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TS1 5AP

Phone: 01642 232397
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Project:
TOURIST ACCOMMODATION
@ BEECH HILL, AISLABY,
NORTH YORKSHIRE

Drawing:
PROPOSED PLAN
(GARDENER'S COTTAGE)

Client:
MR R HORNCastle

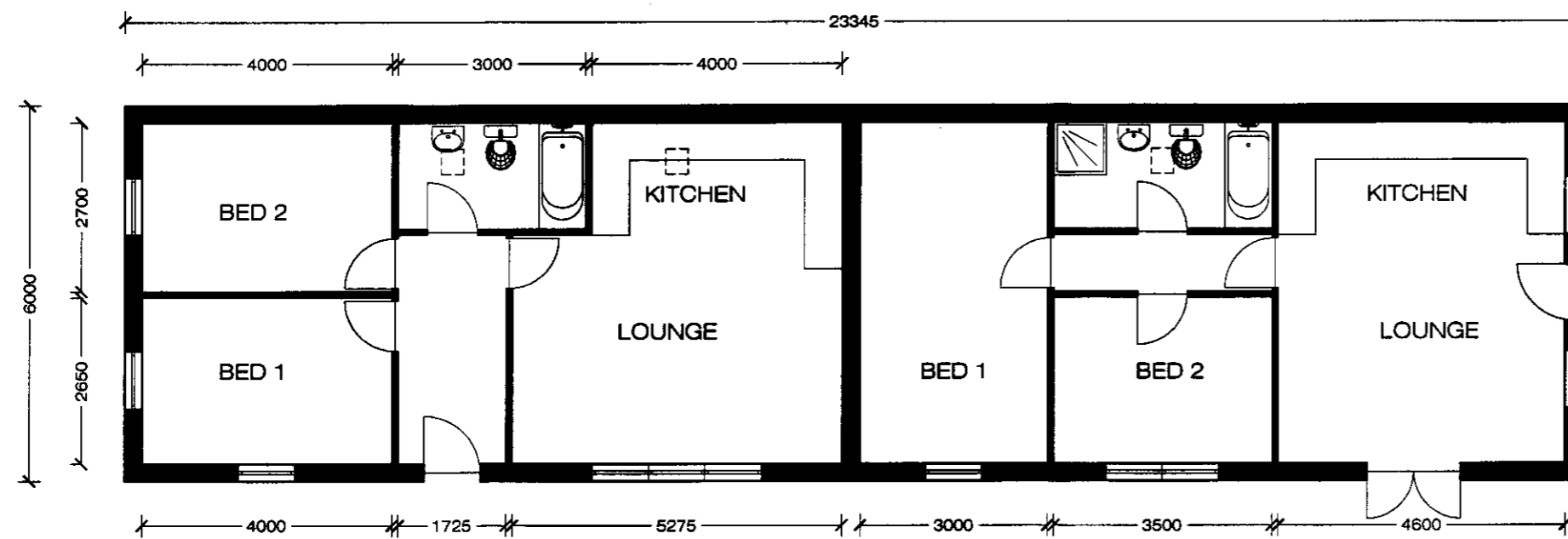
Drawing No:
NYM/07/005/031

Revisions:

Scale:
1:100 @ A3

Date:
JANUARY 2008

Drawn By:
JLH



GROUND PLAN

NYMNP
- 3 JUL 2008

4 PROPOSED PLAN
Scale: 1:100

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Project:
TOURIST ACCOMMODATION
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NORTH YORKSHIRE

