. Set in new frame and provide a ledged and framed door with glazed viewing panel.

**NEW INTERNAL DOORS**  
New door openings formed traditional ledged and framed doors fitted.

**NEW GROUND FLOOR CONSTRUCTION.**

Remove all existing floors to dwelling and out house  
Excavate down to good bearing ground, 25mm. sand blinding, 1200 gauge 'Visqueen' DPM/Radon Barrier, 80mm. 'Kingspan' K3' floor insulation including 25mm. perimeter insulation, 150mm. Separating layer, rc. ground bearing slab with A193 top mesh reinforcement.

York stone paving (salvaged if possible) is to be laid and bedded in mortar in the Pantry/Utility, Kitchen, Conservatory and External Store floors. Existing boarded Parlour floor to be retained as existing and relaid using as much of the original material as possible.

The above construction achieves an overall 'U' Value of 0.22

**PANTRY CEILING**  
Existing lath and plaster ceiling to be retained and repaired.

**NEW REAR DOOR**  
New door opening formed (see elevation)

**EXISTING INTERNAL TIMBER PARTITIONS**  
Carefully remove clean down and treat for fungal and insect attack and replace in position after completion of new ground floor works using as much of the original timbers as possible.

Position of new corni wall mounted boiler

**STAIRCASE**  
Staircase, cladding and balustrading to be retained as existing and refurbished retaining as much of the original timbers as possible.

**NEW INTERNAL DOORS**  
New ledged and braced internal doors are to be provided throughout (to replicate the retained door in the sitting room) All doors to have Suffolk latches.

**NEW INTERNAL TIMBER PARTITIONS TO FIRST FLOOR.**  
Constructed of 75mm. sw/ studing clad with plasterboard. All to have No. 5 grade Rockwool sound insulation.

**WORKS TO EXISTING FIRST FLOOR**  
Existing exposed floor joists are generally to be retained. All joists are to be inspected and rotten sections/ends are to be renewed with matching spliced timbers. All joists are to be made secure into external walls with ms galvanized straps and to have a minimum of 100mm. of good bearing. 2No. joists parallel to gables to be nogged and strapped to masonry at 900mm. c/c. All straps to be built into walls as directed by CA. Original floor boarding is to be retained where ever possible and any rotten sections replaced with matching new boards. Living Room ceiling, strip all lime wash/paint from joists and underside of floorboards.

**ELECTRICAL WORKS**  
Remove all existing wiring and fittings from the property.  
A new separate electricity supply is to be provided and the property rewired in accordance with current BS7671 requirements and recommendations. (see layout for details and specifications)

**MECHANICAL WORKS**  
Remove all existing lead pipework and installations from the property. A new separate mains water supply is to be provided. Heating and hot water supply is to be provided by an oil fired balanced flue boiler. A new oil storage tank is to be located to the rear of the building capable of being filled from the highway ( see layout dwg. for details and specifications)

Revision	Details	Date
A	Notes added and minor amendments	18-5-08
B	Minor amendments to layouts	27-5-08
C	Amendments incorporating NYMNP advice	5-6-08

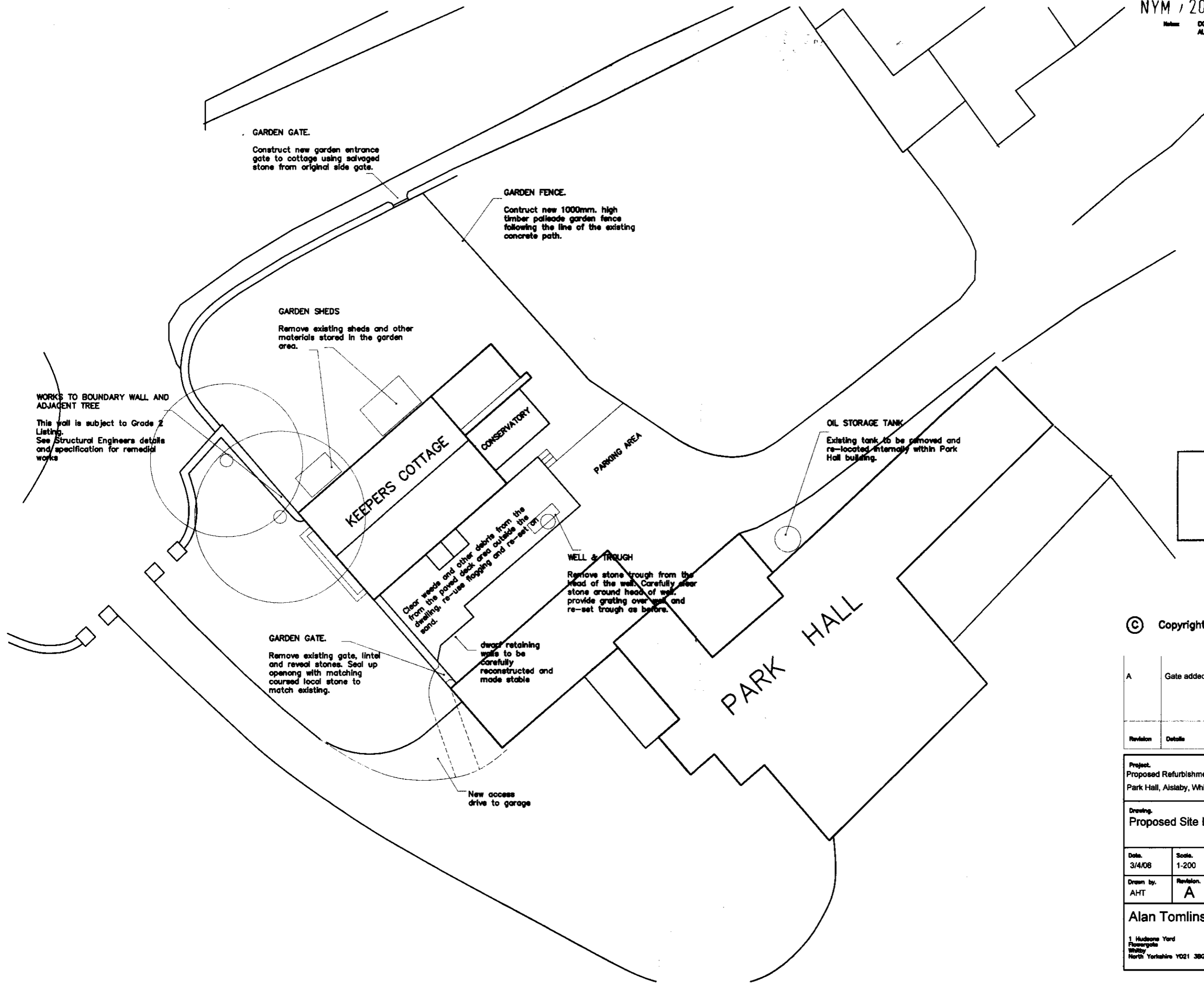
**Project:**  
Proposed Refurbishment to The Keepers Cottage  
Park Hall, Aislaiby, Whitby

**Drawing:**  
Proposed Plans

Date	Scale	Project No.	Drawing No.
3/4/08	1-100	ATA-2008-23	05
Drawn by	Revision	Code Ref.	
AHT	C	ATA-2008-23	

**Alan Tomlinson Architects**

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23 JUN 2008

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Revision	Details	Date
A	Gate added to road	27-5-08


**Project:**  
Proposed Refurbishment to The Keepers Cottage  
Park Hall, Aislaby, Whitby

**Drawing:**  
Proposed Site Layout

Date: 3/4/08	Scale: 1-200	Project No. ATA-2008-23	Drawing No. <b>07</b>
Drawn by: AHT	Revision: A	Rev. Ref. ATA-2008-23	

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GENERAL NOTES.

