

H.Webster

From: Ailsa Teasdale
Sent: 31 July 2008 15:23
To: Development Control
Cc: Gillian Kleine; V.Dilcock
Subject: FW: Planning application at Beech Hill, Aislaby
Attachments: Planning, Design & Access statement - revised.pdf, Proposed Plan.pdf, Proposed Elevations.pdf

Dc Admin please print off the amended plans
Gillian/Val, Could you have a look at the link below and see if the proposed recycled slates would be ok or should we just go back to pantiles?

From: David Stovell [mailto:PLAN@davstomill.freeserve.co.uk]
Sent: 31 July 2008 15:12
To: Ailsa Teasdale
Subject: RE: Planning application at Beech Hill, Aislaby

Ailsa

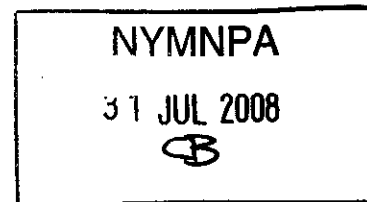
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If you have any further queries, please do not hesitate to contact me.

Regards
Jenni Hayes
David Stovell & Millwater



From: Ailsa Teasdale [mailto:a.teasdale@northyorkmoors-npa.gov.uk]
Sent: 31 July 2008 11:57
To: plan@davstomill.freeserve.co.uk
Subject: Planning application at Beech Hill, Aislaby

Dear Mr Stovell,
Further to my letter dated 24 July 2008, I have now received the comments of the Building Conservation Officer who has requested that the rooflights be removed from the application as they would not have been typical of a gardener's dwelling and natural light is not a necessity in non-habitable rooms which can be served with an extractor vent to the rear.

Therefore I would be grateful if you could incorporate this amendment into your amended drawings. I would appreciate if you could submit 4 copies of an amended plan showing these changes at your earliest convenience within the next two weeks to allow the application to progress towards determination at the Committee meeting on the 14 August. Should you have any further questions please contact me at the above office.

Yours sincerely,

Mrs Ailsa Teasdale

01/08/2008

Senior Area Planning Officer

North York Moors National Park Authority

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WWW: <http://www.moors.uk.net>

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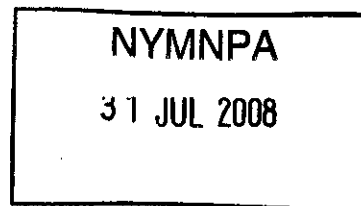
Version: 7.5.524 / Virus Database: 270.5.8/1582 - Release Date: 30/07/2008 18:37

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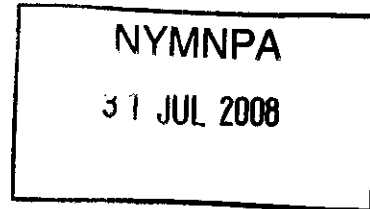
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PLANNING, DESIGN & ACCESS STATEMENT

Client: Mr R Horncastle
Appeal Site: Beech Hill, Aislaby
Proposal: Tourist Accommodation
Our Ref: NYM/07/005/PDAS
Date: June 2008



Preliminary Matters

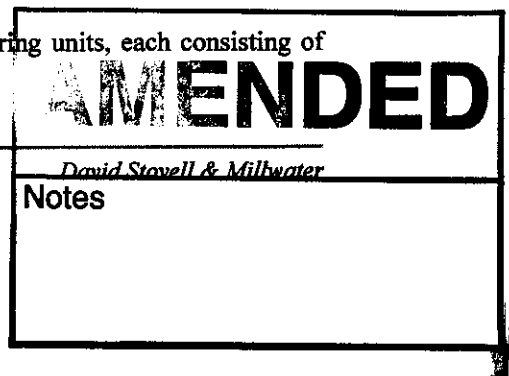
1. This statement supports an application for tourist accommodation alongside the eastern boundary wall in the garden area at Beech Hill.
2. We understand that Mr Horncastle has held pre-application discussions with Ailsa Manners on possible sites for additional holiday accommodation. One site had been identified and has been submitted for planning approval. This was also considered acceptable at that discussion.
3. Beech Hill is presently used for successful tourist accommodation. Given the present demand it would be the intention of the applicant to use the building for tourist accommodation as part of the existing business. However, he feels that the site would accommodate a dwelling and this would be a more robust commercial use.

The Site and its Surroundings

4. Beech Hill is a substantial building, set in its own grounds, within the village of Aislaby. It forms part of an informal group of mature properties comprising Park Hall Cottages, Park Lodge, the converted former coach house of Aislaby Hall and Aislaby Hall itself.
5. Beech Hill already provides holiday accommodation which has proved very successful. The applicant is seeking to expand this business by adding further accommodation within the curtilage of Beech Hill.
6. The village location is ideally suited for tourist accommodation. Aislaby is an attractive village with a good network of walking routes in and around the surrounding countryside. Beech Hill itself is an attractive and imposing building with magnificent views to the south.

