

TREES & SHRUBS:

1. Elder : bush. 1.5 m high to be removed.
2. Flowering currant : bush. 1.5m. to be retained.
3. Willow: tree : 6m high x 5m spread to be retained.
4. Willow: tree : " " " " " " " " " " " "
- 5: Flowering Currant. 5 no. shrubs. 1.4m high to be removed.

NYMNPA

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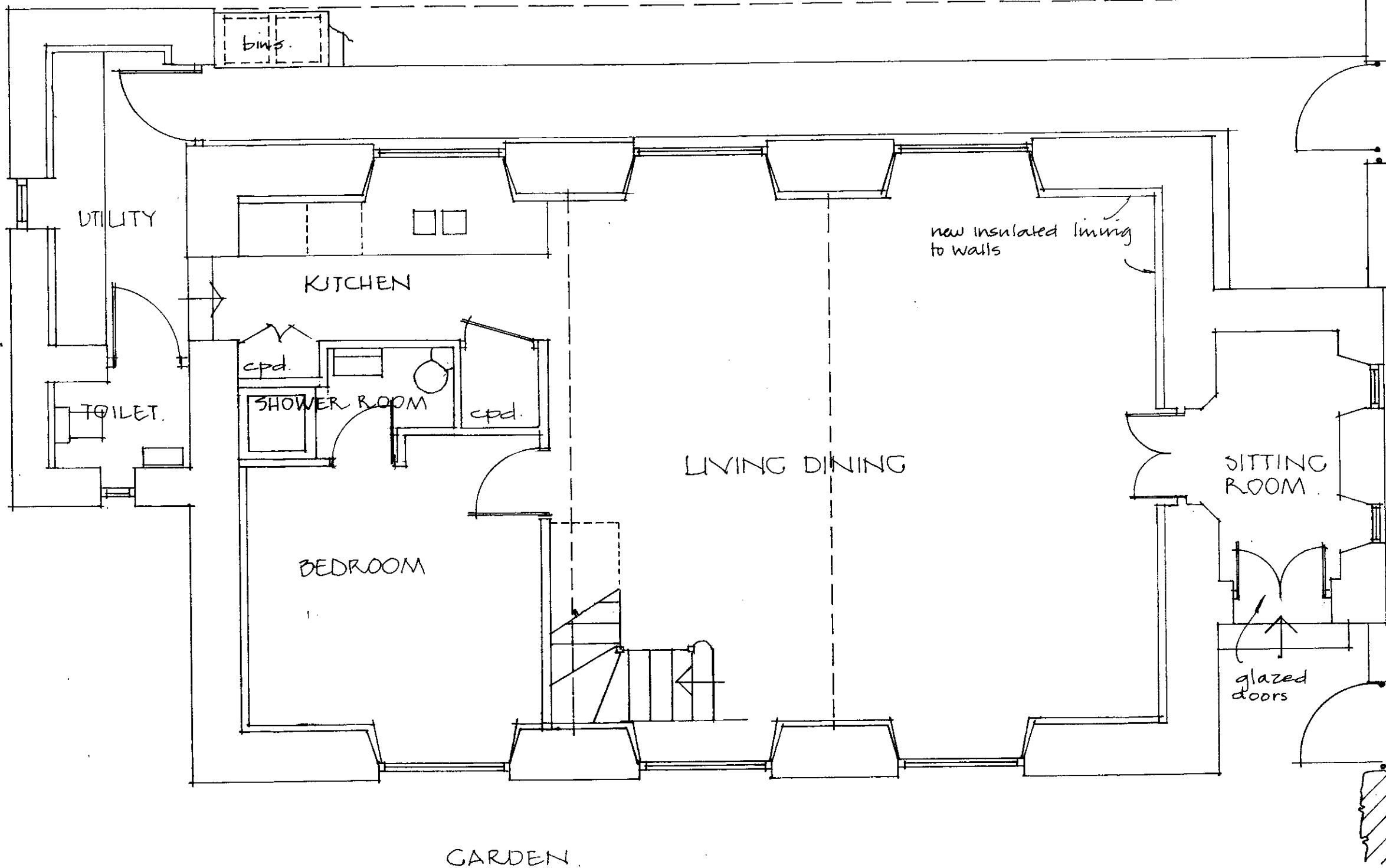
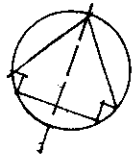
dra to 08/399/1

**THE FORMER METHODIST CHAPEL,
STAINTONDALE, SCARBOROUGH, YO30 OEL**

Proposed change of use to holiday
accommodation

June 2008

Site plan as proposed at 1:200 scale

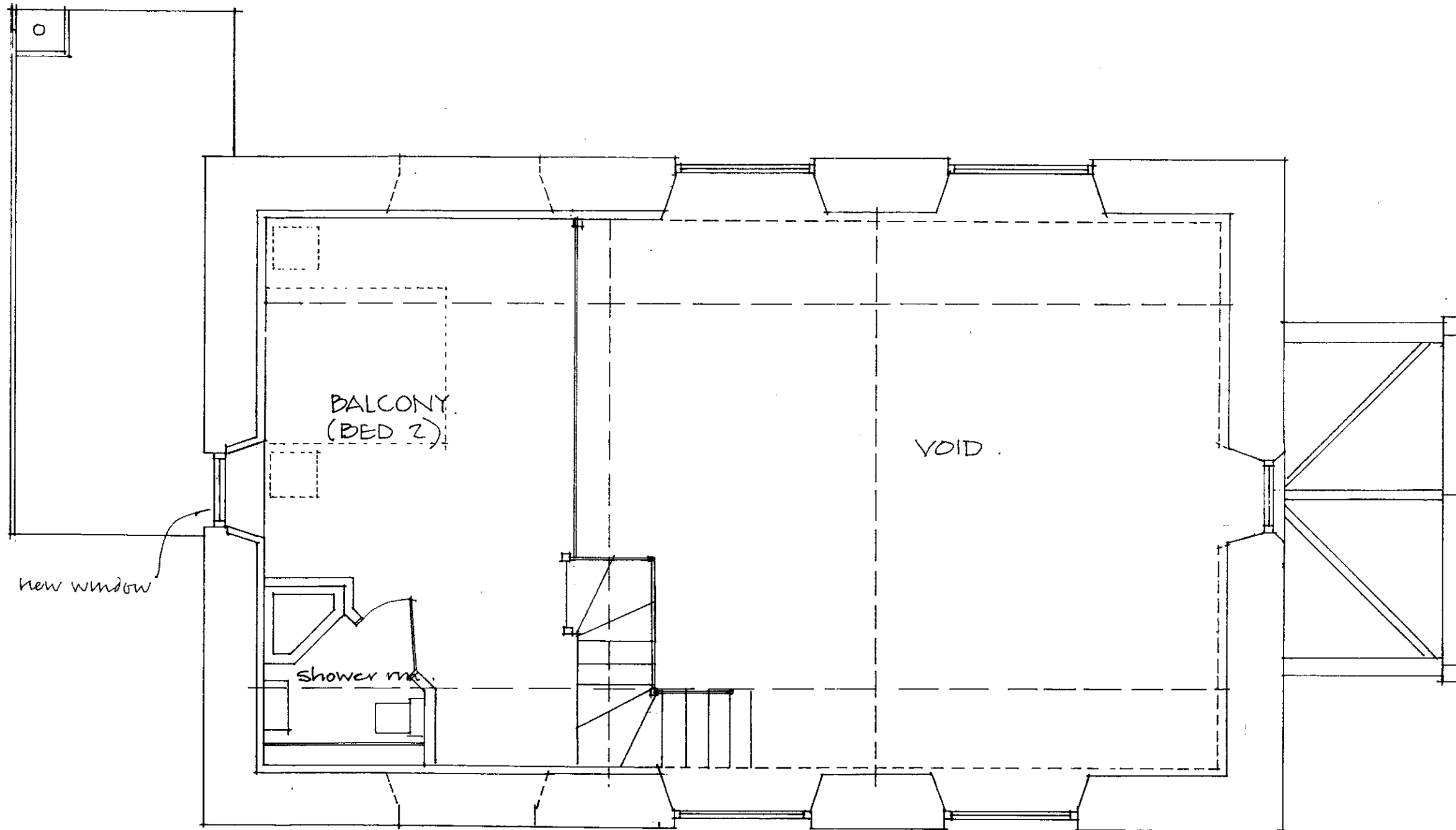
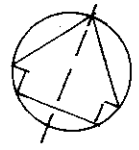


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drw no 08/399/4.

**THE FORMER METHODIST CHAPEL,
STAINTONDALE, SCARBOROUGH, YO30 OEL**

Proposed change of use to holiday accommodation June 2008
Ground floor plan as proposed at 1:50 scale