EXTERNAL WORK TO MAIN OUTSIDE WALLS

Rake out all defective mortar joints, wash with water and refill and repoint with flush joints. All works of pointing, filling and bedding to be undertaken in a lime mortar containing no cement using a 1:3 (lime:sand) mix. sand to be of soft and sharp mixed equally. Any sections where there are areas of sand cement pointing eg (above the sitting room window South East elevation) and where it is loose and falling away it is to be removed and made good using lime mortar.

INTERNAL WORKS TO WALLS

Remove all existing loose render and lime wash finishes from the walls. Take down all areas of loose or damaged masonry reconstructed in brick or stone as appropriate and fully bond back into the wall. Fracture cracks between gable walls, elevations and internal cross walls are to be fully bonded together. Existing joists and purlins are to be re-packed to ensure adequate support.

All inner surfaces of walls to be finished in lime plaster in accordance with traditional mixes and current recommendations. Lime to be built up in a sequence of reducing strengths.

WINDOW FRAMES

Remove all existing window frames and replace with new high performance (weather striped) side hung casement frames. (see elevations for design) constructed in treated selected redwood, with hardwood cills. 24mm. double glazing with Low-E(0.05) glass panes (with internal leaf of safety glass) All frames to be completely factory finished in gloss finish (white). Catches to be, (minimum) two point espagnolette type with lockable handles to all opening lights. Hinges to be reflex friction stays.

Carefully remove and retain all existing window fittings, sill boards and window seats and refit using new material to replicate the original construction where necessary. All windows to have molded architraves to match existing.

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Revision	Details	Date
A	Notes added and minor amendments	18-5-08
B	Minor amendments to Elevations	27-5-08
C	Amendments incorporating NYMNPA advice	5-6-08

Project: Proposed Refurbishment to The Keepers Cottage  
Park Hall, Aislaby, Whitby

Drawing: Proposed Elevations & Sections

Date: 3/4/08	Scale: 1-100	Project No: ATA-2008-23	Drawing No: 06
Drawn by: AHT	Revision: C	Con Ref: ATA-2008-23	

Alan Tomlinson Architects

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WORKS TO CHIMNEYS

Remove upper gable coping stones to East gable and Re-build chimney to match that at the West gable, connecting the 2 flues. Line flue from ground floor Dining Room range fire place and prepare for Class 1. appliance.

Re-point existing chimney on West gable and rebed pots. Re-line flue to ground floor.

Fix new lead flashings to both chimneys

INTERNAL WORKS TO ROOF.

The roof structure is of relatively new construction. Provide new 175x 50mm ceiling tie collar joists plated and bolted to all existing rafters. All existing purlins to be doubled up with 200x50mm. timbers bolted to the originals. Existing wall plates are to be strapped to walls at 1200mm. c/c. All roof timbers are to be treated against fungal and insect attack before enclosure. Under draw new ceiling with 12.5mm. full backed plasterboard. Lay 250mm. Rockwool insulation above. Sloping ceilings to be infilled with 50mm. Kingspan insulation and clad with 75mm. Gyproc Thermaline boards.

All new structural timbers are to be SG3 grade or similar and treated against fungal or insect attack before installation.

NEW FRONT PORCH  
Clay pan tile roof, sw door and DG windows on stone stall rear walls.  
Designed to follow original porch profile and footprint

Section A.A.

WORKS TO ROOF TILING

Clear all debris from roofs and replace any cracked or broken tiles.

RAINWATER GOODS

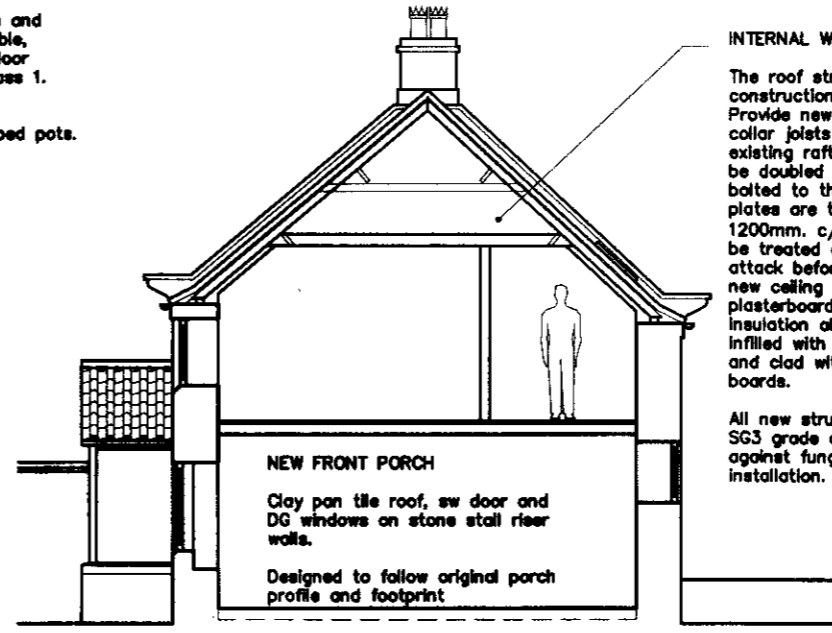
Existing pvc rainwater goods on adjustable gutter brackets etc. to be retained. All gutters to be cleared of weeds and debris and brought up to a good working condition.

WORKS TO EAST GABLE

Remove climbing plant, remove old greenhouse roof flashings and re-point. Provide new stone lintel over window to match existing and rebuild loose stone work around window. Carry out remedial work to North East quoin to provide bond between East and North walls, rebed existing stones and using new stone where necessary. Walls to be tied together using stainless steel rods bedded into the mortar joints where appropriate.



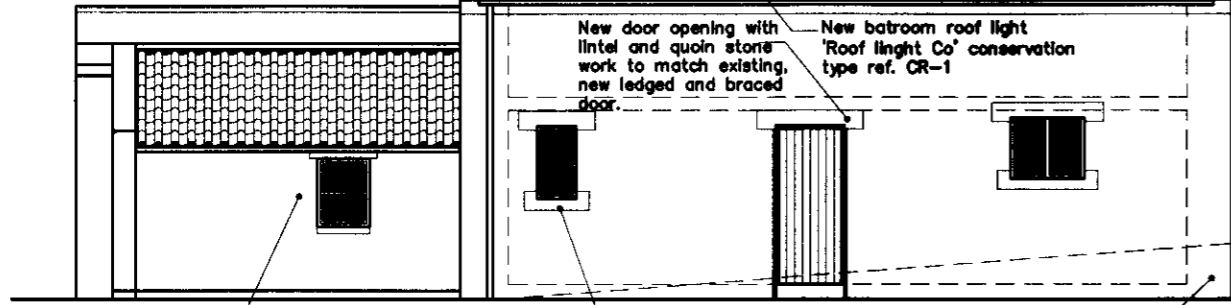
South East Elevation



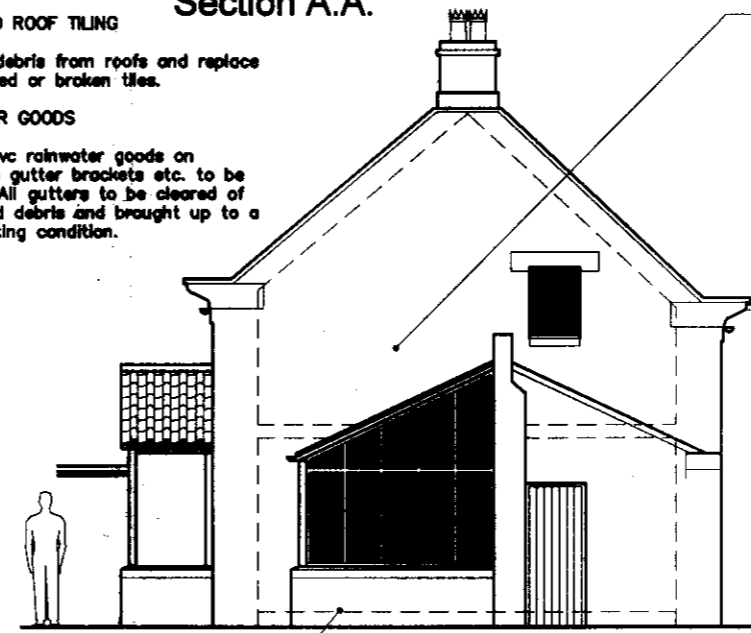
WORKS TO FRONT DOOR

Remove existing timber lintel and replace in stone to outside face (to match adjacent GF. windows) repair lime render to reals.