Proposal

7. This proposal seeks to develop part of the garden space for tourist accommodation. This comprises a modest single storey building situated alongside the eastern boundary wall.
8. The proposed accommodation would provide 2no self-catering units, each consisting of lounge, kitchen/diner, bathroom and 2no bedrooms.



9. The building is of a simple lean-to design, to be constructed of reclaimed dressed stone, with hardwood timber windows, and slate roof, to complement the main property. Please refer to Drawing Nos. NYM/07/005/31 and NYM/07/005/41.
10. The design reflects a 'gardener's cottage' approach. It is a form of development that might be expected to be found in the grounds of a large house such as Beech Hill. This type of cottage would traditionally have horizontal windows reflecting the gardening role and the need to maximise light into the building. The overall design approach would have been functional and simple, and this is also reflected in the design.
11. The building would be fully accessible, providing level access with all facilities at ground level. Additionally, the interior design has allowed for the accommodation to be suitable for use - or adaptation for use - for disabled users, in accordance with the Council's Visitability Guidelines and Lifetime Homes Guidelines.

Planning Policies

12. The development plan for the area includes the North Yorkshire Moors National Park Local Plan (2003) (LP). The Local Development Framework Core Strategy and Development Policies Consultation Draft (LDF) (2007) has been prepared. Adoption is anticipated late 2008. At present this document carries little weight in determining planning applications. The only indication of how this is interpreted is in Paragraph 2 of the reasoned justification for Policy H2 which deals with proposals for larger infill development. This states that "sites on the edge of a village which would extend the main body of the settlement out to an isolated building or sites which would 'round off' development would ... not be suitable".
13. LP policy H1 includes Aislaby within the list of 84 "local need" settlements, which permits small scale new housing "on infill plots consisting of small gaps in an otherwise continuous built up frontage. LP policy H11 permits the subdivision of residential curtilages to form infill building plots. The boundaries of settlements are not defined and therefore whether any particular site is within the settlement is to some extent a matter of judgement and regard to physical features on the ground.
14. LP policy GP3 provides a set of criteria against which all development proposals should be assessed. This includes amongst other things the affects of the proposal on the character of the locality and on highway safety.
15. LP policy BE1 applies a statutory duty to all planning authorities under which all development in conservation areas must preserve and enhance the character or appearance of the area. Aislaby is included in a list of designated conservation areas.

Issues

16. The main issues seem to be:-
 - a. the effect on the living conditions of the occupiers of neighbouring properties
 - b. the effect on the character and appearance of the conservation area

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31 JUL 2008

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Notes *David Stovell & Millwater*

Character and appearance of the conservation area

17. The building is of a design and scale which one would expect to find in the grounds of a large house. Discussions with Ailsa Manners, Development Control, have indicated that this form of development, in terms of use, scale and design, would be acceptable in this location.
18. The grounds are extensive and very well screened, and the proposal would be unobtrusive. The height of the building (3.4m) has been contained to reflect that of the wall on the eastern boundary.
19. We believe that there would be little or no impact upon the character and appearance of the site at Beech Hill or the surrounding countryside.

The effect on the living conditions of the neighbouring properties

20. The garden area bounded to the east by a high boundary wall is located within a cultivated woodland setting. Insofar as it is clearly "previously-developed" land within the curtilage of the existing house that runs an existing business providing holiday cottages, there could be no effect on the neighbouring property.
21. The proposed building is situated around 13m from the main house. There are no windows/openings to the elevation of the facing gable. Additionally, the proposed accommodation lies much lower than the main house.
22. The main house is already used for holiday accommodation. The proposal would be ancillary to this operation.
23. We believe there would be no material effect on the living conditions of the neighbouring properties.

Summary

24. The use of the site for holiday accommodation is appropriate within the village of Aislaby and the site at Beech Hill. The development would have little or no impact upon the character and appearance of the countryside, or affect the living conditions of occupiers of neighbouring properties. We believe the proposal is in accordance with the relevant local plan policies and ask that it is approved.

AMENDED

Notes

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From: Gillian Kleine
Sent: 31 July 2008 16:37
To: Ailsa Teasdale; Development Control
Cc: V.Dilcock
Subject: RE: Planning application at Beech Hill, Aislaby

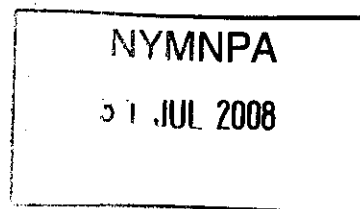
Comments passed on to Jenni Hayes via phone. Applicant is keen on slate. May just add them as an aesthetic measure to a sealed roof underneath - or pantiles. Details to be agreed by condition.