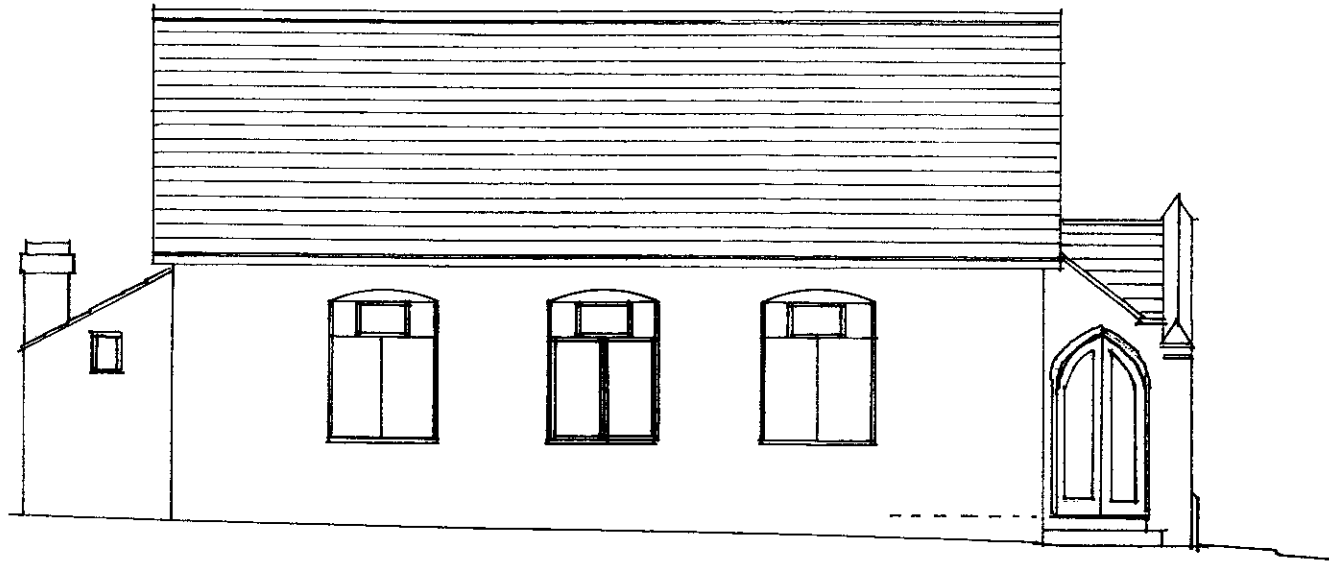


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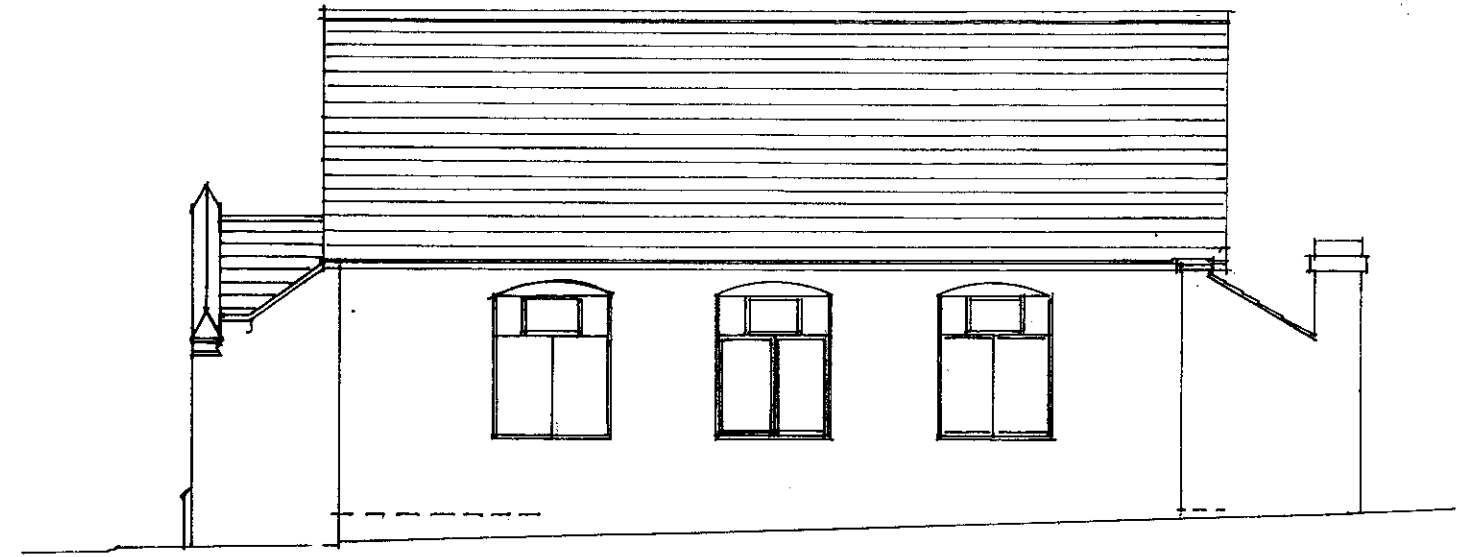
drg no. 08/399/5.

**THE FORMER METHODIST CHAPEL,
STAINTONDALE, SCARBOROUGH, YO30 OEL**

Proposed change of use to holiday
accommodation June 2008
Balcony level plan as proposed at 1:50 scale



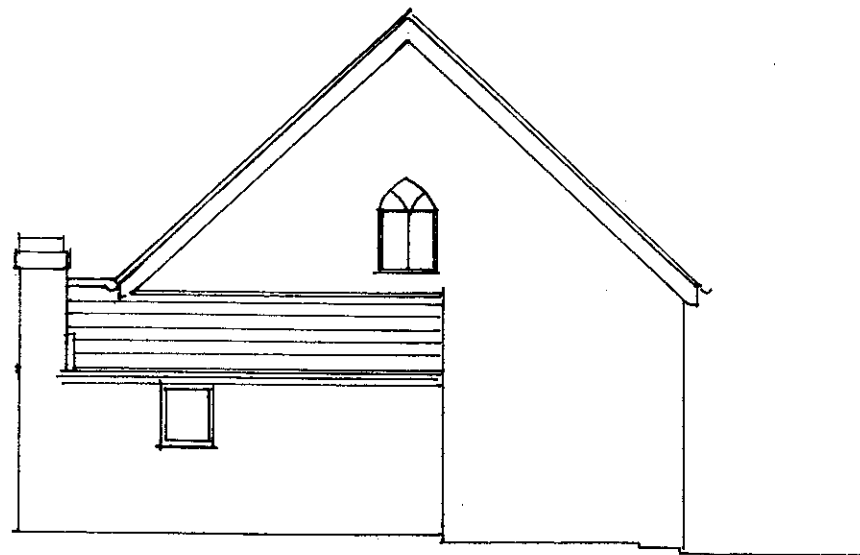
SOUTH EAST ELEVATION



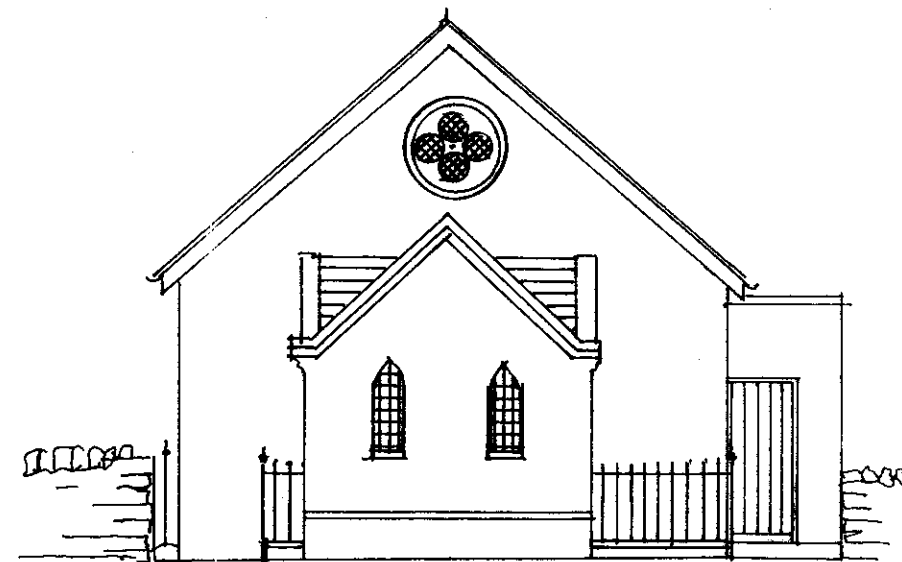
NORTH WEST ELEVATION

MATERIALS:

ROOF: NATURAL WELSH SLATES.
WALLS: ASHLAR SANDSTONE (COURSED)
JOINERY: PAINTED TIMBER.



SOUTH WEST ELEVATION



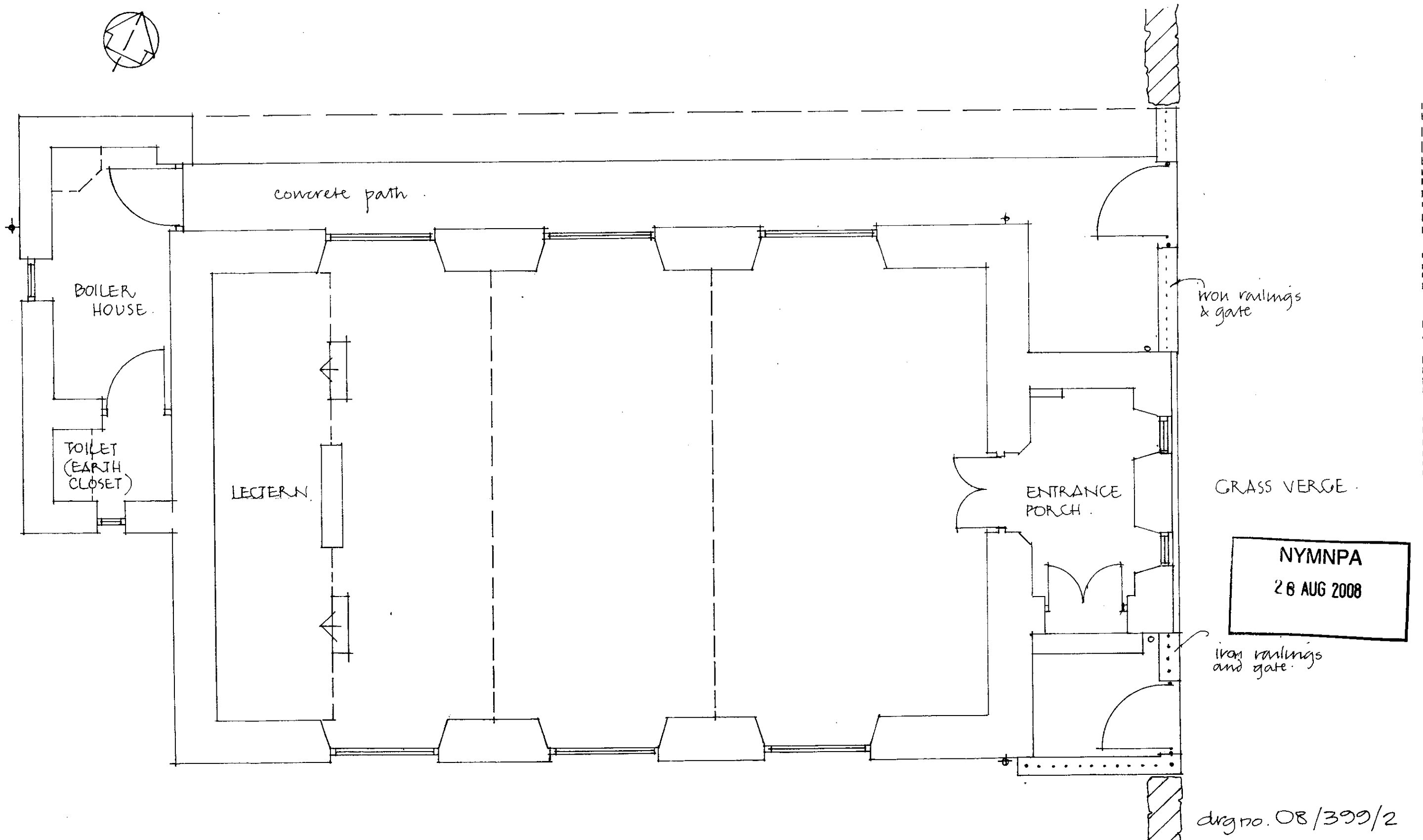
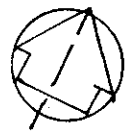
NORTH EAST ELEVATION

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dra. no. 08/399/6.