Provide new supporting galvanised ms. angle lintel behind existing stone lintel



North West Elevation



North East Elevation

REPLACEMENT GREENHOUSE/CONSERVATORY

Design to follow approximately the original profile and footprint. Windows and door to be in high performance DG. sw frames with hardwood cills. All timber to have paint finish. Plinth wall with shaped stone cill to be of cavity construction with two leaves of 100mm. coursed local stone to match existing dwelling. Glazed roof to be constructed with proprietary lead covered bars.

WORKS TO ROOF COPING STONES

Re-bed existing copings using lime mortar on full width horizontal damp proof membrane. Provide lead soakers and flashings to extend down into the bowl of adjacent pantiles.

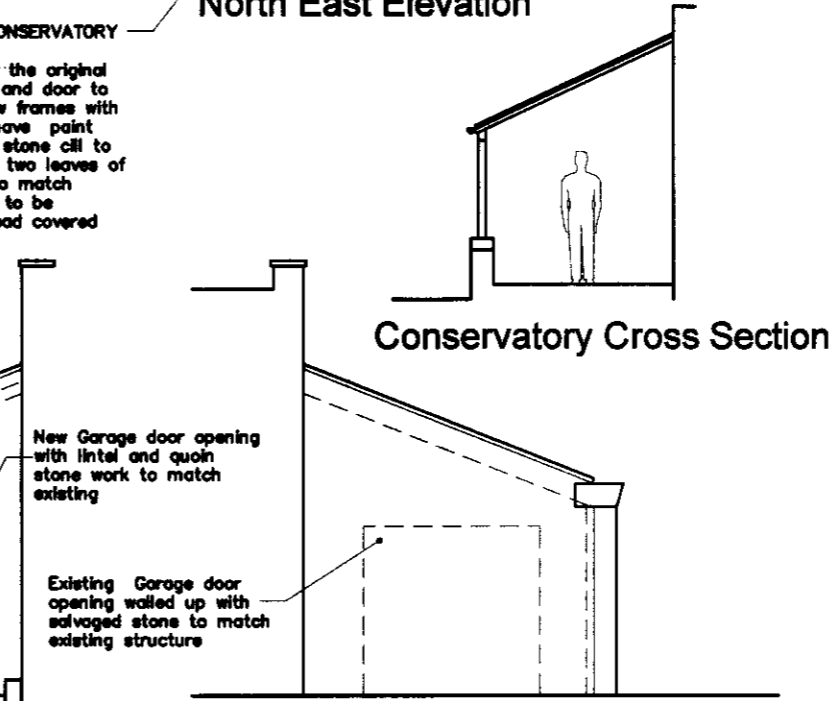
WORKS TO OUTBUILDING

Remove existing rotten roof structure completely and salvage all re-usable clay pan tiles. Construct new roof of cut sw. rafters with center purlin, breathable felt counter battens, battens and replace original tiles plus additional (off site) salvaged material.

WORKS TO WEST ELEVATION

Remove existing ivy and kill roots. Clear debris from base of wall and provide drain away from existing channel to discharge point near gate, to allow water to run away from the structure.