Drawing:
PROPOSED SITE PLAN

Client:
MR R HORNCastle

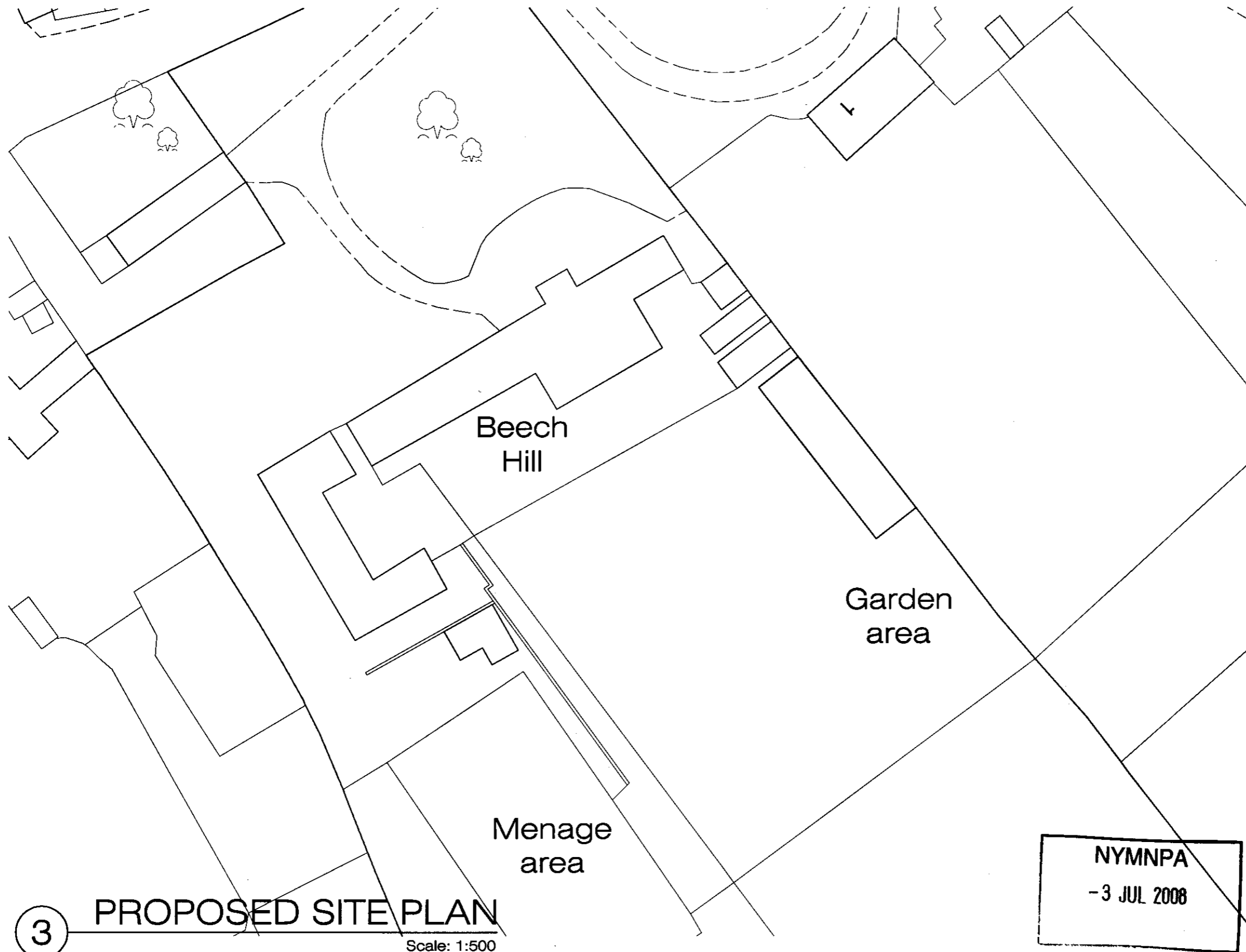
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NYM/07/005/022

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1:500 @ A3

Date:
JULY 2007

Drawn By:
JLH



3 PROPOSED SITE PLAN
Scale: 1:500

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Project:
TOURIST ACCOMMODATION
@ BEECH HILL, AISLABY,
NORTH YORKSHIRE

Drawing:
PROPOSED ELEVATIONS
(GARDENER'S COTTAGE)