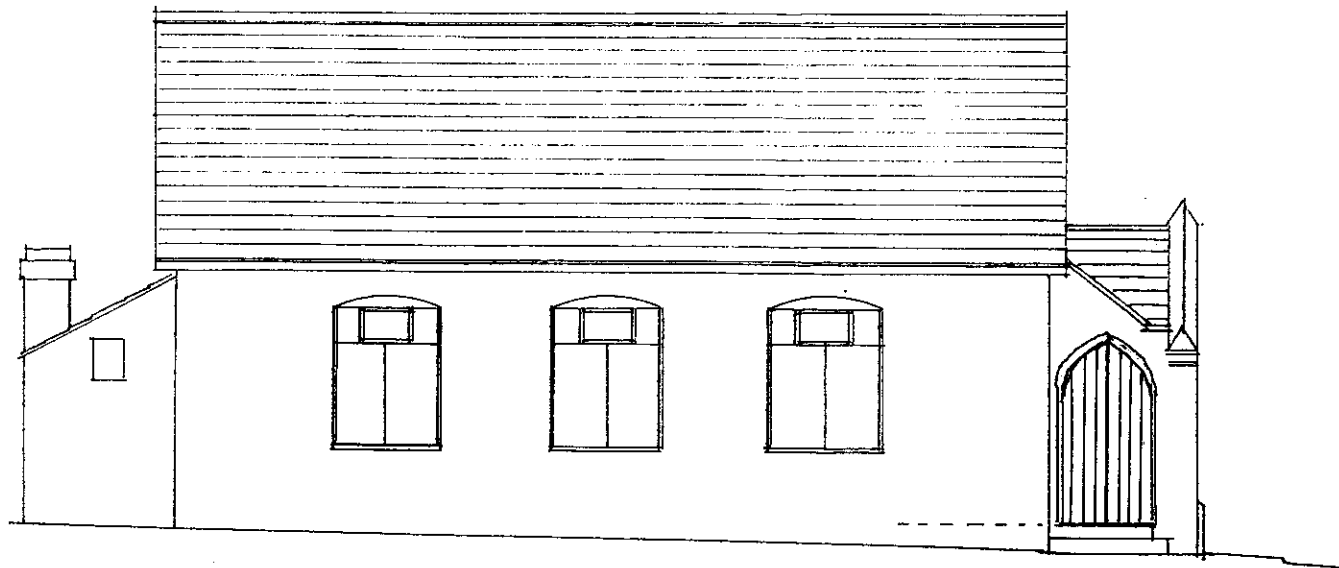
**THE FORMER METHODIST CHAPEL,
STAINTONDALE, SCARBOROUGH, YO30 OEL**

Proposed change of use to holiday
accommodation
Elevations as proposed at 1:100 scale June 2008

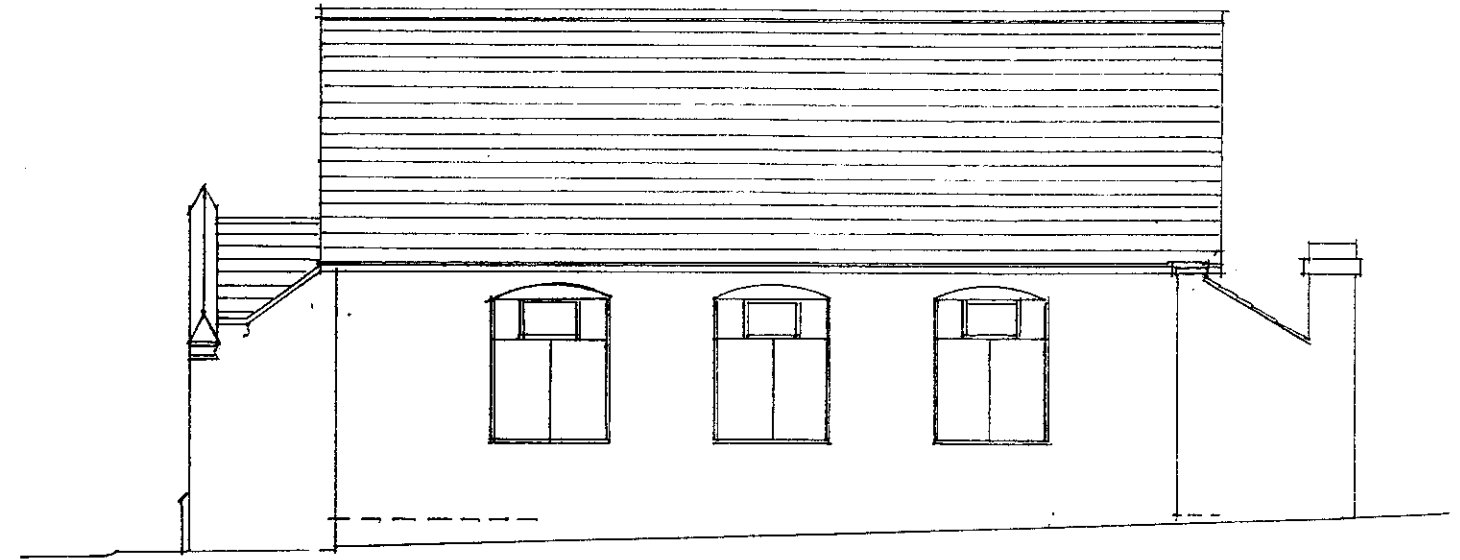


**THE FORMER METHODIST CHAPEL,
 STAINTONDALE, SCARBOROUGH, YO30 OEL**

Proposed change of use to holiday
 accommodation June 2008
 Plan as existing at 1:50 scale



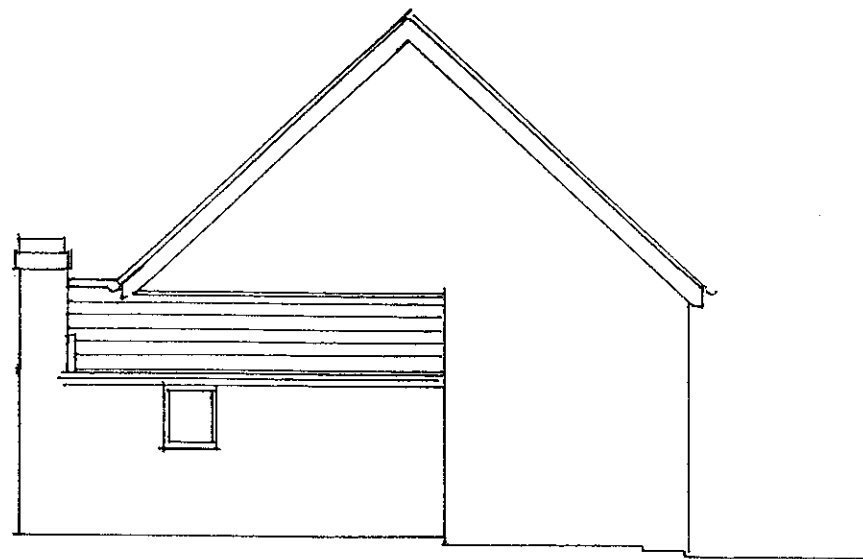
SOUTH EAST ELEVATION



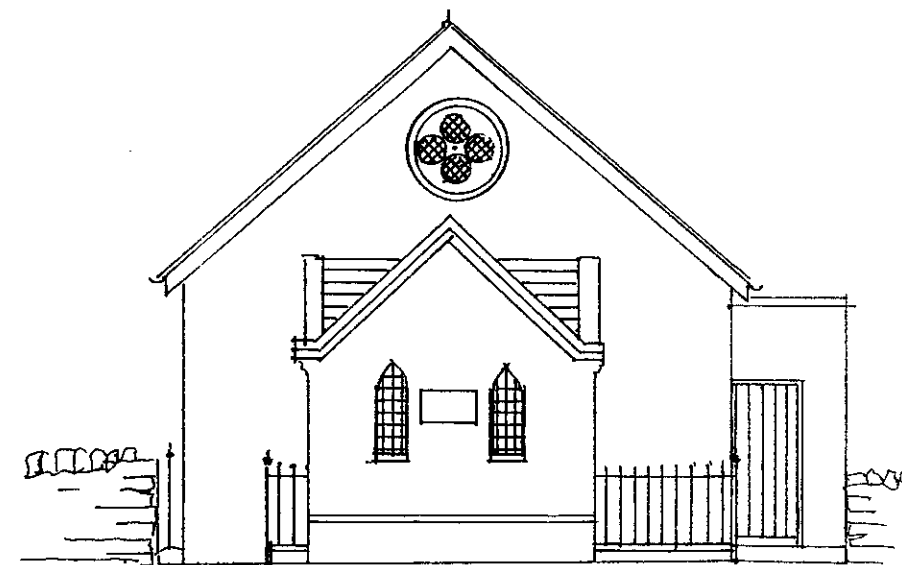
NORTH WEST ELEVATION

MATERIALS:

ROOF: NATURAL WELSH SLATES.
WALLS: ASHLAR SANDSTONE (COURSED)
JOINERY: PAINTED TIMBER.