South West Elevation



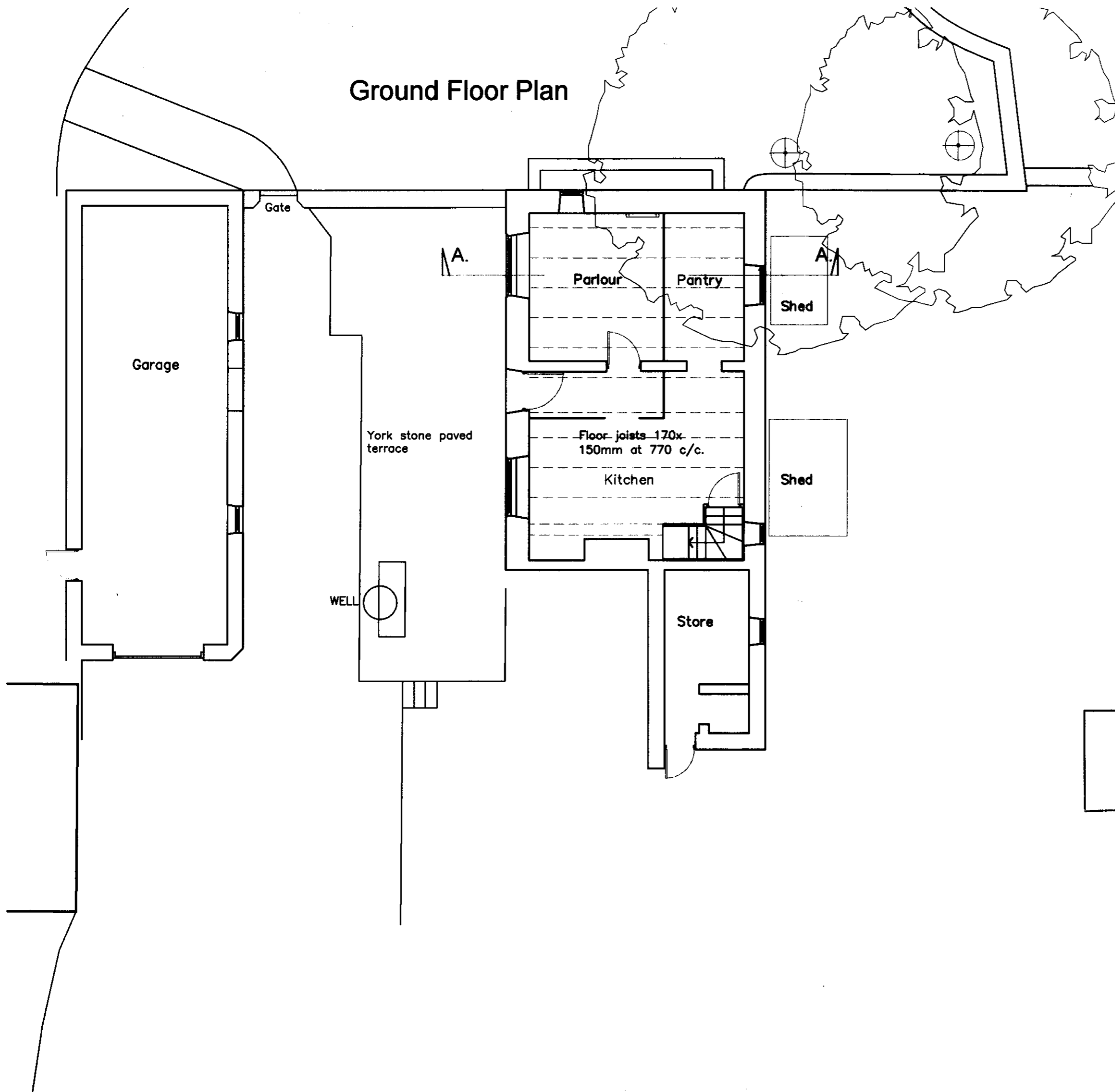
Conservatory Cross Section

Garage North East Elevation

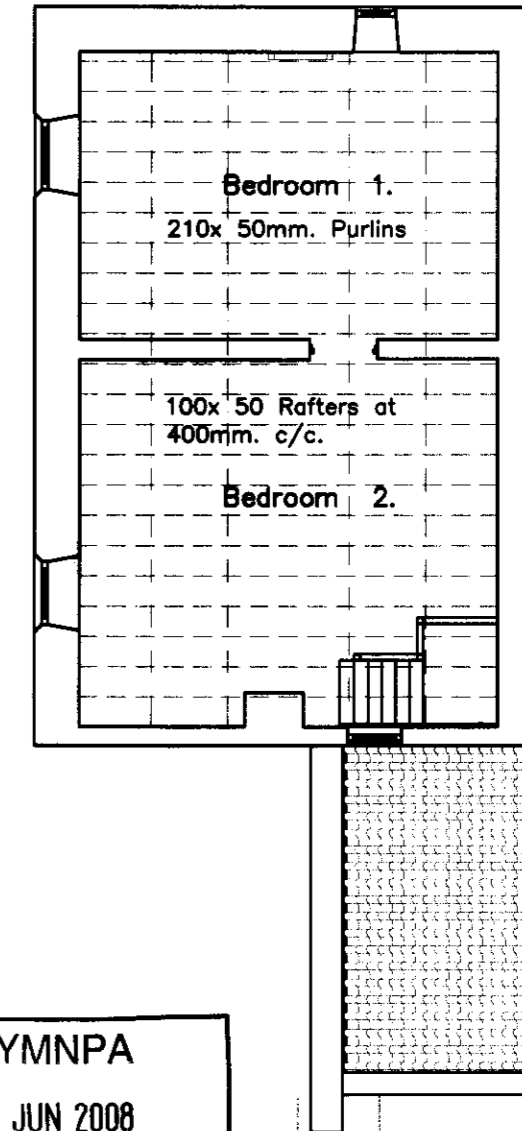
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### Ground Floor Plan



### First Floor Plan



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Revision	Details	Date
A	Corrections to Survey	18-5-08


**Project:**  
Proposed Refurbishment to The Keepers Cottage  
Park Hall, Aislaiby, Whitby

**Drawing:**  
Existing Plans

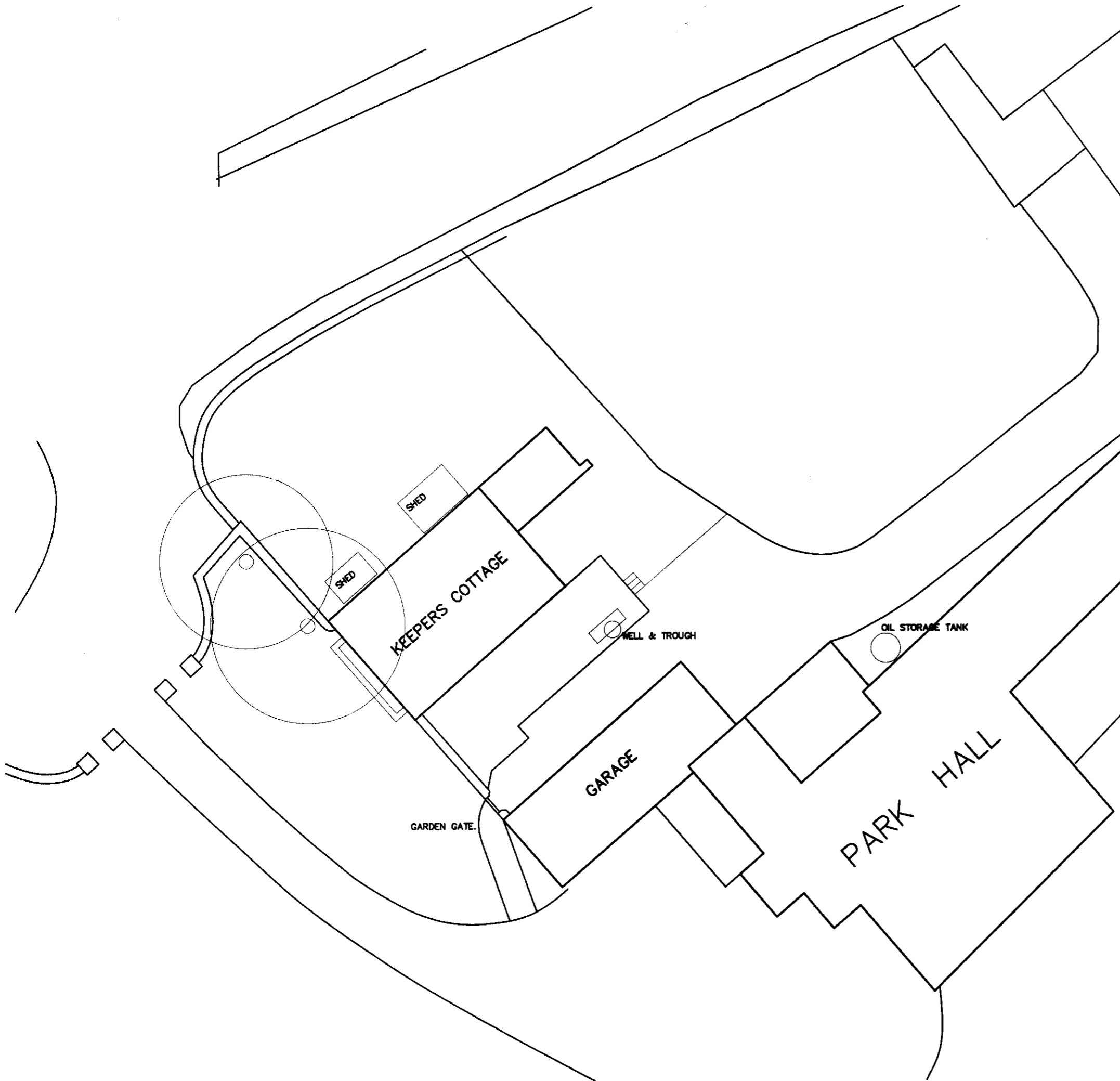
Date: 3/4/08	Scale: 1-100	Project No. ATA-2008-23	Drawing No. <b>03</b>
Drawn by: AHT	Revision: A	Cad Ref. ATA-2008-23	