Client:
MR R HORNCastle

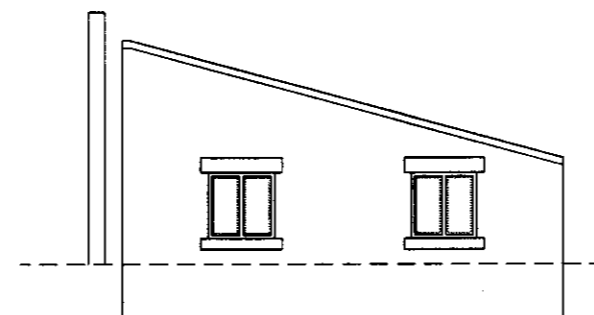
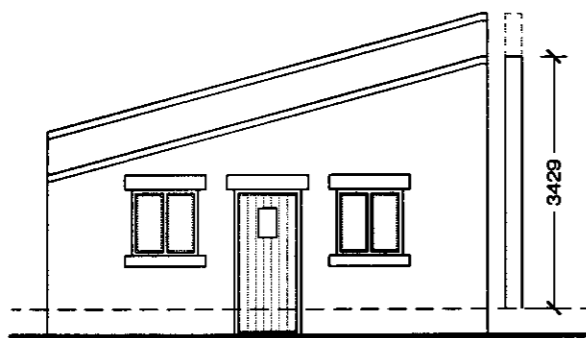
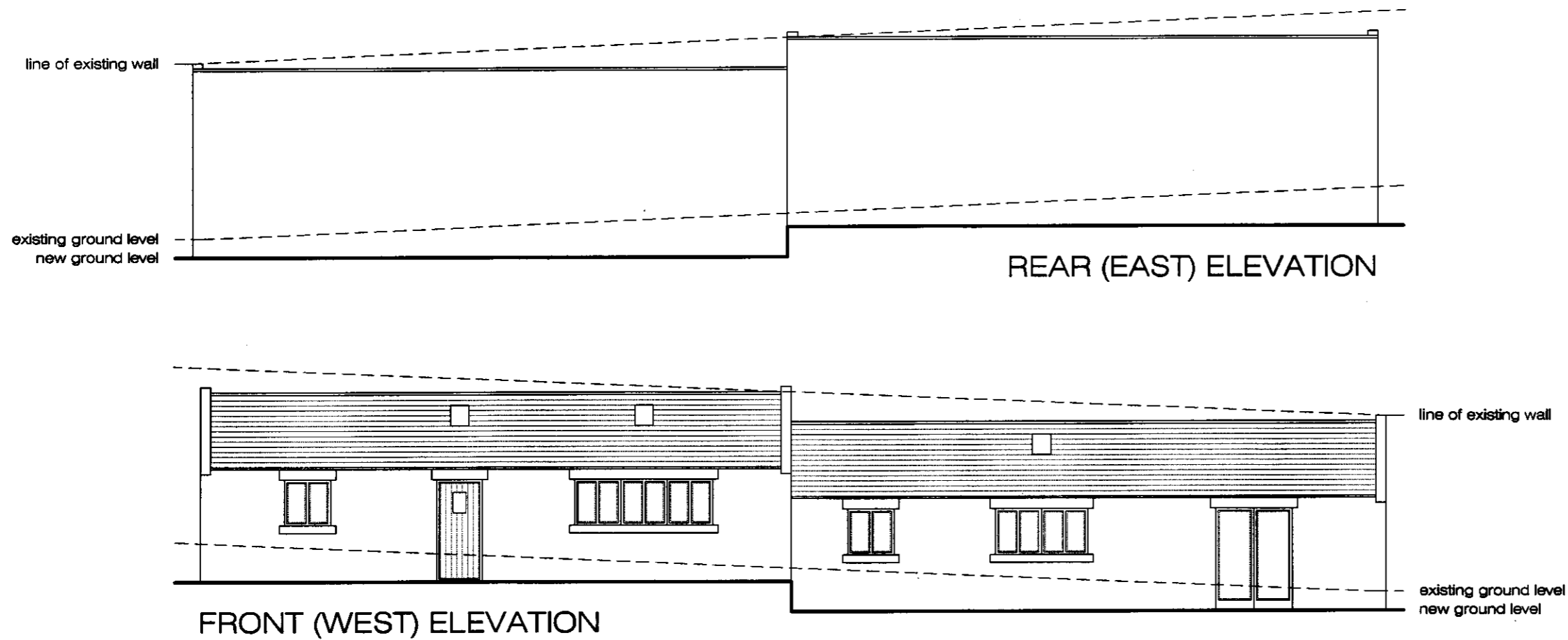
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NYM/07/005/041

Revisions:

Scale:
1:100 @ A3

Date:
JANUARY 2008

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SIDE (SOUTH) ELEVATION

SIDE (NORTH) ELEVATION

5 PROPOSED ELEVATIONS

Scale: 1:100

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Project:
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@ BEECH HILL, AISLABY,
NORTH YORKSHIRE