SOUTH WEST ELEVATION



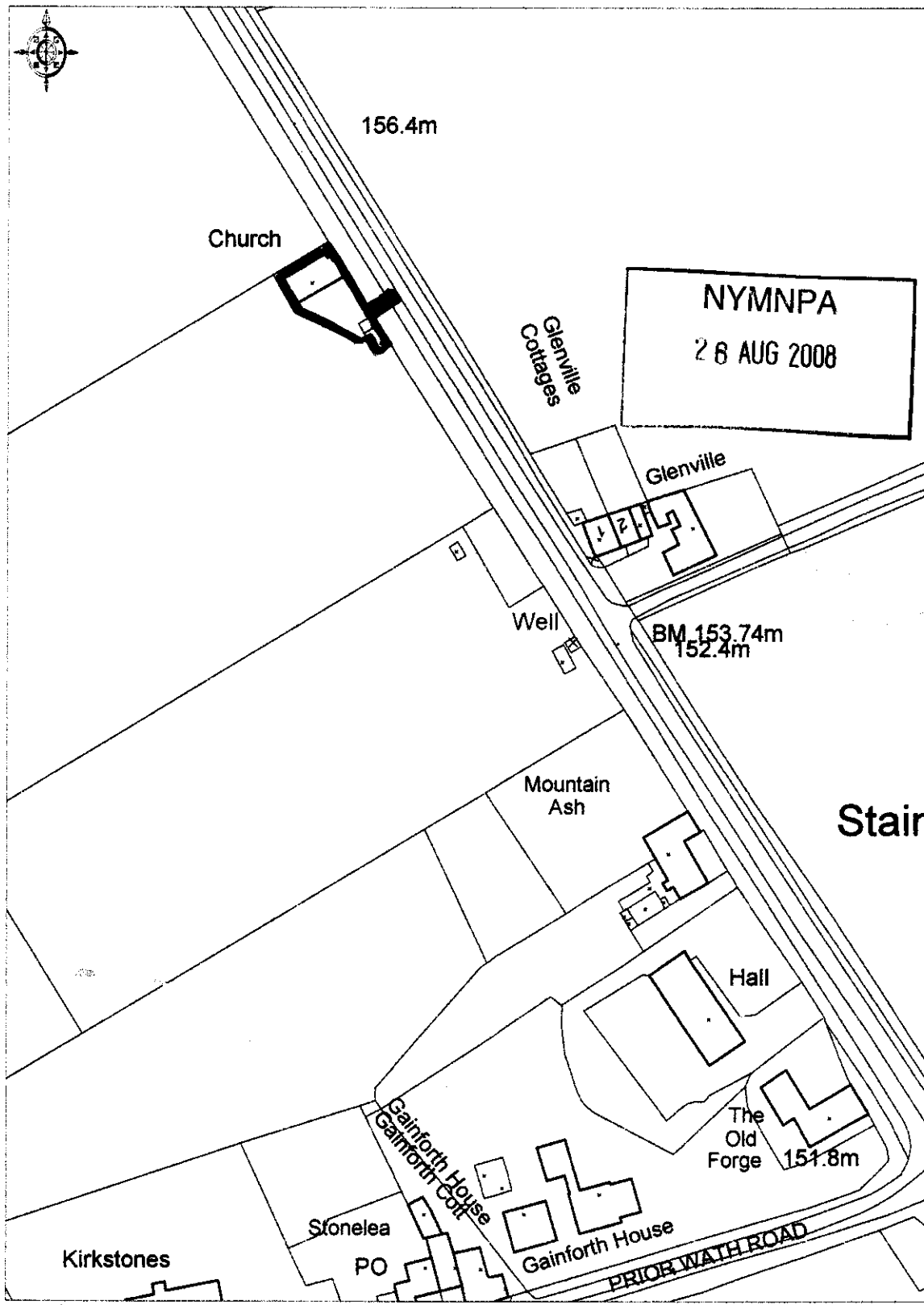
NORTH EAST ELEVATION

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26 AUG 2008

dra no. 08/399/3.

**THE FORMER METHODIST CHAPEL,
STAINTONDALE, SCARBOROUGH, YO30 OEL**

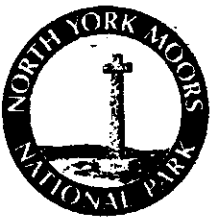
Proposed change of use to holiday
accommodation
Elevations as existing at 1:100 scale June 2008



Ordnance Survey

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This map was created with Promap



Grid SE 98960, 98598
NYM / 2008 / 0 6 6 2 / FL

08/662
PT1

Application for Planning Permission. Town and Country Planning Act 1990

Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

1. Applicant Name and Address

Title: **REVD.** First name: **MARK**

Last name: **HAYNES**

Company (optional): **METHODIST CHURCH SCARBOROUGH CIREUIT**

Unit: House number: **59.** House suffix:

House name:

Address 1: **EDITH AVENUE,**

Address 2: **NEWBY**

Address 3:

Town: **SCARBOROUGH. NYMNP**

County:

Country:

Postcode: **YO12 5RA**

2. Agent Name and Address

Title: **MRS** First name: **MARGARET**

Last name: **MACKINDER**

Company (optional): **CUNDALLS**

Unit: House number: **15/17** House suffix:

House name:

Address 1: **MARKET PLACE,**

Address 2:

Address 3:

Town: **MALTON**

County:

Country:

Postcode: **YO17 7LP.**

3. Description of Proposed Works

Please describe the proposed works:

**CHANGE - OF - USE OF FORMER CHAPEL TO
FORM HOLIDAY ACCOMMODATION.**

Has building or works already been carried out or use of land already started? Yes No

If Yes, please state the date when building works or use were started (DD/MM/YYYY): (date must be pre-application submission)

Have the works been completed or change of use already occurred? Yes No

If Yes, please state when the works were completed or use occurred (DD/MM/YYYY): (date must be pre-application submission)

4. Site Address Details

Please provide the full postal address of the application site.

Unit:	<input type="text"/>	House number:	<input type="text"/>	House suffix:	<input type="text"/>
House name:	THE METHODIST CHURCH .				
Address 1:	STAINTON DALE ,				
Address 2:	<input type="text"/>				
Address 3:	<input type="text"/>				
Town:	SCARBOROUGH .				
County:	<input type="text"/>				
Postcode (optional):	YO13 OEL .				
Description of location or a grid reference. (must be completed if postcode is not known):					
Easting:	<input type="text"/>	Northing:	<input type="text"/>		
Description:					
<input type="text"/>					

5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

NYM / 2008 / 0662 FL

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much as possible:

Officer name:
MRS. HILARY WAINWRIGHT .

Reference:
DEVELOPMENT CONTROL OFFICER

Date (DD/MM/YYYY):
(must be pre-application submission) JUNE 2008 .

Details of pre-application advice received?
ADVICE ON INFORMATION REQUIRED FOR APPLICATION .

6. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No Unknown

Is a new or altered pedestrian access proposed to or from the public highway? Yes No Unknown

Are there any new public roads to be provided within the site? Yes No Unknown

Are there any new public rights of way to be provided within or adjacent to the site? Yes No Unknown

Do the proposals require any diversions /extinguishments and/or creation of rights of way? Yes No Unknown

If you answered Yes to any of the above questions, please show details on your plans/drawings and state the reference of the plan (s)/drawings(s)

drg. no 08/399/1.

7. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste? Yes No Unknown

If Yes, please provide details:
siting of wheelic bins shown on 1:50 scale plan

Have arrangements been made for the separate storage and collection of recyclable waste? Yes No Unknown

If Yes, please provide details:
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8. Neighbour and Community Consultation

Have you consulted your neighbours or the local community about the proposal? Yes No

If Yes please provide details:

9. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the Council? Yes No

If Yes, please provide details:

10. Materials

If applicable, please state what materials are to be used externally. Include type, colour and name for each material:

	Existing (where applicable)	Proposed	Not applicable	Don't Know	Drawing references if applicable
		NYM ; 2008 / 0 6 6 2 / F L			
Walls	Natural stone	natural stone	<input type="checkbox"/>	<input type="checkbox"/>	
Roof	natural slate	natural slate	<input type="checkbox"/>	<input type="checkbox"/>	
Windows	timber	timber as existing	<input type="checkbox"/>	<input type="checkbox"/>	
Doors	timber.	timber as existing	<input type="checkbox"/>	<input type="checkbox"/>	
Boundary treatments (e.g. fences, walls)	drystone walling.	as existing	<input type="checkbox"/>	<input type="checkbox"/>	
Vehicle access and hard-standing	—	gravel stone finish	<input type="checkbox"/>	<input type="checkbox"/>	
Lighting	—	NYMNPA 26 AUG 2008	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Others (please specify)	—		<input type="checkbox"/>	<input type="checkbox"/>	

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement? Yes No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

drg nos 08/399/1, 4, 5 & 6.
Planning and Access statement dated 7 August 2008.

11. Vehicle Parking

Please provide information on the existing and proposed number of on-site parking spaces:

Type of Vehicle	Total Existing	Total proposed (including spaces retained)	Difference in spaces
Cars	—	2	2
Light goods vehicles/ public carrier vehicles	—	—	—
Motorcycles	—	—	—
Disability spaces	—	—	—
Cycle spaces	—	—	—
Other (e.g. Bus)	—	—	—
Other (e.g. Bus)	—	—	—

12. Foul Sewage

Please state how foul sewage is to be disposed of:

- Mains sewer Cess pit
 Septic tank Other
 Package treatment plant Unknown

Are you proposing to connect to the existing drainage system? Yes No

If Yes, please include the details of the existing system on the application drawings and state references for the plan(s)/drawing(s):

13. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.)

NYM / 2008 / 0662 / F Yes No

If Yes, you will need to submit a Flood Risk Assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)? Yes No

Will the proposal increase the flood risk elsewhere? Yes No Unknown

How will surface water be disposed of?

- Sustainable drainage system Existing watercourse
 Soakaway Pond/lake
 Main sewer Unknown

14. Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

a) Protected and priority species:

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

b) Designated sites, important habitats or other biodiversity features:

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

c) Features of geological conservation importance:

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

15. Existing Use

Please describe the current use of the site:

VACANT

Is the site currently vacant? Yes No

If Yes, please describe the last use of the site:

METHODIST CHAPEL

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When did this use end (if known)?
DD/MM/YYYY
(date where known may be approximate)

. 2007

Does the proposal involve any of the following:

Land which is known to be contaminated? Yes No

Land where contamination is suspected for all or part of the site? Yes No

A proposed use that would be particularly vulnerable to the presence of contamination? Yes No

If you have answered Yes to any of the above, you will need to submit an appropriate contamination assessment.

16. Trees and Hedges

Are there trees or hedges on the proposed development site? Yes No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character? Yes No

If Yes to either or both of the above, you will need to provide a full Tree Survey, with accompanying plan before your application can be determined. Your Local Planning Authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to construction - Recommendations'.

17. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or waste? Yes No

If Yes, please describe the nature, volume and means of disposal of trade effluents or waste

18. Residential Units (Including Conversion)

Does your proposal include the gain, loss or change of use of residential units? Yes No
 If Yes please complete details of the changes in the tables below:

NYM / 2008 / 0662 / FL
Existing Housing

Proposed Housing							
Market Housing	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Market Housing	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Social Rented	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Social Rented	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Intermediate	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Intermediate	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

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Key worker	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Key worker	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Total existing residential units
 (A+B+C+D) =

Total proposed residential units
 (E+F+G+H) =

Total net gain / loss of residential units

19. All types of Development: Non-residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace? Yes No

If you have answered Yes to the question above please add details in the following table:

Use class/type of use	Not applicable	Existing gross internal floorspace (square metres)	Gross internal floorspace to be lost by change of use or demolition (square metres)	Total gross internal floorspace proposed (including change of use)(square metres)	Net additional gross internal floorspace following development (square metres)
A1	<input type="checkbox"/>				
Shops	<input type="checkbox"/>				
Net tradable area:	<input type="checkbox"/>				
A2	<input type="checkbox"/>				
Financial and professional services	<input type="checkbox"/>				
A3	<input type="checkbox"/>				
Restaurants and cafes	<input type="checkbox"/>				
A4	<input type="checkbox"/>				
Drinking establishments	<input type="checkbox"/>				
A5	<input type="checkbox"/>				
Hot food takeaways	<input type="checkbox"/>				
B1 (a)	<input type="checkbox"/>				
Office (other than A2)	<input type="checkbox"/>				
B1 (b)	<input type="checkbox"/>				
Research and development	<input type="checkbox"/>				
B1 (c)	<input type="checkbox"/>				
Light industrial	<input type="checkbox"/>				
B2	<input type="checkbox"/>				
General industrial	<input type="checkbox"/>				
B8	<input type="checkbox"/>				
Storage or distribution	<input type="checkbox"/>				
C1	<input type="checkbox"/>				
Hotels and halls of residence	<input type="checkbox"/>				
C2	<input type="checkbox"/>				
Residential institutions	<input type="checkbox"/>				
D1	<input type="checkbox"/>				
Non-residential institutions	<input type="checkbox"/>				
D2	<input checked="" type="checkbox"/>	—	—	92.5	92.5
Assembly and leisure	<input checked="" type="checkbox"/>				
OTHER	<input type="checkbox"/>				
Please specify	<input type="checkbox"/>				
Total					

NYM, 2008 / 0662 / FL

In addition, for hotels, residential institutions and hostels, please additionally indicate the loss or gain of rooms

Use class	Type of use	Not applicable	Existing rooms to be lost by change of use or demolition	Total rooms proposed (including charges of use)	Net additional rooms
C1	Hotels	<input type="checkbox"/>			
C2	Residential Institutions	<input type="checkbox"/>			
Other	Hostels	<input type="checkbox"/>			

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20. Employment

Please complete the following information regarding employees:

	Full-time	Part-time	Total full-time equivalent	Not known
Existing employees				N/A
Proposed employees				N/A.