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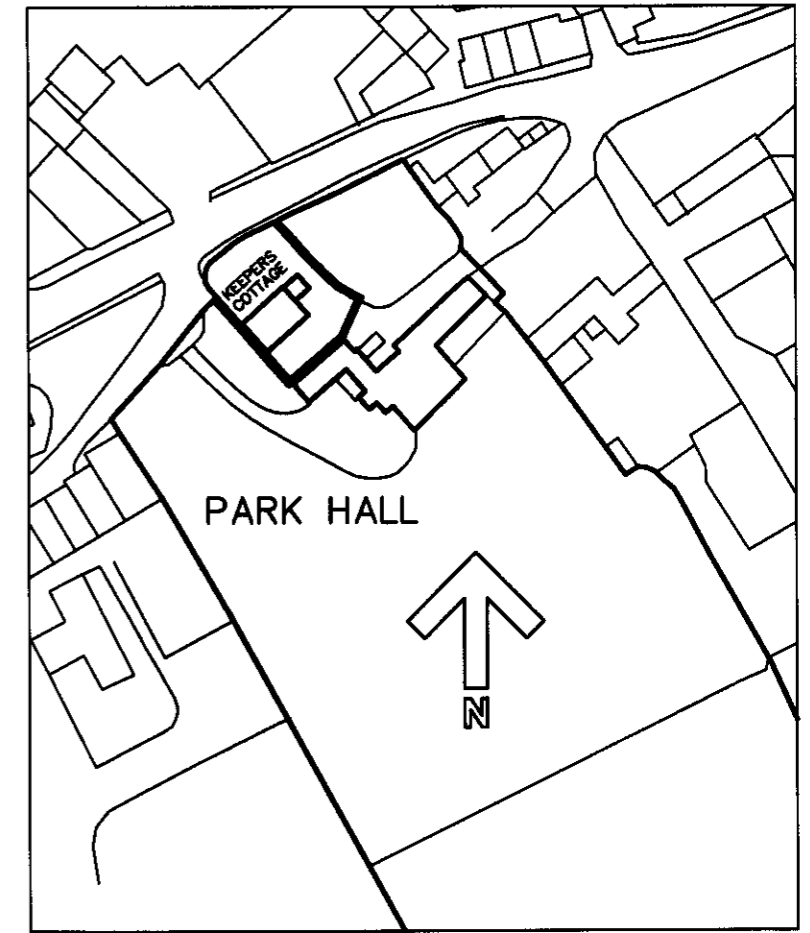
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E mail alan.tomlinson@btinternet.com



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Layout Plan 1:200



Block Plan 1-1250

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Revision	Details	Date
A	Corrections to Survey	18-5-08
B	Site boundaries added	27-5-08

**Project:**  
Proposed Refurbishment to The Keepers Cottage  
Park Hall, Aislaby, Whitby

**Drawing:**  
Existing Site Layout & Block Plan

Date: 3/4/08	Scale: 1-200	Project No. ATA-2008-23	Drawing No. <b>02</b>
Drawn by: AHT	Revision: B	Cad Ref. ATA-2008-23	

**Alan Tomlinson Architects**

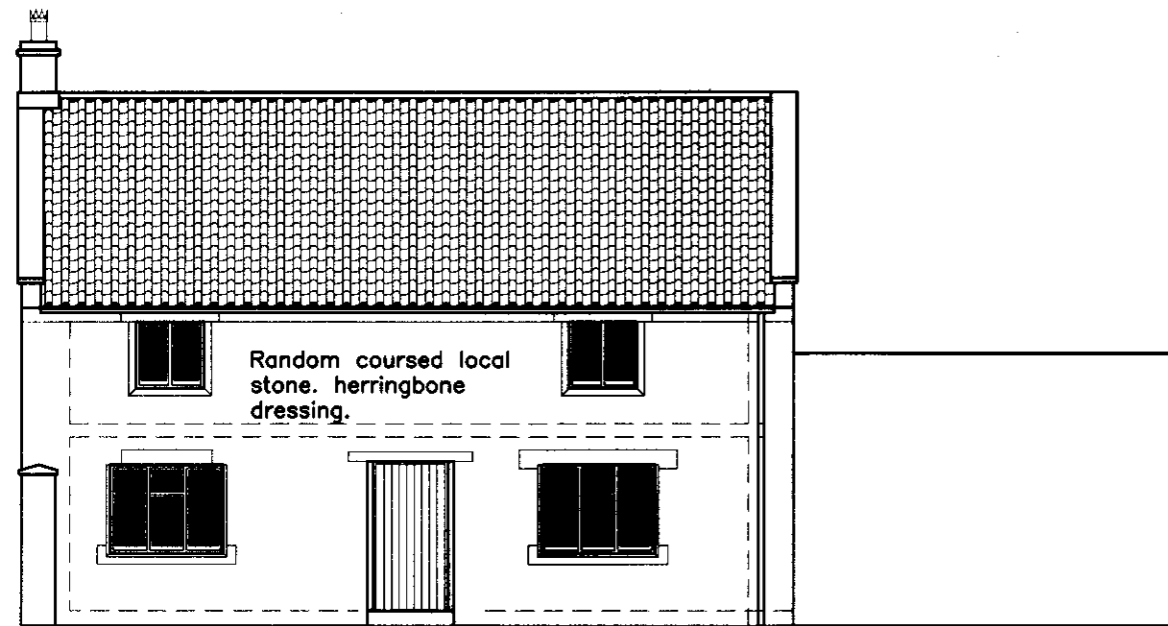
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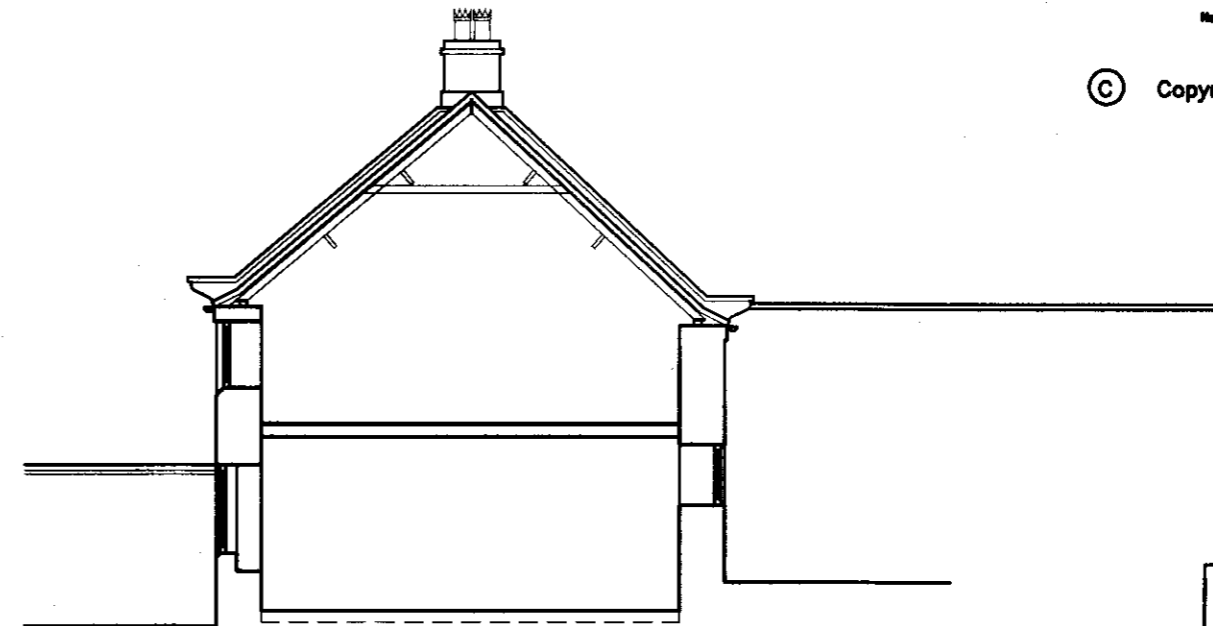