Drawing:
EXISTING SITE PLAN

Client:
MR R HORNCastle

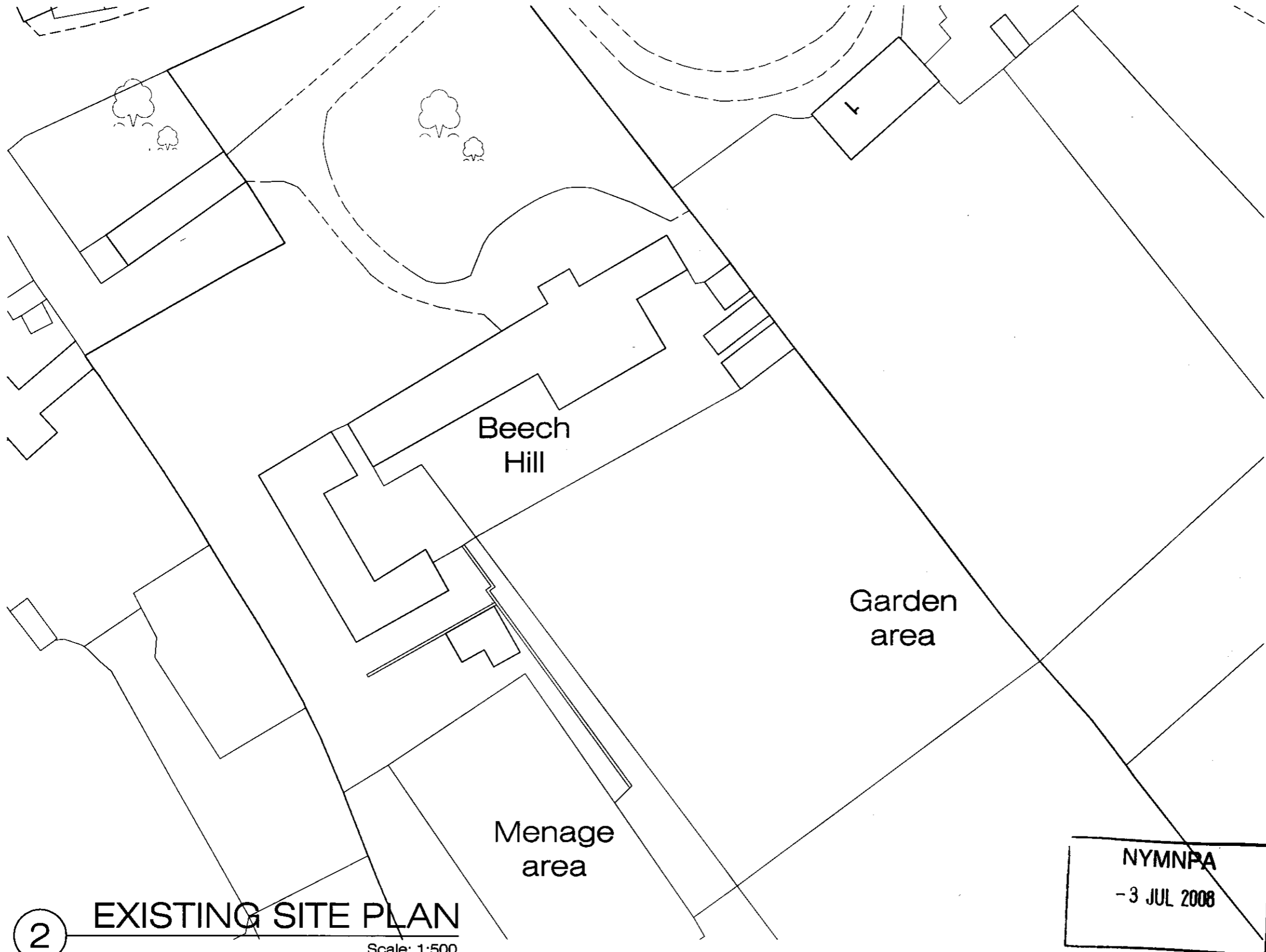
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Revisions:

Scale:
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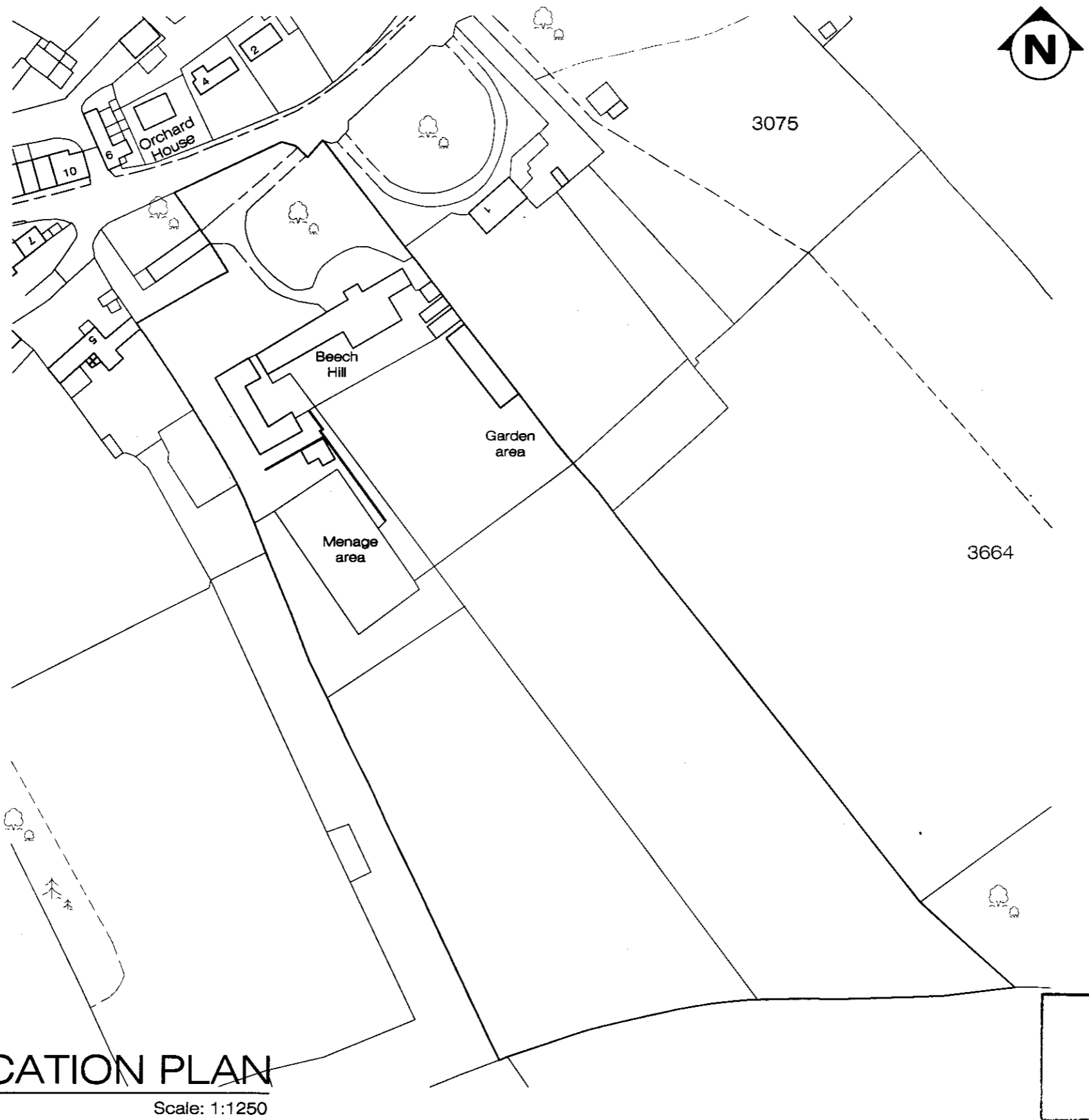
Date:
JULY 2007

Drawn By:
JLH



2 EXISTING SITE PLAN
Scale: 1:500

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Project:
TOURIST ACCOMMODATION
@ BEECH HILL, AISLABY,
NORTH YORKSHIRE

Drawing:
LOCATION PLAN

Client:
MR R HORNCastle

Drawing No:
NYM/07/005/011

Revisions:

Scale:
1:1250 @ A3

Date:
JULY 2007

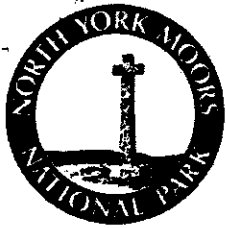
Drawn By:
JLH

1

LOCATION PLAN

Scale: 1:1250

NYMNP
- 3 JUL 2008



Grid ref NZ 86217, 08667

08/0524 Pt. 1

North York Moors National Park Authority
The Old Vicarage
Bondgate
Helmsley
York
YO62 5BP

Telephone: 01439 770657
Email: dc@northyorkmoors-npa.gov.uk
Website: www.moors.uk.net

Application for Planning Permission. Town and Country Planning Act 1990

Publication of planning applications on council web sites
Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.
If any other information that is provided as part of the application which falls within the definition of personal data under the Data Protection Act and is not to be published on the council's website, please contact the council's planning department.