21. Hours of Opening

Please state the hours of opening for each non-residential use proposed:

Use	Monday to Friday	Saturday	Sunday and Bank Holidays	Not known

22. Site Area

Please state the site area in hectares (ha)

23. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

NYM / 2008 / 0 6 6 2 / F L

Is the proposal a waste management development? Yes No

If the answer is Yes, Please complete the following table:

	Not applicable	The total capacity of the void in cubic metres, including engineering surcharge and making no allowance for cover or restoration material (or tonnes if solid waste or litres if liquid waste)	Please provide the maximum annual operational throughput of the following waste streams:
Inert landfill	<input type="checkbox"/>		
Non-hazardous landfill	<input type="checkbox"/>		
Hazardous landfill	<input type="checkbox"/>		
Energy from waste incineration	<input type="checkbox"/>		
Other incineration	<input type="checkbox"/>		
Landfill gas generation plant	<input type="checkbox"/>		
Pyrolysis/gasification	<input type="checkbox"/>		
Metal recycling site	<input type="checkbox"/>		
Transfer stations	<input type="checkbox"/>		
Material recovery/recycling facilities (MRFs)	<input type="checkbox"/>		
Household civic amenity sites	<input type="checkbox"/>		
Open windrow composting	<input type="checkbox"/>		
In-vessel composting	<input type="checkbox"/>		
Anaerobic digestion	<input type="checkbox"/>		
Any combined mechanical, biological and/or thermal treatment (MBT)	<input type="checkbox"/>		
Sewage treatment works	<input type="checkbox"/>		
Other treatment	<input type="checkbox"/>		
Recycling facilities construction, demolition and excavation waste	<input type="checkbox"/>		
Storage of waste	<input type="checkbox"/>		
Other waste management	<input type="checkbox"/>		
Other developments	<input type="checkbox"/>		

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Please provide the maximum annual operational throughput of the following waste streams:

Municipal	
Construction, demolition and excavation	
Commercial and industrial	
Hazardous	

If this is a landfill application you will need to provide further information before your application can be determined. Your waste planning authority should make clear what information it requires on its website.

24. Hazardous Substances

Does the proposal involve the use or storage of any of the following materials in the quantities stated below? Yes No Not applicable

If Yes, please provide the amount of each substance that is involved:

Acrylonitrile (tonnes) <input type="text"/>	Ethylene oxide (tonnes) <input type="text"/>	Phosgene (tonnes) <input type="text"/>
Ammonia (tonnes) <input type="text"/>	Hydrogen cyanide (tonnes) <input type="text"/>	Sulphur dioxide (tonnes) <input type="text"/>
Bromine (tonnes) <input type="text"/>	Liquid oxygen (tonnes) <input type="text"/>	Flour (tonnes) <input type="text"/>
Chlorine (tonnes) <input type="text"/>	Liquid petroleum gas (tonnes) <input type="text"/>	Refined white sugar (tonnes) <input type="text"/>

Other:

Other:

Amount (kilograms):

Amount (kilograms):

25. Certificates

One Certificate A, B, C, or D, must be completed, together with the Agricultural Holdings Certificate with this application form

CERTIFICATE OF OWNERSHIP - CERTIFICATE A

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land or building to which the application relates.

Signed - Applicant:

Or signed - Agent:

NYM / 2008 / 0 6 6 2 / E L Date (DD/MM/YYYY):

CERTIFICATE OF OWNERSHIP - CERTIFICATE B

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/ The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land or building to which this application relates.

Name of Owner	Address	Date Notice Served
MR. & MRS WARD	GLENVILLE, STAINTONDALE SCARBOROUGH, YO13 0EL.	21/08/08

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 26 AUG 2008

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

21/08/08

CERTIFICATE OF OWNERSHIP - CERTIFICATE C

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/ The applicant certifies that:

- Neither Certificate A or B can be issued for this application
- All reasonable steps have been taken to find out the names and addresses of the other owners (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of the land or building, or of a part of it, but I have/ the applicant has been unable to do so.

The steps taken were:

Name of Owner	Address	Date Notice Served

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

25. Certificates (continued)

CERTIFICATE OF OWNERSHIP - CERTIFICATE D

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

The steps taken were:

NYM , 2008 / 0 6 6 2 / F L

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

[Empty box for newspaper name]

On the following date (which must not be earlier than 21 days before the date of the application):

[Empty box for date]

Signed - Applicant:

[Empty box for applicant signature]

Or signed - Agent:

[Empty box for agent signature]

Date (DD/MM/YYYY):

[Empty box for date]

AGRICULTURAL HOLDINGS CERTIFICATE

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of, an agricultural holding.

Signed - Applicant:

[Empty box for applicant signature]

Or signed - Agent:

[Redacted box for agent signature]

Date (DD/MM/YYYY):

21/08/08

B) I have/ The applicant has given the requisite notice to every person other than myself/ the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Name of Tenant	Address	Date Notice Served

NYMNPA
 26 AUG 2008

Signed - Applicant:

[Empty box for applicant signature]

Or signed - Agent:

[Empty box for agent signature]

Date (DD/MM/YYYY):

[Empty box for date]

26. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

- | | |
|--|---|
| 3 copies of a completed and dated application form: <input checked="" type="checkbox"/> | The correct fee: <input checked="" type="checkbox"/> |
| 3 copies of the plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North: <input checked="" type="checkbox"/> | 3 copies of a design and access statement: <input checked="" type="checkbox"/> |
| 3 copies of other plans and drawings or information necessary to describe the subject of the application: <input checked="" type="checkbox"/> | 3 copies of the completed, dated Article 7 Certificate (Agricultural Holdings): <input checked="" type="checkbox"/> |
| | 3 copies of the completed, dated Ownership Certificate (A, B, C, or D - as applicable): <input checked="" type="checkbox"/> |

27. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant:

[Empty box for applicant signature]

Or signed - Agent:

[Redacted box for agent signature]

Date (DD/MM/YYYY):

21/08/08

(date cannot be pre-application)

28. Applicant Contact Details

Telephone numbers

Country code: National number: Extension number:

--	--	--

Country code: Mobile number (optional):

--	--

Country code: Fax number (optional):

--	--

Email address (optional):

--

29. Agent Contact Details

Telephone numbers

Country code: National number: Extension number:

NYM / 2008 / 0 6 6 2 / F L

--	--	--

Country code: Mobile number (optional):

--	--

Country code: Fax number (optional):

--	--

Email address (optional):

--

30. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

Agent Applicant Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name:

--

Telephone number:

--

Email address:

--

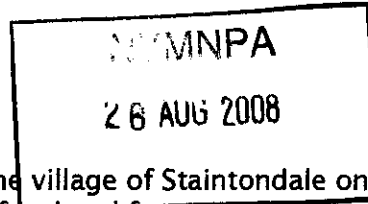
NYMNPA

26 AUG 2008

**THE FORMER METHODIST CHAPEL, STAINTONDALE,
SCARBOROUGH, YO13 0EL**

**Proposed change-of-use of former chapel to form holiday
accommodation.**

PLANNING AND ACCESS STATEMENT



1.0. The Site:

1.2. The building stands in an isolated position in the village of Staintondale on the North York Moors. The village comprises a series of isolated farms and other residential properties, and there is no defined village development limit. The chapel building is situated on the side of the road which runs through the village, approximately 1,500m from the cliffs at the edge of the sea on gently sloping land which continues to slope gently towards the cliff edge. The building is clearly visible from all directions.

1.3. The application site consists of the chapel and the land in which it stands which included an access pathway on the northern side, together with a small enclosed garden area to the south which also includes a small stone outbuilding in semi-derelict condition .

1.4. The chapel was built in the second half of the 19th century of solid masonry construction under a pitched slate covered roof. It has changed little since it was built apart from the frames to the large windows on the north and south elevations which appear to be later replacements, possibly mid 20th Century. There is a small lean to outbuilding at the western end which is previously housed a very basic boiler and an earth closet toilet. The outbuilding is approached separately by a paved pathway on the northern side of the building. There is currently no door connecting the lean-to with the main chapel.

1.5. Internally the building is a single large space, approached via an entrance porch, with gothic style windows. Its boarded ceiling is coombed, reaching up into a small flattened section just below the apex of the roof. It is lit at this upper level by a round stained -glass round window at the eastern end. The raised pulpit area is still in position at the western end of the main chapel.

1.6. The chapel is entered by double doors leading from a porch with tiled floor at its eastern end. The floor of the chapel appears to be of timber construction and is level.

1.7. The garden area is enclosed by dry stone boundary wall to the south, east and west. The northern boundary is marked with a post and wire fence. The original iron gates and railings to the front of the chapel on the eastern boundary are still in position.

2.0. The proposal.

2.1. It is proposed to adapt the building to allow use by up to four people as holiday accommodation.

2.2. The present building has a light and airy feel and has good views across to the sea. In order to make the best use of these features it is proposed to keep the building as open plan is possible, providing one enclosed bedroom at its western end together with a sleeping platform over to provide sleeping space of two further people. The proposed design will therefore leave the roof structure intact and will retain the open feel of the building.

2.3. It is proposed to demolish the small stone outbuilding at the southern end of the site which is in very poor condition. This will leave vacant area which can be used to site underground sewage disposal facilities at the regulation 7 metres from the existing building.

2.4. It is proposed to retain the lean to extension for conversion to use as a secondary wet weather entrance and utility room with toilet, and to form a connecting doorway from it into the main volume of the building.

2.5. It is proposed to retain all the existing door and window openings in their present form and position. A small a single additional arched opening in the western elevation is proposed in order to provide some additional ventilation to the upper sleeping area.