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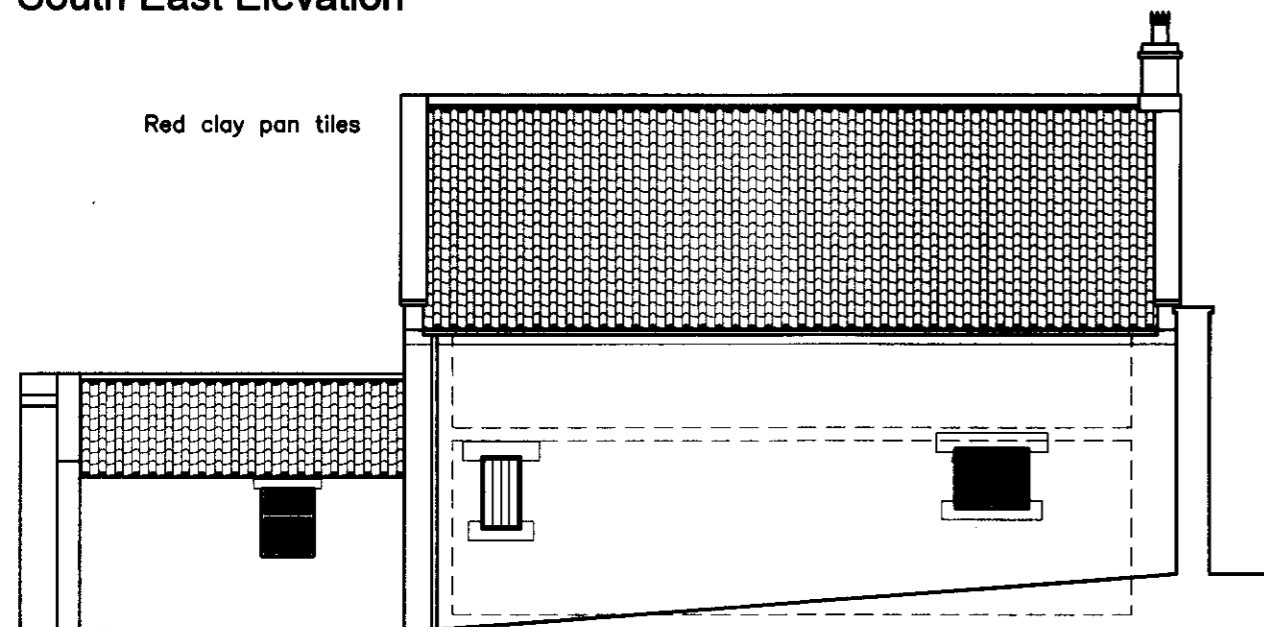


South East Elevation

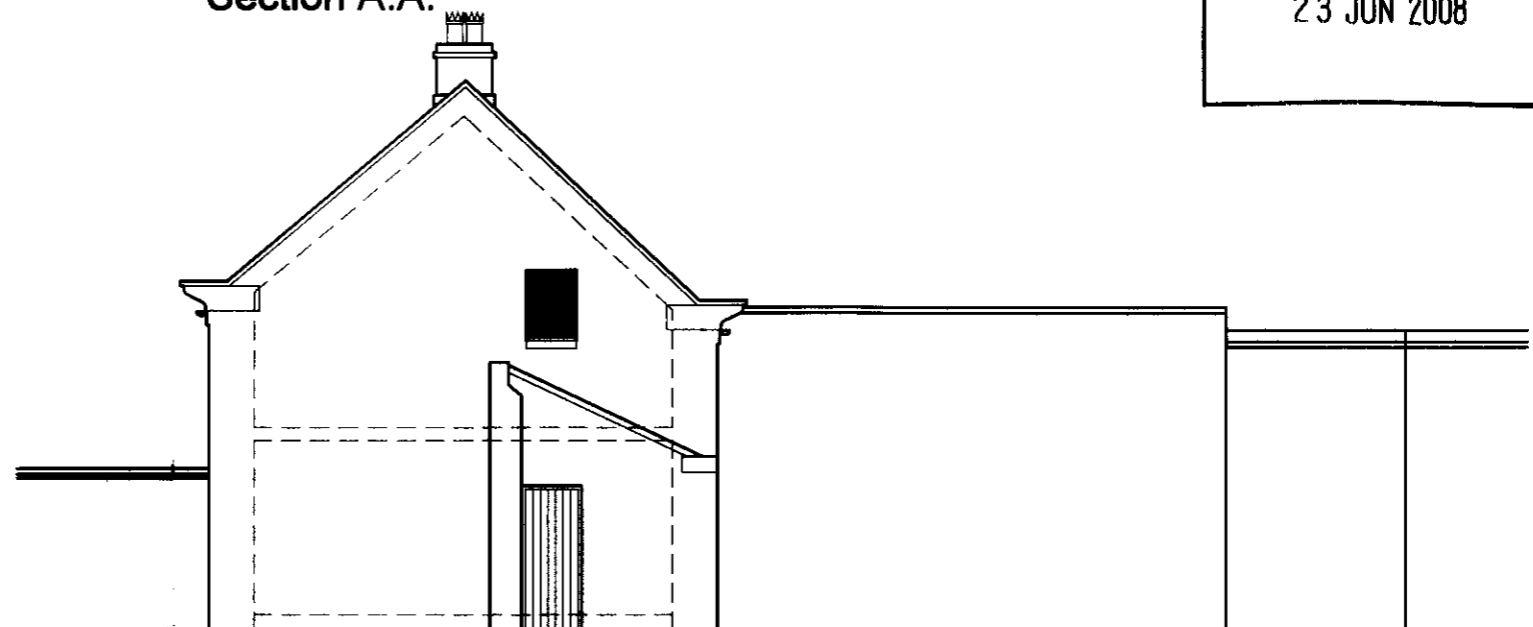


Section A.A.

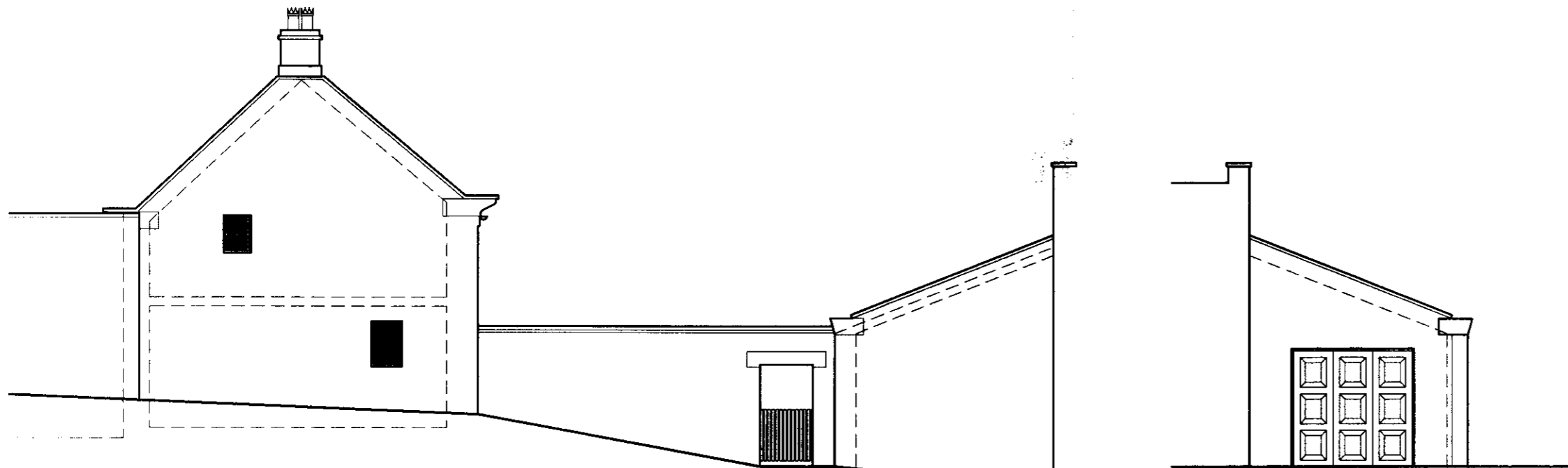
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North West Elevation



North East Elevation



South West Elevation

Garage North East Elevation

Revision	Details	Date
A	Corrections to Survey	18-5-08

<b>Project</b> Proposed Refurbishment to The Keepers Cottage Park Hall, Aislaby, Whitby			
<b>Drawing</b> Existing Elevations & Sections			
Date: 3/4/08	Scale: 1-100	Project No. ATA-2008-23	Drawing No. <b>04</b>
Drawn by: AHT	Revision: A	Coord Ref. ATA-2008-23	
Alan Tomlinson Architects 1 Hudsons Yard Floungate Whitby North Yorkshire YO21 3BG Tel. 01947 825031 E mail atn.tomlinson4@btinternet.com			



