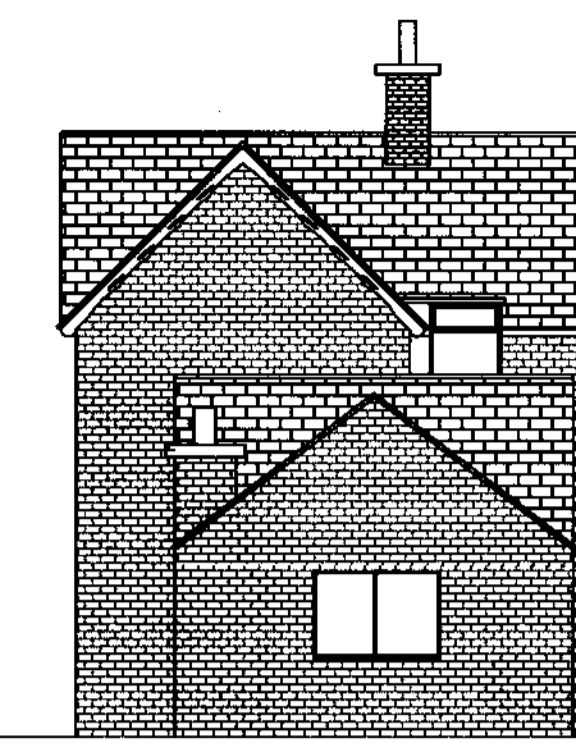


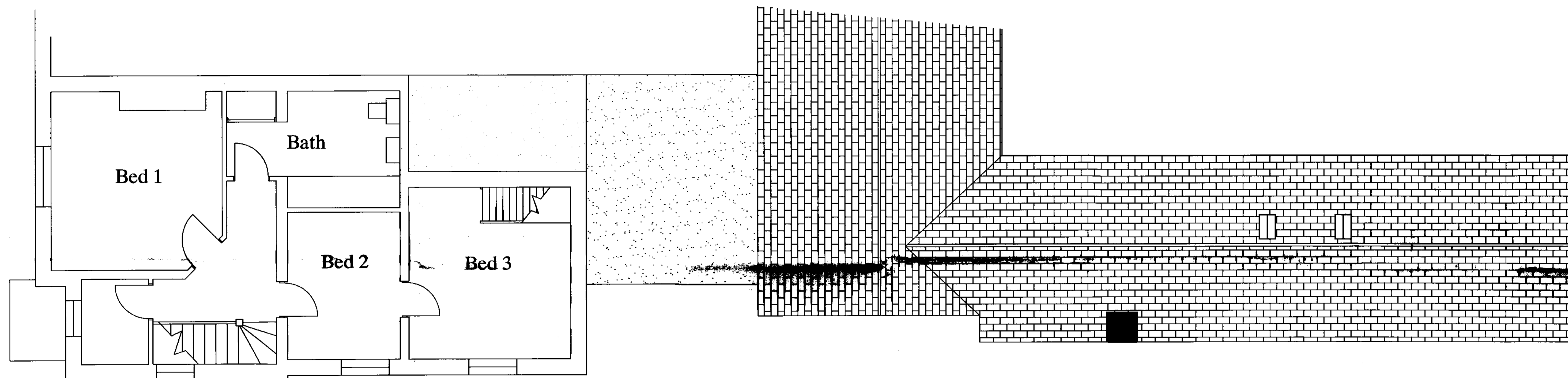
Side Elevation



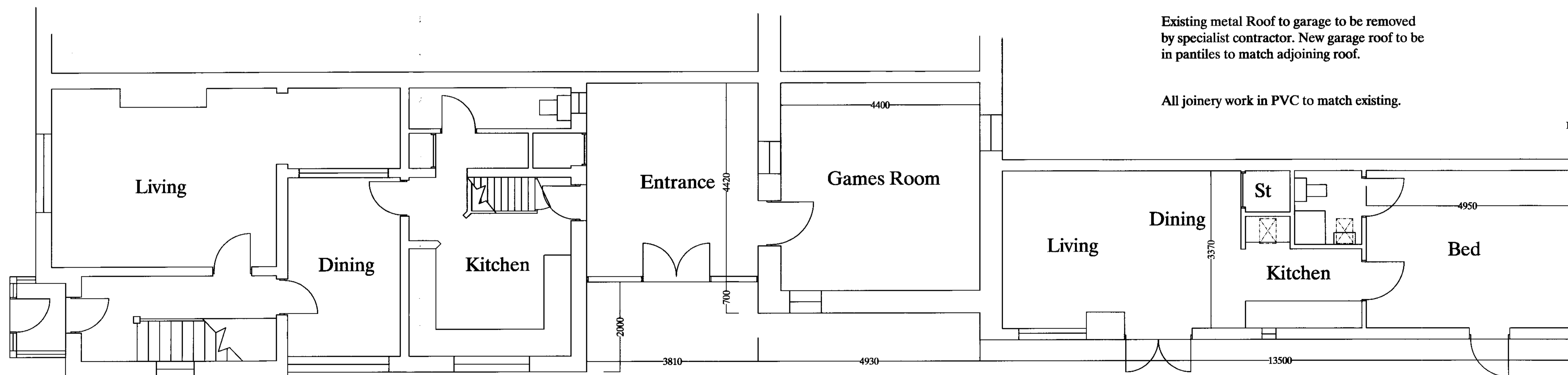
Side Elevation



Rear Elevation



First Floor Layout



Ground Floor Layout

Coursed stonework to match existing
werer required

Existing metal Roof to garage to be removed