3.0. Structural condition :

3.1. A structural survey report accompanies this application. It concludes that while neglected in recent years, the building is in sound, and subject to some minor repairs is convertible.

4.0. Accessibility:

4.1. The small amount of garden land available to the south of the building where a new access for parking of vehicles can be created, as shown on the 1: 200 scale site plan. This will involve the construction of a new highway crossing across the existing verge which is about 4 metres in depth. Visibility from this point in both directions is good.

4.2. Due to the isolated nature of the building public transport links are non-existent so and access by car is inevitable, making it more suitable for holiday use.

4.3. Access into the existing building via the main entrance to the building involves two steps. It would be difficult to alter this arrangement without removal of the existing gate and iron railings which are part of the character of the property. It appears to be possible to achieve a level access via the rear entrance to the lean-to extension, which is already level.

5.0. Risk from Flooding:

5.1. The site is not at risk from flooding according to the indicative flood maps published by the Environment Agency.

6.0. Landscaping.

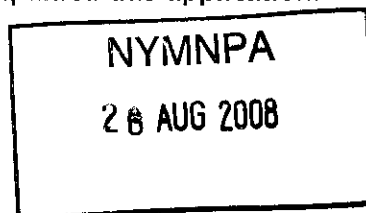
6.1. It is proposed to retain the existing boundary treatments and create parking accommodation for cars as shown on the enclosed 1: 200 scale site plan. Underground sewage disposal facilities are to be provided at the southern end of the site where they are of sufficient distance from the building and sufficiently near to the road for servicing. It is proposed to retain the existing dry stone boundary walls in a restored state.

6.2. A small amount of garden area will provide space for sitting out and other amenity space without the need for extensive maintenance.

7.0. Wildlife matters:

7.1. An ecological survey and impact assessment accompanied this application.

8.0. Trees:



8.1. There are two willow trees near to the south western site boundary which are to be retained. These are all shown on the accompanying one to 200 scale site plan. Otherwise there are no other significant trees or shrubs other than some small seeded elders and flowering currant bushes.

9.0. Sewage disposal facilities and surface water drainage.

9.1. There are no mains foul drainage facilities in the area.

9.2. Enquiries have been made about during discharge facilities for a package sewage treatment plant, but at the moment these are unavailable. Although the situation may change in the future.

9.3. There is just sufficient space to be able to install a sealed cesspool on the site of sufficient size to serve the property. This means of drainage, although higher maintenance, may be more suitable for holiday accommodation in this location, as package sewage treatment plants are often not recommended where use is only intermittent.

9.4. According to local knowledge, the rainwater drainage appears to drain underground. It is assumed that it joins water currently running off the hillside which collects into a small dyke on the west side of the road and then discharges under the roadway to the fields on the eastern side, which fall towards the sea. It is proposed to maintain this system as it appears to work satisfactorily.

10.0. Soil contamination:

10.1. Soil contamination is not known to be a problem in this area. The land has always been used to accommodate the chapel and as garden land. The surrounding land has always previously been moorland or grazing land.

11.0 Justification for the proposal:

11.1. The building is redundant, having been finally abandoned for regular worship purposes in 2007, as there was insufficient local congregation to continue to support and maintain the building.

11.2. The building is otherwise sound and as part of the local landscape and the strong history of non-conformist worship in the area, is worthy of retention. The building contributes to the character of Staintondale which is made up of a series of scattered and isolated buildings. The proposed design seeks to retain the former chapel's external appearance, while providing the building with a future.

11.3. The building can be adapted without significant alteration externally and the necessary level access, and other servicing can be provided.

11.4. The proposal complies with the requirements of Local Plan Policy BE15. Conversion of traditional rural buildings to tourist accommodation.

MM / Cundalls 7.August 2008.

<p>NYMNPA 26 AUG 2008</p>

Ref 2.093

July 2008

STRUCTURAL APPRAISAL
OF
FORMER METHODIST CHAPEL
STAINTONDALE, SCARBOROUGH
NORTH YORKSHIRE
FOR
THE METHODIST CHURCH SCARBOROUGH CIRCUIT

Prepared by

Richard Agar
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**STRUCTURAL APPRAISAL
OF
FORMER METHODIST CHAPEL
AT
STAINTONDALE, SCARBOROUGH
NORTH YORKSHIRE
FOR
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NYMNPA

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NYM / 2008 / 0 6 6 2 / F L

1.0 BRIEF:-

This report has been prepared on the instruction of Cundalls (agents for the client). The report is required to provide supporting information regarding a planning application to convert a redundant methodist chapel into a holiday cottage.

The objective of this report is:-

- to provide a general appraisal of the current structural status of the outbuilding.
- to comment on the structural implications, if any, of the proposed change of use.

This report is NOT a full structural specification for carrying out the works.

We have not inspected the woodwork or other parts of the structure which are covered, unexposed or inaccessible and we are, therefore, unable to report that any such part of the property is free from defect.

Dimensions noted in this report are rough visual estimates for identification purposes only. No actual measurements have been taken at the site.

2.0 INTRODUCTION:-

The outbuilding that is the subject of this report is a masonry built chapel situated in the village of Staintondale near Scarborough, North Yorkshire.

Until quite recently the building was used as a chapel for worship.

2.1 Grid Reference:-

The Ordnance Survey grid reference is SE 988 / 988.

2.2 Date of Visit:-

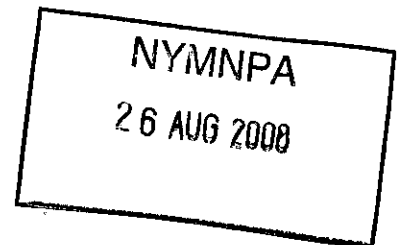
The site was visited for the purpose of this report on the 17th July 2008.

2.3 Weather:-

The weather was mild and dry. There have been some significant periods of wet and windy weather recently.

2.4 Topography:-

The site is situated on the North York Moors approximately 1500 metres from the Cliffs facing the North Sea and approximately 160 metres above sea level.



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Land generally slopes gently down towards the North Sea to the East.
Surrounding vegetation is modest comprising agricultural use.

2.5 Geology:-

The British Geological Survey one-inch series sheet 44 indicates that the subsoil should comprise Boulder Clay overlying Shale and Sandstone beds of the Lower Oolite series.

At this stage no subsoil investigations have been carried out.

3.0 GENERAL:-

3.1 Type of Building:-

The building is a small detached chapel in a very rural location.

Walls appear to be solid masonry construction approximately 450mm thick.

The traditional timber purlin roof is covered with slates.

3.2 Overall Stability:-

Overall stability is generally provided by the external masonry walls.

3.3 Past Alterations:-

There does not appear to have been any significant past alterations to the building.

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4.0 OBSERVATIONS:-

Where appropriate we have classified the visible signs of damage/movement to the building in accordance with Building Research Establishment digest no. 251 (BRE 251) "Assessment of damage to low-rise buildings". The digest has six categories '0' (negligible) to '5' (very severe).

All dimensions quoted in this report are approximate for identification purposes only.

4.1 East Gable:-

This elevation faces East and is reasonably exposed to any inclement weather.

The main wall has a dominant circular window at high level.

The front portion is in need of some general minor re-pointing.

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Timber fascias are in need of pointing. Some minor joinery repairs may also be required.

Guttering to the Southern corner is loose.

The entrance path is becoming covered in weeds.

In accordance with BRE 251 we would classify the visible evidence of damage on this elevation as category 1 (very slight) for which the digest remarks "*...fine cracks which can easily be treated during normal decoration. Perhaps isolated slight fracturing in building....*".

4.2 South Elevation:-

Access is hampered a little by the amount of weed growth etc.

Guttering at the East end is loose as noted earlier.

Along the whole length of this elevation are a number of vertical cracks. We noted at least 6 nr. The cracks are predominantly vertical and run along the mortar joints. Generally they are less than 2mm wide and of uniform width over their length. (One was approximately 5mm wide).

The nature of the cracks is typical of thermal/moisture movement. However, the number of cracks is more than one would expect for a relatively short length of wall.

We will be advising the installation of stainless steel bars, checking the damp proof course, checking the drains from the rain water pipes and also general clearing of adjacent vegetation.

In accordance with BRE 251 we would classify the visible evidence of damage on this elevation as category 2 (slight) for which the digest remarks "*...some external pointing required to ensure weathertightness*".

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4.3 West Gable:-

Generally this elevation appears in reasonable condition. The fascia needs painting and it is likely that close inspection will reveal some repairs may be required to external joinery.

The masonry flue on the lean-to extension appears loose and it would be advisable to re-build the flue if it is to be kept.

In accordance with BRE 251 we would classify the visible evidence of damage on this elevation as category 1 (very slight).

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4.4 North Elevation

This wall generally appear reasonably level and plumb. It is in need of some minor re-pointing in some locations.

There is a shallow masonry arch over each of the windows, all of which need re-pointing.

There are a number of bird nests in the overhanging eaves. External joinery (including windows) needs some repairs and general re-painting.

The ridge line to the roof has only quite minor undulations. An area of slates centrally on the roof appears to have been patched. It may advisable to re-work this past patching.

A lean-to at the West end appears quite neglected. Although in much poorer condition, the main structure of the lean-to appears quite repairable.

In accordance with BRE 251 we would classify the visible evidence of damage on this elevation as category 1 (very slight).

4.5 Internal:-

There is a uniform, hairline width, vertical crack running from the entrance door to the circular window at high level.

The lower parts of the walls generally have been lined with timber boarding, which restricts inspection of this area.

There is a fine vertical crack at the head of the arch to each of the internal windows.

All windows also show signs of damp penetration at sill level.

At the South West corner there is a minor vertical crack running the full height of the intersection between the South and West walls.

The rear wall is covered in wood chip paper and, therefore, inspection is restricted.

There are some minor cracks to the ceiling on the Northern sloping roof below the area of patched slates noted earlier.

In accordance with BRE 251 we would classify the visible evidence of damage on this elevation as category 1 (very slight)

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4.5 Other (Outbuilding):-

There is a small, low-level outbuilding to the South of the chapel. Much is covered with Ivy etc. A full inspection was not carried out of this outbuilding, but from a simple external walk-around inspection, our view is that the outbuilding is dilapidated and 50 to 75% of the walls would need re-building.

The outbuilding structure is unlikely to be suitable for conversion. It may be possible to approach the planning authority to discuss replacing the building with a similar and sympathetic structure for a garage etc.

5.0 CONCLUSIONS:-

The building is effectively complete and intact.

The building has been neglected in recent years. Most defects recorded were minor and typical of recent neglect.

Generally we did not note any evidence of recent significant movement to cause us serious concern.

Cracking along the South wall could be the result of thermal/moisture movement. We will be advising repairs.

The building has stocky proportions with few and modest openings and, therefore, overall stability characteristics may be described as inherently good.