Hi Ailsa,

I'm not convinced by these recycled slates, they look dreadfully shiny and plastic. I would prefer to see the use of pantiles on a low pitch roof in this location.

Gill

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David
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&
Millwater

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5 Brentnall Centre
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Middlesbrough
TS1 5AP

Phone: 01642 232397
Fax: 01642220688

Project:
TOURIST ACCOMMODATION
@ BEECH HILL, AISLABY,
NORTH YORKSHIRE

Drawing:
PROPOSED PLAN
(GARDENER'S COTTAGE)

Client:
M.F. HORNCastle

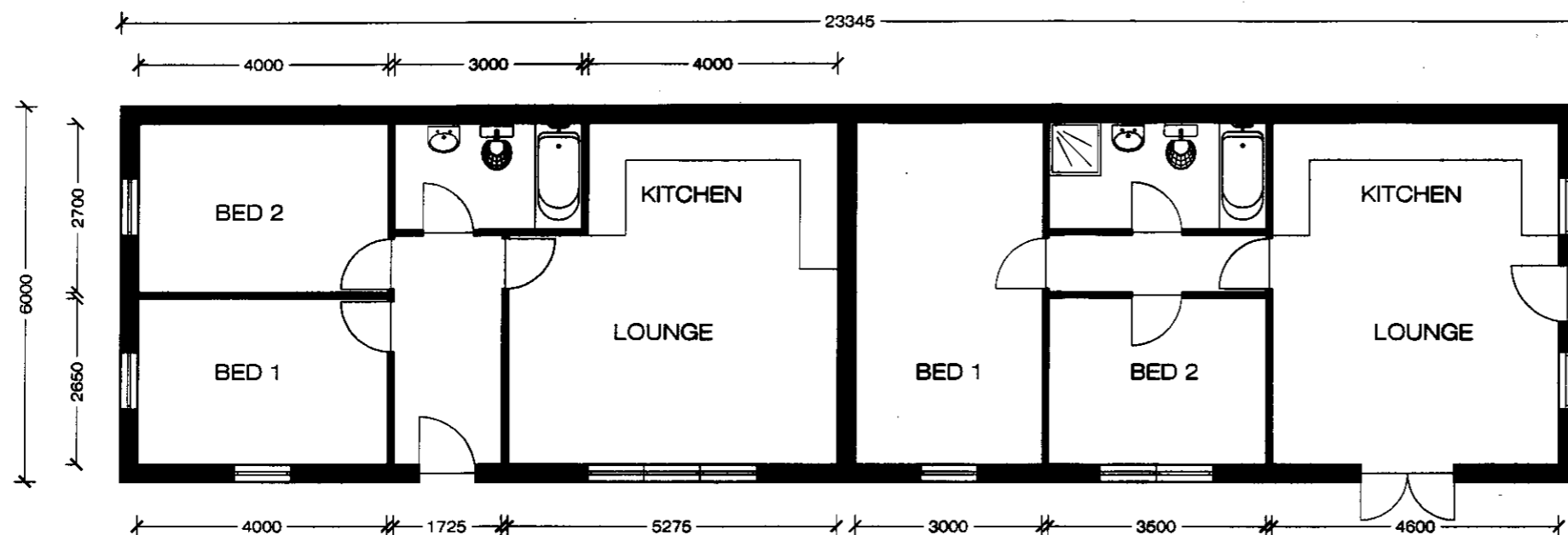
Drawing No:
NYM/07/005/031 a

Revisions:
a: 31.07.08

Scale:
1:100 @ A3

Date:
JANUARY 2008

Drawn By:
JLH



GROUND PLAN

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31 .JUL 2008

4 PROPOSED PLAN
Scale: 1:100

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David
Stovell
&
Millwater

chartered
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development
consultants

5 Brentnall Centre
Brentnall Street
Middlesbrough
TS1 5AP

Phone: 01642 232397
Fax: 01642220688

Project:
TOURIST ACCOMMODATION
@ BEECH HILL, AISLABY,
NORTH YORKSHIRE

Drawing:
PROPOSED ELEVATIONS
(GARDENER'S COTTAGE)