1. Applicant Name, Address and Contact Details

Title: First name: Surname:

Company name:

Street address:

Town/City:
County:
Country:
Postcode:

Telephone number: Country Code: National Number: Extension Number:

Mobile number:

Fax number:

Email address:

Are you an agent acting on behalf of the applicant? Yes No

2. Agent Name, Address and Contact Details

Title: First Name: Surname:

Company name:

Street address:

Town/City:
County:
Country:
Postcode:

Telephone number: Country Code: National Number: Extension Number:

Mobile number:

Fax number:

Email address:

3. Description of the Proposal

Please describe the proposed development including any change of use:

Has the building, work or change of use already started? Yes No

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4. Site Address Details

Full postal address of the site (including full postcode where available)

Description:

House: 0 Suffix:

House name: Beech Hill

Street address: 3 Main Road

Aislaby

Town/City: WHITBY

County:

Postcode: YO21 1SW

Description of location or a grid reference
(must be completed if postcode is not known):

Easting: 486201

Northing: 508711

Proposed Tourist accommodation

NYM / 2008 / 0 5 2 4 / F L

5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title: Ms First name: Ailsa Surname: Manners

Reference:

Date (DD/MM/YYYY): 10/01/2008 (Must be pre-application submission)

Details of the pre-application advice received:

Discussions and site visit

6. Pedestrian and Vehicle Access, Roads and Rights of Way

- Is a new or altered vehicle access proposed to or from the public highway? Yes No
- Is a new or altered pedestrian access proposed to or from the public highway? Yes No
- Are there any new public roads to be provided within the site? Yes No
- Are there any new public rights of way to be provided within or adjacent to the site? Yes No
- Do the proposals require any diversions/extinguishments and/or creation of rights of way? Yes No

7. Waste Storage and Collection

- Do the plans incorporate areas to store and aid the collection of waste? Yes No
- Have arrangements been made for the separate storage and collection of recyclable waste? Yes No

8. Neighbour and Community Consultation

Have you consulted your neighbours or the local community about the proposal? Yes No

9. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the council? Yes No

10. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

Walls - description:

Description of *existing* materials and finishes:

N/A

Description of *proposed* materials and finishes:

Stone

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10. Materials (continued)

Roof - description:

Description of *existing* materials and finishes:

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N/A

Description of *proposed* materials and finishes:

Tile

Windows - description:

Description of *existing* materials and finishes:

N/A

Description of *proposed* materials and finishes:

Hardwood timber

Doors - description:

Description of *existing* materials and finishes:

N/A

Description of *proposed* materials and finishes:

Hardwood timber

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement? Yes No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

Proposed Ground Plan - NYM/07/005/31
 Proposed Elevations - NYM/07/005/41
 Planning, design & access statement - NYM/07/005/PDAS

11. Vehicle Parking

Please provide information on the existing and proposed number of on-site parking spaces:

Type of vehicle	Existing number of spaces	Total proposed (including spaces retained)	Difference in spaces
Cars	4	4	0

12. Foul Sewage

Please state how foul sewage is to be disposed of:

Mains sewer Package treatment plant Unknown
 Septic tank Cess pit

Other

Are you proposing to connect to the existing drainage system? Yes No Unknown

13. Assessment of Flood Risk

Is the site within an area at risk of flooding? Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary. Yes No

If Yes, you will need to submit an appropriate flood risk assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)? Yes No

Will the proposal increase the flood risk elsewhere? Yes No

How will surface water be disposed of?

Sustainable drainage system Main sewer Pond/lake
 Soakaway Existing watercourse

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14. Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, OR on land adjacent to or near the application site:

a) Protected and priority species

Yes, on the development site Yes, on land adjacent to or near the proposed development No

b) Designated sites, important habitats or other biodiversity features

Yes, on the development site Yes, on land adjacent to or near the proposed development No

c) Features of geological conservation importance

Yes, on the development site Yes, on land adjacent to or near the proposed development No

15. Existing Use

Please describe the current use of the site:

Residential Garden

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Is the site currently vacant? Yes No

Does the proposal involve any of the following:

Land which is known to be contaminated? Yes No

Land where contamination is suspected for all or part of the site? Yes No

A proposed use that would be particularly vulnerable to the presence of contamination? Yes No

Application advice

If you have said Yes to any of the above, you will need to submit an appropriate contamination assessment.