NYM / 2008 / 0 4 8 7 / L B

08/487 PH

Grid ref NZ 86072, 08702

**Application for listed building consent for alterations, extension or demolition of a listed building.  
 Planning (Listed Buildings and Conservation Areas Act) 1990**

**Publication of planning applications on council websites**

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.  
 It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

**1. Applicant Name and Address**

Title:  First name:   
 Last name:   
 Company (optional):   
 Unit:  House number:  House suffix:   
 House name:   
 Address 1:   
 Address 2:   
 Address 3:   
 Town:   
 County:   
 Country:   
 Postcode:

**2. Agent Name and Address**

Title:  First name:   
 Last name:   
 Company (optional):   
 Unit:  House number:  House suffix:   
 House name:   
 Address 1:   
 Address 2:   
 Address 3:   
 Town:   
 County:   
 Country:   
 Postcode:

**3. Description of Proposed Works**

Please describe the proposals to alter, extend or demolish the listed building(s):

Repair, restoration and improvements to enable an existing property to be reinstated as a habitable dwelling. Works include alterations, extensions and significant improvements and enhancements to the structure to ensure the long term satisfactory life of this property.

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Please provide a description of existing and proposed materials and finishes to be used in the building (demolition excluded):

	Existing (where applicable)	Proposed NYM / 2008 / 0 4 8 7 / L B	Not applicable	Don't Know
External walls	Local natural sandstone walling with herringbone tooled finish.	Existing retained.	<input type="checkbox"/>	<input type="checkbox"/>
Roof covering	Pitched roof covered with red clay pantiles.	No Change	<input type="checkbox"/>	<input type="checkbox"/>
Chimney	Stone with clay pots.	Stone with clay pots.	<input type="checkbox"/>	<input type="checkbox"/>
Windows	Single glazed casement softwood, part painted.	Hardwood and some softwood casements for painting.	<input type="checkbox"/>	<input type="checkbox"/>
External doors	Ledged and braced planked door.	New front door to match original with viewing panel. New back door in ledged and braced style.	<input type="checkbox"/>	<input type="checkbox"/>
Ceilings	Mixed open joist and lath and plaster.	Ground floor ceilings to remain open joists. First floor ceilings to be replastered.	<input type="checkbox"/>	<input type="checkbox"/>
Internal walls	Timber and masonry partitioning	Replace stud and masonry partition walling in original positions. New internal stud partitions at first floor.	<input type="checkbox"/>	<input type="checkbox"/>
Floors	Earth, flags and boarding at ground floor level, tongued and grooved boards at first floor level.	First floor flooring to be restored. Ground floors in mixed solid/insulated York stone flagging and timber boarding.	<input type="checkbox"/>	<input type="checkbox"/>
Internal doors	Some removed, where remaining in planked, ledged and braced.	Ledged and braced.	<input type="checkbox"/>	<input type="checkbox"/>
Rainwater goods	PVC rainwater goods throughout.	Cast iron rainwater goods.	<input type="checkbox"/>	<input type="checkbox"/>
Boundary treatments (e.g. fences, walls)	Listed walling to be retained.	As existing.	<input type="checkbox"/>	<input type="checkbox"/>
Vehicle access and hard standing	No alterations to existing arrangements relating to Keepers Cottage.	Alterations to Park Hall use of garage by re-locating entrance doors.	<input type="checkbox"/>	<input type="checkbox"/>
Lighting	None.	Conventional domestic electric lighting proposed.	<input type="checkbox"/>	<input type="checkbox"/>
Others (add description)	N/A	New conservatory structure to be built.	<input type="checkbox"/>	<input type="checkbox"/>

Are you supplying additional information on submitted drawings or plans?  Yes  No

If Yes, please state plan(s)/drawing(s) references:

Alan Tomlinson Architects Drawing Nos. 1-7.

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23 JUN 2008



Has the work already started without consent?

Yes  No

If Yes, please state when the work was started (DD/MM/YYYY):

(date must be pre-application submission)

Has the work been completed without consent?

Yes  No

If Yes, please state the date when the work was completed (DD/MM/YYYY):

(date must be pre-application submission)

Please provide the full postal address of the application site.

Unit:  House number:  House suffix:   
House name:   
Address 1:   
Address 2:   
Address 3:   
Town:   
County:   
Postcode (optional):

Description of location or a grid reference.  
(must be completed if postcode is not known):

Easting:  Northing:

Description:

Two storey detached dwellinghouse.

### 5. Related Proposals

Are there any current applications, previous proposals or demolitions for the site?  Yes  No

If Yes please describe and include the planning application reference number(s), if known:

Description	Reference number

### 6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?  Yes  No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much as possible:

Officer name:

Gillian Kleine and Andrew Muir

Reference:

Date (DD/MM/YYYY):  
(must be pre-application submission)

29.05.2008

Details of pre-application advice received?

E-mail from Gillian Kleine setting out comments on plans. Andrew Muir commenting on Schedule of Repair (November 2007)

### 7. Neighbour and Community Consultation

Have you consulted your neighbours or the local community about the proposal?  Yes  No

If Yes please provide details:

Peter Wilson the occupier of No.9 Main Road, Aislaby is aware of the proposals.

### 8. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the council?  Yes  No

If Yes, please provide details:

NYMNPA

23 JUN 2008

Does the proposal include the partial or total demolition of a listed building?  Yes  No

- If Yes, which of the following does the proposal involve?
- a) Total demolition of the listed building:  Yes  No
- b) Demolition of a building within the curtilage of the listed building:  Yes  No
- c) Demolition of a part of the listed building:  Yes  No

If the answer to c) is Yes:

i) What is the total volume of the listed building?(cubic metres)	
ii) What is the volume of the part to be demolished?(cubic metres)	
iii) What was the (approximate) date of the erection of the part to be removed? (MM/YYYY) (date must be pre-application submission)	

Please provide a brief description of the building or part of the building you are proposing to demolish:

Why is it necessary to demolish or extend (as applicable) all or part of the building(s) and or structure(s)?

### 12. Listed Building Grading

Please state the grading (if known) of the building in the list of Buildings of Special Architectural or Historic Interest? (Note: only one box must be ticked)

- Grade I  Ecclesiastical Grade II
- Grade II  Ecclesiastical Grade II\*
- Grade II\*  Don't know
- Ecclesiastical Grade I

Do the proposed works include alterations to a listed building?  Yes  No  
 NYM / 2008 / 0 4 8 7 / L B

- If Yes, do the proposed works include: (you must answer each of the questions)
- a) Works to the interior of the building?  Yes  No
- b) Works to the exterior of the building?  Yes  No
- c) Works to any structure or object fixed to the property (or buildings within its curtilage internally or externally)?  Yes  No
- d) Stripping out of any internal wall, ceiling or floor finishes (e.g. plaster, floorboards)?  Yes  No

If the answer to any of these questions is Yes, please provide plans, drawings, photographs sufficient to identify the location, extent and character of the items to be removed, and the proposal for their replacement, including any new means of structural support and state references for the plan(s)/drawing(s):

Plans attached by Alan Tomlinson  
 Drawing Nos: 01-07.

### 13. Immunity From Listing

Has a Certificate of Immunity from Listing been sought in respect of this building?  Yes  No  Don't know

If Yes, please provide the result of the application:

NYMNPA  
 23 JUN 2008

One Certificate A, B, C, or D, must be completed with this application form

**CERTIFICATE OF OWNERSHIP - CERTIFICATE A**

**Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990**

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

NYM / 2008 / 0 4 8 7 / L B  
Date DD/MM/YYYY:

Signed - Applicant:

Or signed - Agent:

Date DD/MM/YYYY:

20.06.2008

**CERTIFICATE OF OWNERSHIP - CERTIFICATE B**

**Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990**

I certify/ The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which this application relates.