by specialist contractor. New garage roof to be
in pantiles to match adjoining roof.

All joinery work in PVC to match existing.

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REV A 21:07:08 Roof amended to pantile to match
& door to be re-instated.

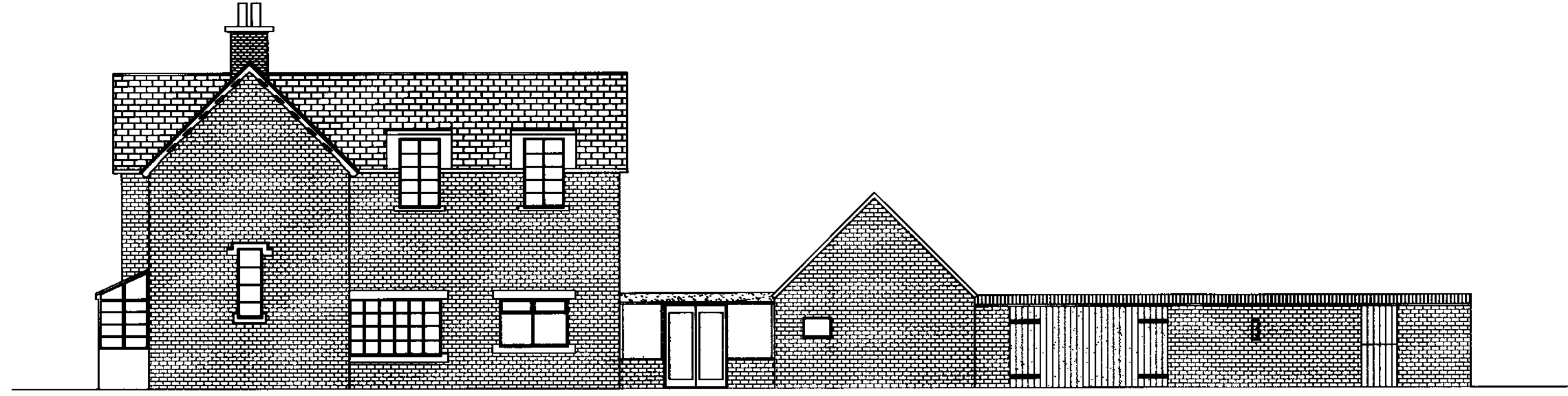
Mr & Mrs Boddy
Hill Crest
Broxa
North Yorkshire