16. Trees and Hedges

Are there trees or hedges on the proposed development site? Yes No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character? Yes No

If Yes to either or both of the above, you will need to provide a full Tree Survey with accompanying plan before your application can be determined. Your Local Planning Authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to construction - Recommendations'

17. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or waste? Yes No

18. Residential Units

Does your proposal include the gain or loss of residential units? Yes No

19. All Types of Development: Non-residential Floorspace

Does your proposal involve the loss or gain of non-residential floorspace? Yes No

Use class/type of use	Existing gross internal floorspace (square metres)	Gross internal floorspace to be lost by change of use or demolition (square metres)	Total gross internal floorspace proposed (including changes of use) (square metres)	Net additional gross internal floorspace following development (square metres)
OTHER Please specify	0.0	0.0	140.0	140.0
Total	0.0	0.0	140.0	140.0

For hotels, residential institutions and hostels, please additionally indicate the loss or gain of rooms:

Use Class	Types of use	Existing rooms to be lost by change of use or demolition	Total rooms proposed (including changes of use)	Net additional rooms

20. Employment

If known, please complete the following information regarding employees:

	Full-time	Part-time	Equivalent number of full-time
Existing employees	0	0	0
Proposed employees	0	0	0

21. Hours of Opening

If known, please state the hours of opening for each non-residential use proposed:

Use	Monday to Friday		Saturday		Sunday and Bank Holidays		Not Known
	Start Time	End Time	Start Time	End Time	Start Time	End Time	

22. Site Area

What is the site area? 140 sq.metres

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23. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

N/A

Is the proposal for a waste management development? Yes No

24. Hazardous Substances

Is any hazardous waste involved in the proposal? Yes No

25. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

The agent The applicant Other person

26. Certificates (Certificate A)

Certificate of Ownership - Certificate A

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Title: First name: Surname:

Person role: Declaration date: Declaration made

26. Certificates (Agricultural Holdings Certificate)

Agricultural Holding Certificate

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

Agricultural Land Declaration - You Must Select Either A or B

(A) None of the land to which the application relates is, or is part of an agricultural holding.

(B) I have/The applicant has given the requisite notice to every person other than myself/the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Title: First Name: Surname:

Person role: Declaration date: Declaration Made

27. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Date

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PLANNING, DESIGN & ACCESS STATEMENT

Client: Mr R Horncastle
Appeal Site: Beech Hill, Aislaby
Proposal: Tourist Accommodation
Our Ref: NYM/07/005/PDAS
Date: June 2008

Preliminary Matters

1. This statement supports an application for tourist accommodation alongside the eastern boundary wall in the garden area at Beech Hill.
2. Pre-application discussions have been held with Ailsa Manners, Development Control, (10/01/08). The form of development is considered acceptable in principle. The design reflects the advice received by the officers.
3. This statement should be read in conjunction with the attached drawings.

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The Site and its Surroundings

4. Beech Hill is a substantial building, set in its own grounds, within the village of Aislaby. It forms part of an informal group of mature properties comprising Park Hall Cottages, Park Lodge, the converted former coach house of Aislaby Hall and Aislaby Hall itself.
5. Beech Hill already provides holiday accommodation which has proved very successful. The applicant is seeking to expand this business by adding further accommodation within the curtilage of Beech Hill.
6. The village location is ideally suited for tourist accommodation. Aislaby is an attractive village with a good network of walking routes in and around the surrounding countryside. Beech Hill itself is an attractive and imposing building with magnificent views to the south.

Proposal

7. This proposal seeks to develop part of the garden space for tourist accommodation. This comprises a modest single storey building situated alongside the eastern boundary wall.
8. The proposed accommodation would provide 2no self-catering units, each consisting of lounge, kitchen/diner, bathroom and 2no bedrooms.
9. The building is of a simple lean-to design, to be constructed of reclaimed dressed stone, with hardwood timber windows, and a clay pantile roof, to complement the main property. Please refer to Drawing Nos. NYM/07/005/31 and NYM/07/005/41.

10. The design reflects a 'gardener's cottage' approach. It is a form of development that might be expected to be found in the grounds of a large house such as Beech Hill. This type of cottage would traditionally have horizontal windows reflecting the gardening role and the need to maximise light into the building. The overall design approach would have been functional and simple, and this is also reflected in the design.
11. The building would be fully accessible, providing level access with all facilities at ground level. Additionally, the interior design has allowed for the accommodation to be suitable for use - or adaptation for use - for disabled users, in accordance with the Council's Visitability Guidelines and Lifetime Homes Guidelines.