Name of Owner	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date DD/MM/YYYY:

**CERTIFICATE OF OWNERSHIP - CERTIFICATE C**

**Certificate under Article 7 of the Town and Country Planning (General Development Procedure) Order 1995 & Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990**

I certify/ The applicant certifies that:

- Neither Certificate A or B can be issued for this application
- All reasonable steps have been taken to find out the names and addresses of the other owners (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of the land or building, or of a part of it, but I have/ the applicant has been unable to do so.

The steps taken were:

Name of Owner	Address	Date Notice Served

NYMNPA

23 JUN 2008

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date DD/MM/YYYY:

**CERTIFICATE OF OWNERSHIP / CERTIFICATE D**

Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

NYM, 2008 / 0 4 8 7 / L B

The steps taken were:

[Empty box for steps taken]

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

[Empty box for newspaper name]

On the following date (which must not be earlier than 21 days before the date of the application):

[Empty box for date]

Signed - Applicant:

[Empty box for applicant signature]

Or signed - Agent:

[Empty box for agent signature]

Date DD/MM/YYYY:

[Empty box for date]

**15. Planning Application Requirements - Checklist**

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

3 copies of a completed and dated application form:

3 copies of other plans and drawings or information necessary to describe the subject of the application:

3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North:

3 copies of the completed, dated Ownership Certificate (A, B, C, or D - as applicable):

**16. Declaration**

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant:

[Empty box for applicant signature]

Or signed - Agent:

[Redacted box for agent signature]

Date (DD/MM/YYYY):

20.06.2008

(date cannot be pre-application)

**17. Applicant Contact Details**

Telephone numbers

Country code:	National number:	Extension number:
[Redacted]	[Redacted]	[Redacted]

Country code:	Mobile number (optional):
[Redacted]	[Redacted]

Country code:	Fax number (optional):
[Redacted]	[Redacted]

Email address (optional): [Redacted]

**18. Agent Contact Details**

Telephone numbers

Country code:	National number:	Extension number:
[Redacted]	[Redacted]	[Redacted]

Country code:	Mobile number (optional):
[Redacted]	[Redacted]

Country code:	Fax number (optional):
[Redacted]	[Redacted]

Email address (optional): [Redacted]

**19. Site Visit**

Can the site be seen from a public road, public footpath, bridleway or other public land?  Yes  No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

- Agent  Applicant  Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name: [Redacted]

Telephone number: [Redacted] NYMNPA 23 JUN 2008

Email address: [Redacted]

Date of issue

Drawing Title	Size	Scale	Drawing No.	CAD File	14/04/08	2/05/08	24/05/08	27/05/08	15/06/08	11/06/08					
<b>DRAWING ISSUE SCHEDULE</b>	X	X	01	2008_23	/	/	/	/	/	/					
Existing Site Layout & Block Plan	A3	1/200	02		/	/	A	B	B	/					
Existing Floor Plans	A3	1/100	03		/	/	A	A	A	/					
Existing Elevations	A3	1/100	04		/	/	A	A	A	/					
Proposed Floor Plans	A3	1/100	05		/	/	A	B	C	C					
Proposed Elevations & Sections	A3	1/100	06		/	/	A	B	C	C					
Proposed Site Layout	A3	1/200	07			/	A	A							
<b>CONSTRUCTION DRAWINGS</b>															
Site Layout & Block Plan	A3	1/100	07												
Existing Floor Plans	A3	1/100	08												
Existing Elevations & Section	A3	1/100	09												
Proposed Floor Plans	A3	1/100	10												
Mechanical Layout	A3	1/100	11												
Electrical Layout	A3	1/100	12												
Details	A3		13												
Details	A3		14												
Building Control Notes	A3		15												
XXXX															

NYMNP  
23 JUN 2008

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x	x	x
Revision	Details	Date

**Project.**  
Proposed Refurbishment to The Keepers Cottage  
Park Hall, Aislaby, Whitby

**Drawing.**  
Drawing Shedule

<b>Date.</b> 3/4/08	<b>Scale.</b> 1-100	<b>Project No.</b> ATA-2008-23	<b>Drawing No.</b> <b>01</b>
<b>Drawn by.</b> AHT	<b>Revision.</b>	<b>Cad Ref.</b> ATA-2008-23	

**Alan Tomlinson Architects**

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E mail alan.tomlinson4@hotmail.com

- DRAWING ISSUE NOTES**
- 'P' = Provisional
  - '/' = Completed original
  - 'A' Etc.. = Revision status
  - 'V' = Issued in Electronic Form (Acad Volo View)
  - 'AC' = Issued in Electronic Form (Acad )

Client: -  
Structural engineer: -  
Mechanical engineer: -  
Planning supervisor: -  
Quantity surveyor: -  
Planning: -  
Building control: -  
Main Contractor: -  
Land surveyor: -  
Bell- Snoxell  
N Yorks Highways  
Fire Officer: -  
Police (Secure By Design)  
COW :-

Mr. David Dalgleish  
Richard Agar  
X  
X  
**NYMNP**  
**NYBC**  
  
X  
X

1	1	1
1		
1	1	4

NYM / 2008 / 0 4 8 7 / 1 B

# VALIDATION CHECKLIST

**APPLICATION FOR LISTED BUILDING CONSENT –  
extensions, alterations or demolition of a listed building**



**Please complete the attached checklist to indicate what you have included with your application. All plans should include paper size, key dimensions and scale.**

**STANDARD REQUIREMENTS:**

(1 original and 3 copies to be supplied unless the application is submitted electronically)

- Completed application form** YES  N/A
- Completed Certificate of Ownership, A, B, C or D as required by Article 7 of the Town and Country Planning (General Development Procedure) Order 1995 and by Regulation 6 of the Planning (Listed Building and Conservation Areas) regulations 1990** YES  N/A
- Location Plan at a scale of 1:2500 or 1:1250 with your application site edged red and any other land in your ownership edged in blue** YES  N/A
- Existing site layout plans at a scale of 1:100, 1:200 or 1:500 showing the site in relation to existing buildings and site boundaries. The plan should indicate where existing features of the site are located including existing buildings (indicating proposed demolitions), trees (identifying any proposed felling), means of access and type of enclosure (wall, fence, hedges) and shall show adjacent properties/buildings** YES  N/A
- Proposed site layout plans at a scale of 1:100, 1:200 or 1:500** YES  N/A
- Existing and proposed elevations to a scale of 1:50 or 1:100 Requirements dependent on position of extension eg. no front elevation required for rear extension etc.** YES  N/A
- Existing and proposed floor plans to a scale of 1:50 or 1:100 For each floor, ie, ground and first floor plans required for two storey extension** YES  N/A
- Existing and proposed site sections and finished floor and site levels to a scale of 1:50 or 1:100** YES  N/A
- Plan to a scale of not less than 1:20 to show all new doors, windows, shop-fronts, panelling, fireplaces, plaster moulding and other decorative details** YES  N/A
- Roof plans to a scale of 1:50 or 1:100 If proposed development alters the existing roof** YES  N/A
- Design and Access Statement** YES  N/A

<p><b>NYMNPA</b> 23 JUN 2008</p>
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**ADDITIONAL REQUIREMENTS (where likely to be relevant to the development proposed)**

**Structural Survey**

YES

N/A

**Schedule of Works**

YES

N/A

Schedule  
submitted in  
November 2007,  
now amended.

NYMNPA  
23 JUN 2008