Proposed Layout

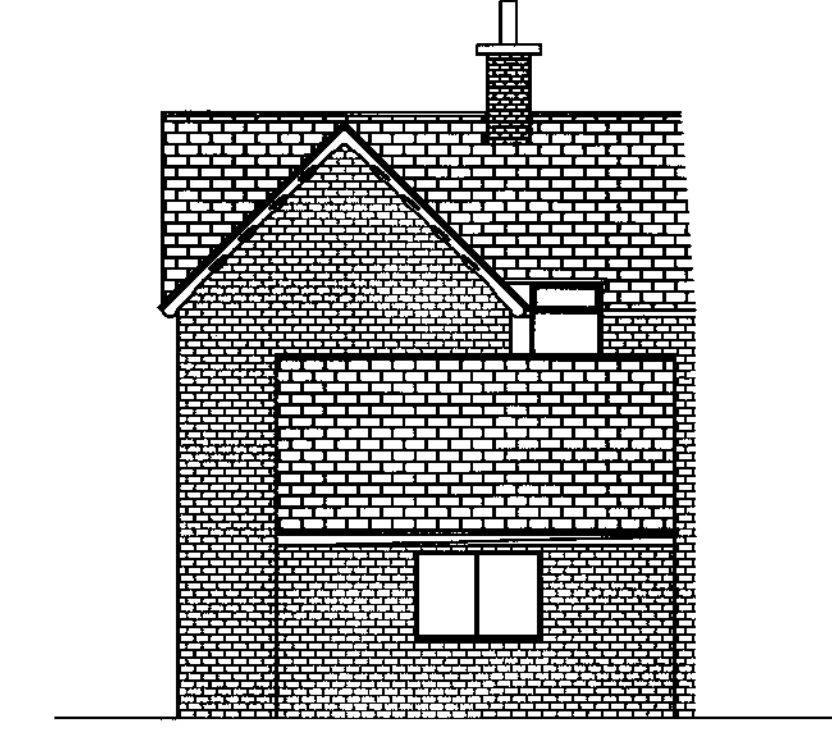
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Date: 15:07:08
Drawing no: TWO