Client:
MR R HORNCastle

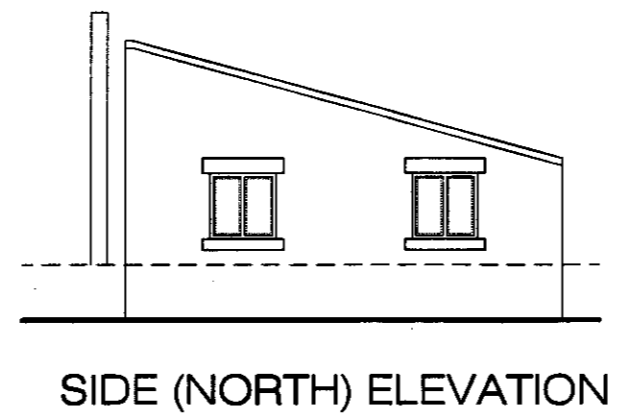
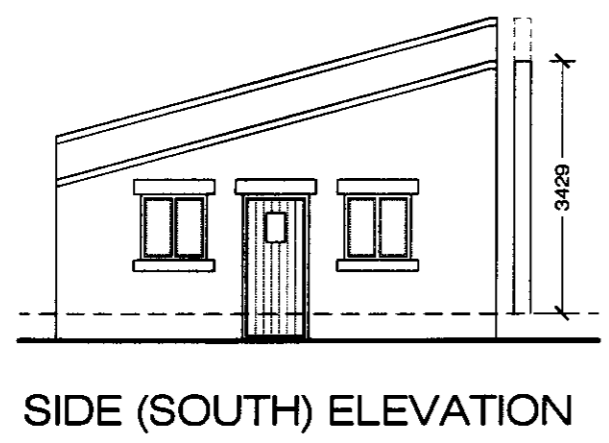
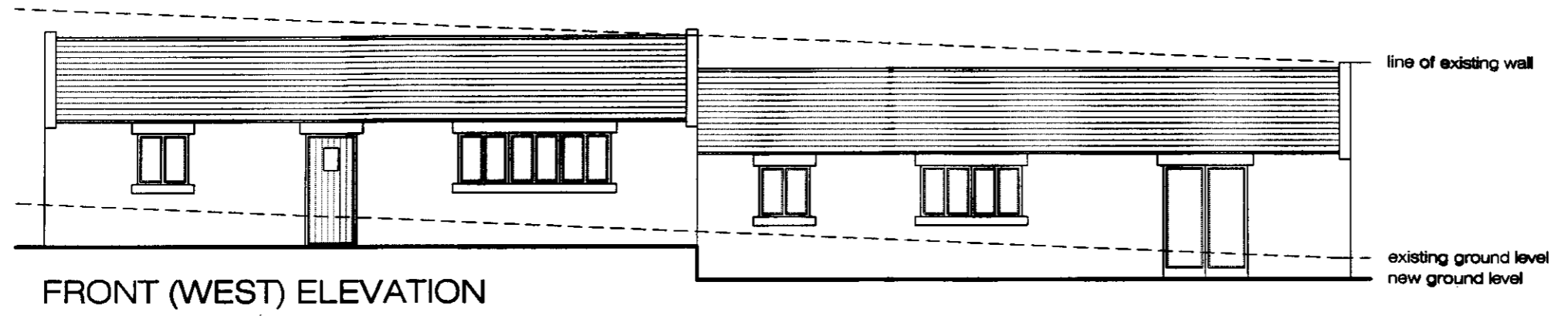
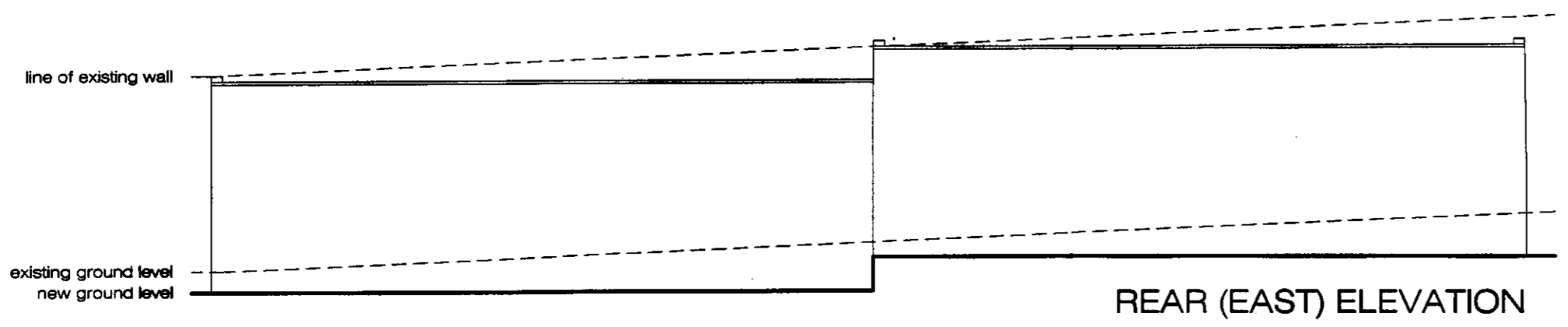
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NYM/07/005/041 a

Revisions:
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Scale:
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Date:
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Drawn By:
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Notes

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31 JUL 2008

5 PROPOSED ELEVATIONS
Scale: 1:100

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