The proposed domestic use of the building is unlikely to produce loadings in excess of those that the building has already been subjected to. The building's structure appears quite suitable for conversion to a dwelling without any major demolition or re-building works.

6.0 RECOMMENDATIONS:-

6.1 Roof:-

- Re-work patch repair to Northern slope.
- Fascia, guttering etc. to be overhauled. General painting. Some joinery repairs are likely to be required.

6.2 Walls:-

- Externally rake out all joints to a depth of 15mm and re-point with a mortar no stronger than 1:2:9 cement:lime:sand.

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- Install 6nr x 3 sets (i.e. 18nr) of stainless steel bars to various vertical cracks along the South elevation.

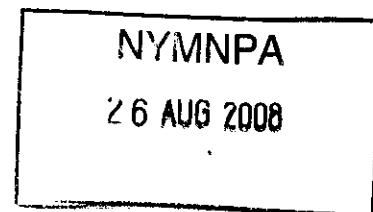
Cut out horizontal bed in masonry 50 mm deep. Afford min 48 hours notice for inspection by the contract administrator. Fix 6 mm diameter stainless steel 'helifix' resin anchor bars 1000mm long or similar approved. Repoint with gauged mortar to match existing.

Final details may vary slightly depending on materials found on site

- Check drains, clear weeds etc.
- Excavate small trial hole below central window so that foundations can be inspected. Although we think it unlikely, we would advise the client to allow a budget for possible underpinning to this wall.
- Painting and some repairs to external joinery.

Signed for
Richard Agar Associates Limited,

Eur Ing RICHARD AGAR
BSc(Hons) MSc CEng MStructE MICE MCS MCI Arb FConsE
Chartered Structural Engineer
Chartered Civil Engineer

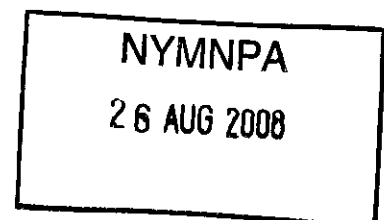


Methodist Chapel, Staintondale
Bat/Breeding Bird/Barn Owl Report
29/07/08



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Registered in the U.K. no.6504129



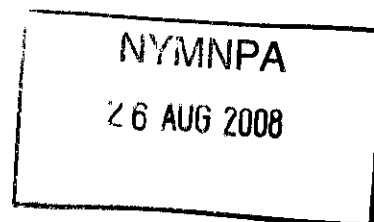
Report Date:
20th August 2008

Client:
Revd. Mark Haynes c/o Mr Brian Raper,
14 Barmoor Close,
Scarborough,
YO13 0RZ

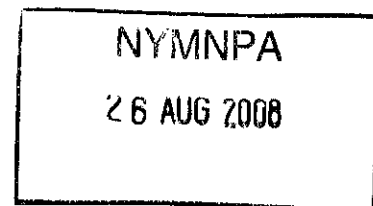
Agent:
Margaret Mackinder,
Wyville House,
The Lawns,
Slingsby,
York
YO62 4AW

Planning Office:
Scarborough Borough Council

Reference:
n/a



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1 SUMMARY

MAB Environment & Ecology Ltd was commissioned by Margaret Mackinder, Chartered Architect on behalf of Revd Mark Haynes to undertake a bat scoping survey of the Methodist chapel and an associated stone outbuilding at Staintondale, Scarborough.

The scoping survey did not identify any signs of bat activity within the site. Potential bat roost habitat was detected in the chapel in the form of an inaccessible loft area below a wooden lined slate roof with overhanging eaves, and in the outbuilding as a lined pantile roof and masonry crevices. Therefore, an emergence survey was deemed necessary.

The emergence survey did not identify any bat emergence from the buildings surveyed. However, due to the presence of potential bat roost habitat, a mitigation plan has been put forward in this report which will minimise the risk of harm to bats and which will ensure that potential bat roost habitat is maintained on the site post-development.

2 INTRODUCTION

2.1 Background

MAB Environment & Ecology Ltd was commissioned by Ms Margaret Mackinder, Chartered Architect on behalf of Revd Mark Haynes to undertake a bat scoping survey of the Methodist chapel and an associated building at Staintondale , Scarborough (Central grid reference: SE 989 985).

Ecologists from MAB Environment and Ecology are members of the Institute of Ecology and Environmental Management (IEEM) and follow the Institute's Code of Professional Conduct when undertaking ecological work.

2.2 Site Description

The site is located within the village of Staintondale in North Yorkshire (Central grid reference: SE 989 985). The Methodist chapel lies within a landscape of pastoral land and is within 2km of a number of ancient woodlands including; White Hall wood; Beast Cliff wood and Haburn Wyke wood.

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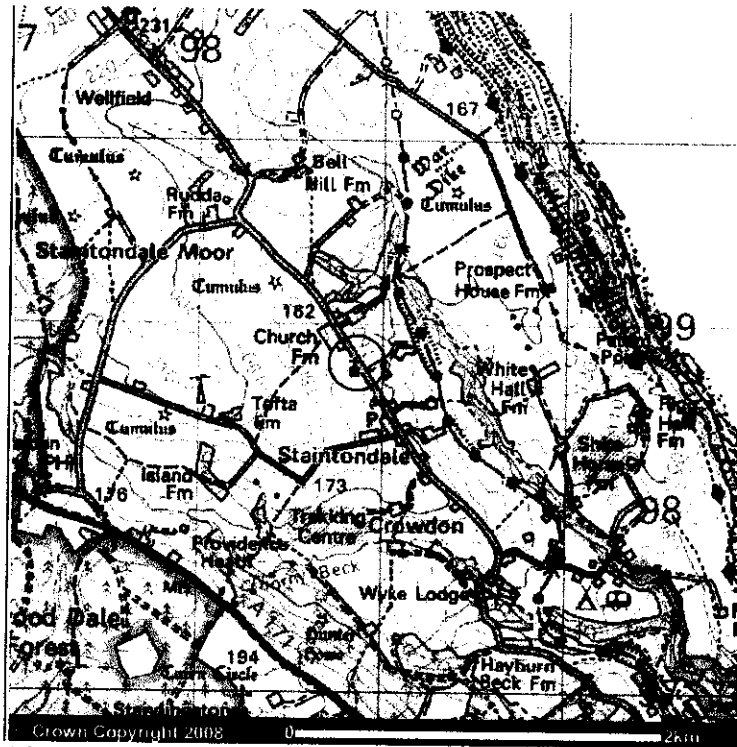


Figure 1. Site location

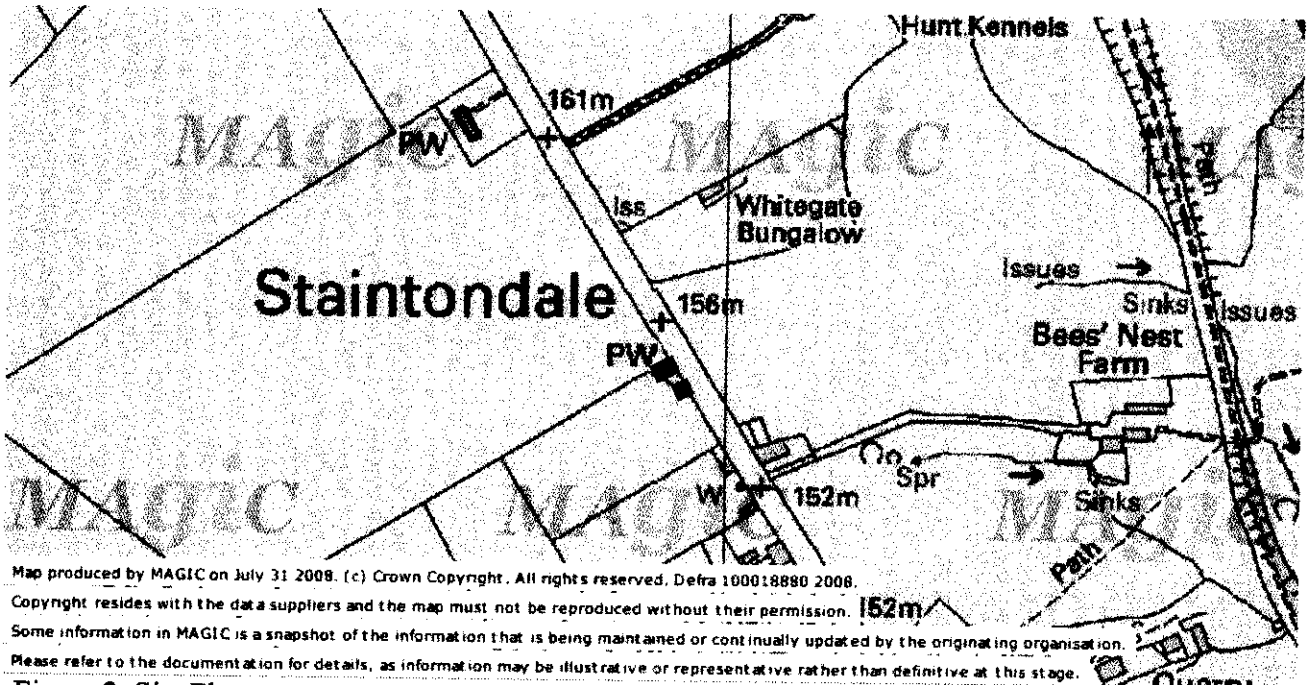


Figure 2. Site Plan.

Key:

Rectangle – Chapel

Square - Outbuilding

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 26 AUG 2008

The site consists of a Methodist chapel made of stone construction with a slate roof with large overhanging eaves. The chapel has a small lean-to attached to the western wall which has a wooden lined roof. The exterior and interior walls of the chapel are in excellent condition. To the south of the chapel is a small stone outbuilding with a heavily ivy-clad wooden lined pan tiled roof. This building is in poor condition with loose roof tiles and a number of cracks in the stone work.

2.3 Proposed Works

The chapel is to be converted into holiday accommodation and the small stone outbuilding is to be demolished.

2.4 Aims of Study

To establish whether there is evidence of bat activity at the above location. If present, to identify the species, their abundance and in what capacity (i.e. maternity roost; male day roost; resting/feeding perches, flight corridor etc.) they are using the site. Such information will allow an informed decision to be made as to whether further surveys are required and whether a Habitats Regulations licence should be applied for in order to carry out proposed developments within a legal framework.

To establish whether any birds are presently breeding in the building proposed for development. Such information will allow an informed decision to be made as to how the client can proceed within a legal framework.

3 METHODOLOGY

3.1 Desk Study

John Drewett of North Yorkshire Bat Group (NYBG) was commissioned by MAB Environment & Ecology Ltd to provide any bat records provide bat records within a 2km radius of the centre of the site (See Appendix 2).

3.2 Internal and External Building Inspections

A detailed internal and external building inspection was carried out on the 29th July 2008 by Nicola Gibson BSc Ecology GIEEM of MAB Environment and Ecology Ltd. Miss Gibson (Natural England bat survey licence number 20082439).