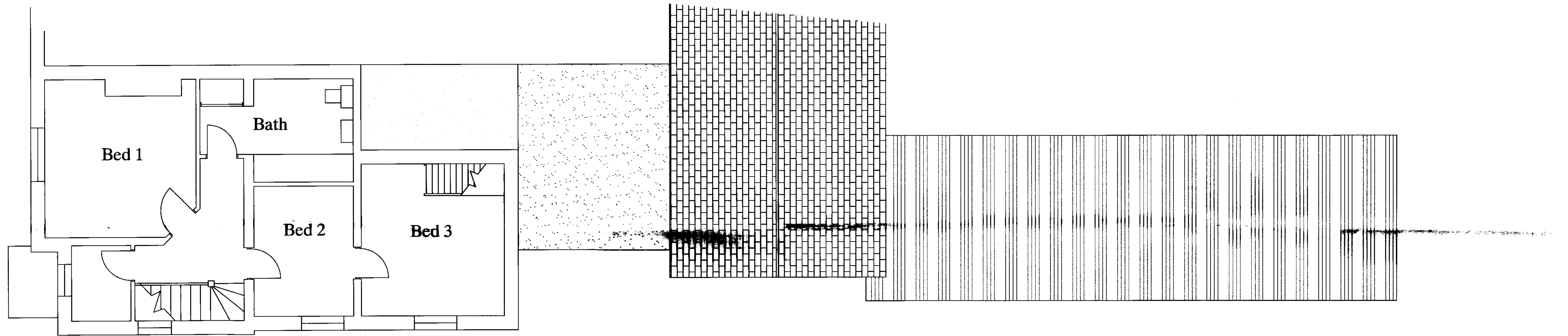
Front Elevation



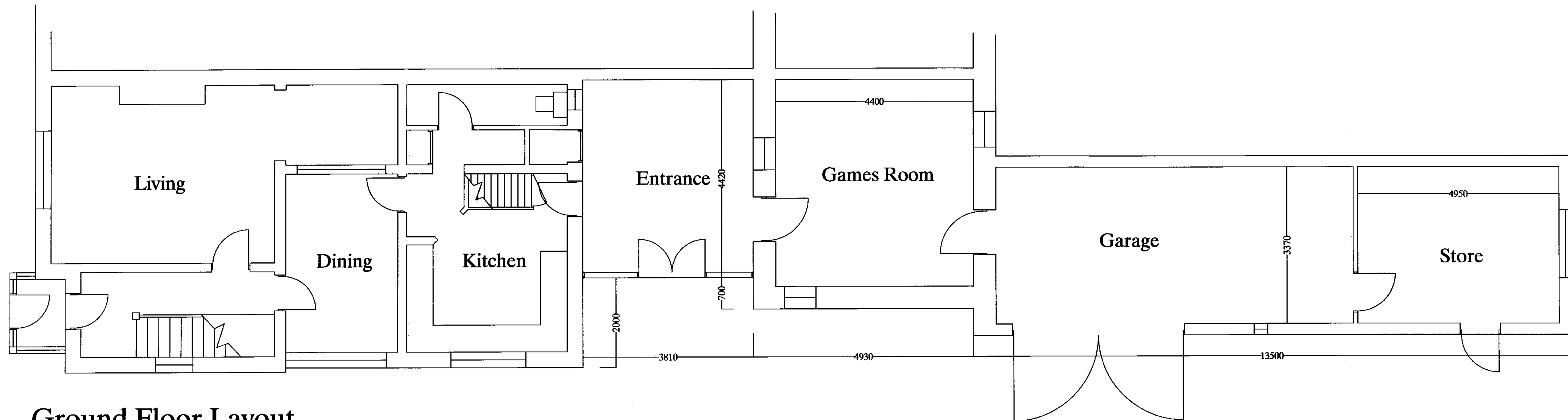
Side Elevation



Rear Elevation



First Floor Layout



Ground Floor Layout

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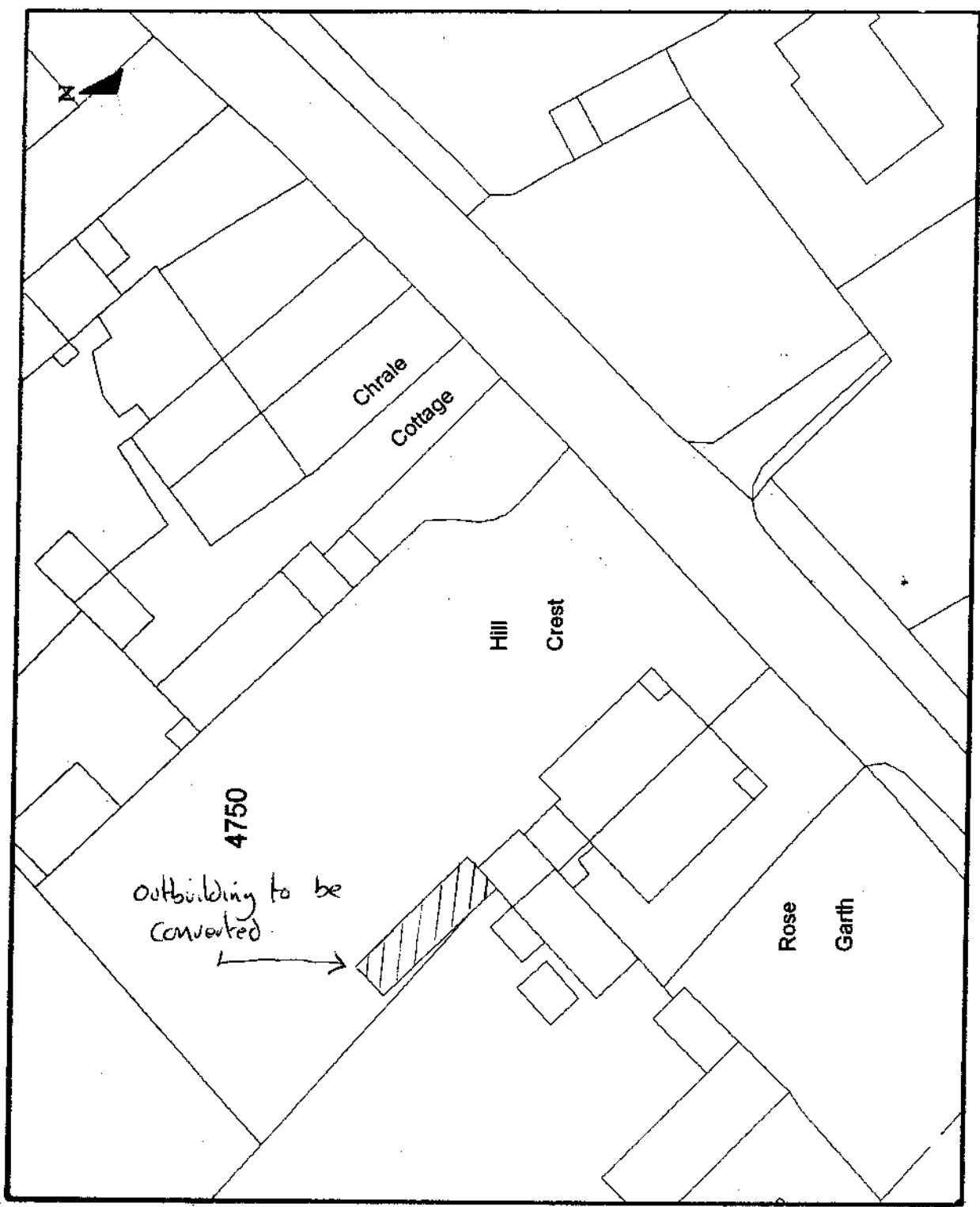
Mr & Mrs Boddy
Hill Crest
Broxa
North Yorkshire