Planning Policies

12. The operative development plan for the area includes the North Yorkshire County Structure Plan (1995) and the North Yorkshire Moors National Park Local Plan (2003) (LP). The Local Development Framework Core Strategy and Development Policies Consultation Draft (LDF) (2007) is the review of the local plan.
13. LP policy H1 includes Aislaby within the list of 84 "local need" settlements, which permits small scale new housing "on infill plots consisting of small gaps in an otherwise continuous built up frontage. LP policy H11 permits the subdivision of residential curtilages to form infill building plots. The boundaries of settlements are not defined and therefore whether any particular site is within the settlement is to some extent a matter of judgement and regard to physical features on the ground.
14. LP policy TM 3: *New build self catering accommodation within settlements* states that proposals for the development of new build self-catering accommodation units would be permitted within settlements listed under policy H1 where it accords to provisions of LP policy GP3. LP Policy TM4: *Self catering accommodation outside settlements (chalets, camping and caravan sites)* is a criteria based policy that provides for self-catering accommodation provided that, amongst other things, the proposed scheme would not have an unacceptable impact on the character and appearance of the locality; is within an established area of woodland which screens the site from any long distance views and the proposed scheme can be satisfactorily accessed from the road network.
15. LP policy GP3 provides a set of criteria against which all development proposals should be assessed. This includes amongst other things the affects of the proposal on the character of the locality and on highway safety.
16. LP policy BE1 applies a statutory duty to all planning authorities under which all development in conservation areas must preserve and enhance the character or appearance of the area. Aislaby is included in a list of designated conservation areas.
17. National Advice on tourist accommodation is contained within PPS 7: *Sustainable Development in Rural Areas* and PPG 21: *Tourism* (1992). PPS 7 makes it clear that the expectation is that most new build tourist accommodation should be located in, or adjacent to, existing towns and villages. With regard to tourist development within National Parks, PPG 21 advises that whilst it is important that sufficient accommodation of a suitable range of types is provided, care needs to be taken over the number, scale and location to ensure that particular qualities of the area are conserved.

18. Under the emerging development policies of the North Yorkshire Moors LDF policy DP 45: *New tourism and recreation facilities* states that the proposals for new tourist facilities and the expansion of existing provision will be permitted amongst other things where there is adequate access from the existing network and it will not detract from the special qualities of the National Park. The policy seeks to provide opportunities for the enjoyment and understanding of the special qualities of the area. The aim is to provide a wider range of tourist accommodation. It goes onto say that a proposal would only be permitted where the scale and design of the proposed development will not adversely impact on the character of the local area. The proposal should be located in a sustainable location and development should not result in a generation of increased levels of traffic.
19. With regards to chalets, LDF policy DP 48: *Chalets and camping sites* states inter alia that chalets would be permitted where amongst other things the site is located within an area of woodland for screening, it is physically and functionally linked to an existing business and the scale and development would not adversely affect the special quality of the National Park.

Issues

20. The main issues seem to be:-
 - a. the effect on the living conditions of the occupiers of neighbouring properties
 - b. the effect on the character and appearance of the conservation area

Character and appearance of the conservation area

21. The building is of a design and scale which one would expect to find in the grounds of a large house. Discussions with Ailsa Manners, Development Control, have indicated that this form of development, in terms of use, scale and design, would be acceptable in this location.
22. The grounds are extensive and very well screened, and the proposal would be unobtrusive. The height of the building (3.4m) has been contained to reflect that of the wall on the eastern boundary.
23. We believe that there would be little or no impact upon the character and appearance of the site at Beech Hill or the surrounding countryside.

The effect on the living conditions of the neighbouring properties

16. The garden area bounded to the east by a high boundary wall is located within a cultivated woodland setting. Insofar as it is clearly "previously-developed" land within the curtilage of the existing house that runs an existing business providing holiday cottages, there could be no effect on the neighbouring property.
17. The proposed building is situated around 13m from the main house. There are no windows/openings to the elevation of the facing gable. Additionally, the proposed accommodation lies much lower than the main house.
18. The main house is already used for holiday accommodation. The proposal would be ancillary to this operation.

19. We believe there would be no material effect on the living conditions of the neighbouring properties.

Summary

20. The use of the site for holiday accommodation is appropriate within the village of Aislaby and the site at Beech Hill. The development would have little or no impact upon the character and appearance of the countryside, or affect the living conditions of occupiers of neighbouring properties. We believe the proposal is in accordance with the relevant local plan policies and ask that it is approved.

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