All signs of bat use were looked for including bats themselves including corpses, bat droppings and urine stains, feeding waste, potential entry and exit holes and associated grease marks, and the sound/smell of bats.

The site was examined for evidence of bats using the following equipment:

- Powerful torch (1000, 000 candle power)
- Ladders
- Camera

All signs of breeding bird including Barn Owl activity were looked for. These included white droppings, often vertical down walls or beams; active nests and nesting materials; birds flying into and out of barns; bird feathers, particularly swift (*Apus apus*), swallow (*Hirundo rustica*) and house martin (*Delichon urbica*), bird corpses, feeding waste (including pellets), and the sound/smell of birds.

3.1 Constraints on Survey

Interior: Access to the roof space of the chapel was not possible and access to the inside of certain parts of the small outbuilding was not possible due to overgrown vegetation blocking access.

Exterior: The gable ends of the chapel could not be fully investigated due to their height.

3.2 Emergence Survey

An emergence survey was conducted on the evening of the 29th July 2008 by Nicola Gibson GIEEM, of MAB Environment and Ecology Ltd and Lil Stevens, assistant surveyor.

Emergence surveys were carried out 1/2 hour before sunset until 2 hours after sunset.

Equipment used:

- Bat detectors Pettersson D240x
- Recording equipment
- Headphones
- Plans
- Torch with infra-red filter (1000, 000 candle power)

4 RESULTS

4.1 Desk Study

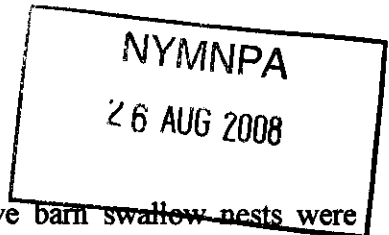
See Appendix 2.

4.2 Internal and External Building Inspections

No evidence of bat activity was found during the survey.

No evidence of Barn owl activity was found, however, numerous active barn swallow nests were evident under the eaves of the building and within the small lean-to, attached to the chapel.

The chapel could provide potential opportunities for roosting bats; the lean-to has a wooden lined slate roof providing suitable roosting habitat, which suggests the chapel itself may have a wooden lined roof. Additionally, a number of gaps were visible under the eaves providing access to the roof of the chapel. The walls are in a good state of repair, and are without crevices.



The associated small stone outbuilding has many crevices which could potentially be used by single bats to roost in and has a lined pan tile roof which again could offer roosting habitat for bats.

4.3 Emergence Survey

4.3.1 Table 1. Survey Details

Visit Number	Date	Temperature °C		Survey Period		Weather Conditions
		Start	Finish	Start	Finish	
1	29/07/08	22.5	21.5	20.40	23.10	50% Cloud Cover – Clear. Moderate Breeze

Evening Emergence Survey

Survey 1 29/07/08 Sunset: 21:07

No bats were seen emerging from either of the buildings surveyed. One common pipistrelle (*Pipistrellus pipistrellus*) was recorded foraging in a nearby field.

5 ASSESSMENT OF IMPACT OF DEVELOPMENT

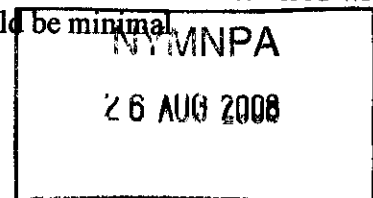
5.1 Implications for Development

Although bats were not present at the time of the survey, it is possible that bats may use the outbuilding for hibernation- a use that would not be detected by the emergence survey, or that bats could move into the potential summer roosting habitats of the chapel and lean-to roofs.

It is understood the chapel roof will not be interfered with during the conversion, therefore, there are no issues relating to bats which would prevent the development of the chapel going ahead. However, the lean-to is likely to require some repairs to the roof and chimney and the stone outbuilding is to be demolished, therefore, mitigation measures have been incorporated within this report which if adhered to should ensure the proposed works may proceed with a minimal risk of impact upon protected species.

Breeding birds were observed within the lean-to and under the eaves of the chapel roof. Any works relating to the lean-to if carried out within the bird breeding season are highly likely to breach Part 1 of the Wildlife and Countryside Act 1981 (As amended); therefore, timing restrictions in relation to the bird breeding season will also apply to these works. It should also be noted that all breeding birds are

protected outside of the designated breeding season, therefore before work can commence outside of the season a thorough inspection of the building to ensure all breeding activity has ceased (e.g. young have fledged) must be carried out. Again as it is understood the chapel roof will not be interfered with during the conversion, disturbance to birds nesting under the eaves should be minimal.



6 MITIGATION & COMPENSATION PERTAINING TO BATS

6.1 Mitigation Measures

- Due to the possibility of bats moving into potential summer roosting habitat, any works pertaining to the roofs of the lean-to and the stone building will take place between 1st Oct 2008 to 1st May 2009.
- Due to the possibility of bats hibernating in stone crevices, dismantling of the roof of the stone outbuilding will be done carefully and by hand, and will be preceded by a thorough inspection of crevices by the environmental consultant using torches and a flexible endoscope prior to demolition.
- If bats are found, the demolition process must be stopped immediately and either the bat helpline should be contacted on 01539 620168 or MAB Environment & Ecology Ltd can be contacted for assistance on 01845 537845/07815 594093.

6.2 Compensation

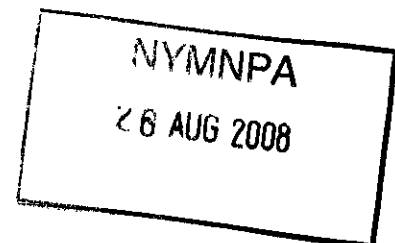
The demolition of the stone outbuilding will result in an overall loss of bat habitat. This will be compensated for, by the installation of an appropriate bat box. Appropriate designs in this case are shown in appendix 3. One of these boxes should be placed on the southern wall of the chapel about 0.25 metres from roof.

6.3 Requirement for European Protected Species Licence

The ecological survey found no evidence of use of the development site by protected species, therefore, the proposed development will have a negligible risk of impact on protected species and will not require an EPS licence.

7 MITIGATION PERTAINING TO BREEDING BIRDS

- If any works which may affect breeding birds are to be performed when birds are still likely to be breeding i.e. one month before or after the official breeding season, a detailed inspection of the building by a qualified ecologist must be carried out to ensure all bird breeding activity has ceased prior to work commencing on the building. If birds are found to be breeding then work should not commence until the nests are no longer active.



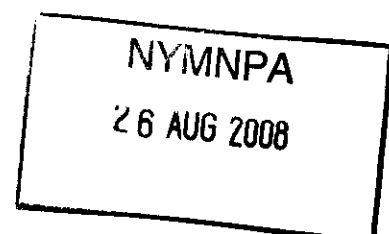
8 REFERENCES

Parsons, K., Crompton, R., Graves, R., Markham, S., Mathews, J., Oxford, M., Sheperd, P., Sowler, S. (2007). *Bat Surveys - Good Practice Guidelines*. Bat Conservation Trust, London.

Mitchel-Jones, A.J. (2004). *Bat Mitigation Guidelines*. English Nature, Peterborough.

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APPENDIX 4. Legislation Relating to Bats

All bat species are protected under the Wildlife and Countryside Act (WCA) 1981 (as amended), the Countryside and Rights of Way Act 2000 and the Conservation (Natural Habitats &C) Regulations 1994 as amended in 2007.

Under the WCA it is an offence for any person to intentionally kill, injure or take any wild bat; to intentionally disturb any wild bat while it is occupying a structure or place that it uses for shelter or protection; to intentionally damage, destroy or obstruct access to any place that a wild bat uses for shelter or protection; to be in possession or control of any live or dead wild bat, or any part of, or anything derived from a wild bat; or to sell, offer or expose for sale, or possess or transport for the purpose of sale, any live or dead wild bat, or any part of, or anything derived from a wild bat.

Under the Habitats Regulations it is an offence to deliberately disturb animals of a European protected species (EPS) where the disturbance is likely to significantly affect the ability of any significant group of animals of that species to survive, breed or rear or nurture their young or likely to significantly affect the local distribution or abundance of the species. Natural England 2007.

Prosecution could result in imprisonment, fines of £5,000 per animal affected and confiscation of vehicles and equipment used. In order to minimise the risk of breaking the law it is essential to work with care to avoid harming bats, to be aware of the procedures to be followed if bats are found during works, and to commission surveys and expert advice as required to minimise the risk of reckless harm to bats.

Where it is proposed to carry out works which will affect a bat roost, a licence must first be obtained from the Natural England even if no bats are expected to be present when the work is carried out.

The application for a license normally requires a full knowledge of the use of a site by bats, including species, numbers, and timings. Gathering this information usually involves surveying throughout the bat active season. The licence may require ongoing monitoring of the site following completion of the works.

When considering an application, the Environmental Consultant must consult with the local planning authority. This process may also take a considerable length of time. Applications can only be made once planning permission has been granted (where appropriate), and consultation responses have been received.

Licences can only be issued if Natural England is satisfied that there is no satisfactory alternative to the development and that the action authorised will not be detrimental to the maintenance of the population of the species at a favourable conservation status in their natural range.

PPS9: Planning Policy Statement on Biodiversity and Geological Conservation is the relevant national planning guidance in relation to ecological issues. It provides guidance on how the Government's policies on nature conservation should be implemented through the land use planning system. PPS9 states that biodiversity may be material to decisions on individual planning applications. It also talks about conserving and enhancing biodiversity and ensuring that developments take account of the role and value of biodiversity.

APPENDIX 5. Legislation Relating to Breeding Birds

Under the Wildlife and Countryside Act (1981), a wild bird is defined as any bird of a species that is resident in or is a visitor to the European Territory of any member state in a wild state.

Game birds however are not included in this definition (except for limited parts of the Act). They are covered by the Game Acts, which fully protect them during the close season.

All birds, their nests and eggs are protected by law and it is thus an offence, with certain exceptions (see *Exceptions*), to:

- intentionally kill, injure or take any wild bird
- intentionally take, damage or destroy the nest of any wild bird whilst it is in use or being built
- intentionally take or destroy the egg of any wild bird
- have in one's possession or control any wild bird, dead or alive, or any part of a wild bird, which has been taken in contravention of the Act or the Protection of Birds Act 1954
- have in one's possession or control any egg or part of an egg which has been taken in contravention of the Act or the Protection of Birds Act 1954
- use traps or similar items to kill, injure or take wild birds
- have in one's possession or control any bird of a species occurring on Schedule 4 of the Act unless registered, and in most cases ringed, in accordance with the Secretary of State's regulations (see *Schedules*)
- intentionally or recklessly disturb any wild bird listed on Schedule 1 while it is nest building, or at a nest containing eggs or young, or disturb the dependent young of such a bird.