Existing Layout

Scale	1:50 1:100
Date:	11-07-08
Drawing no:	ONE

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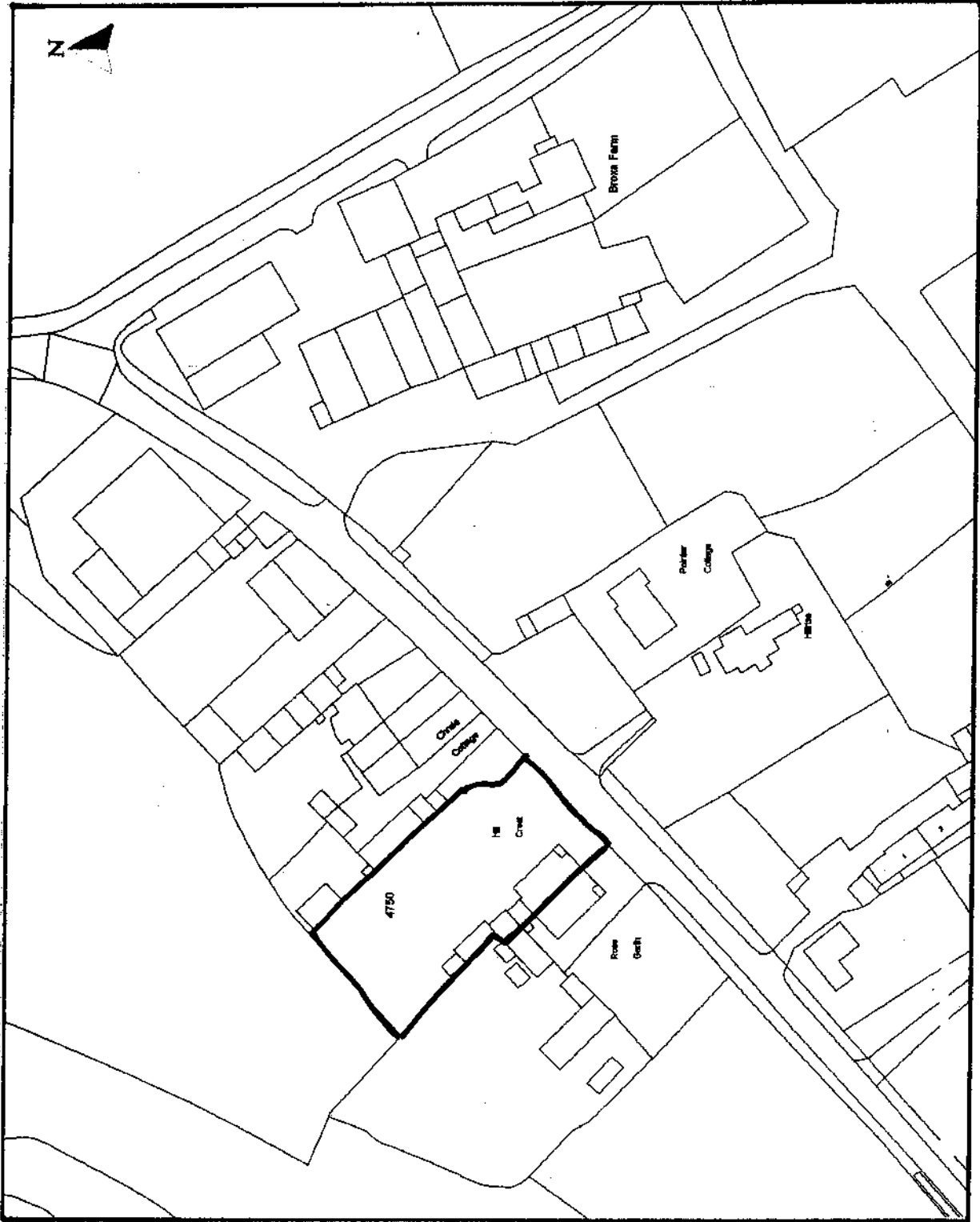


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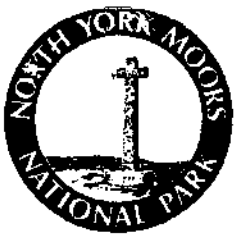
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Grid ref SE 94466, 91503

NYM / 2008 / 0668 / FL

08/06/08

PL1

Householder Application for Planning Permission for works or extension to a dwelling and conservation area consent.
Town and Country Planning Act 1990
Planning (Listed Buildings and Conservation Areas Act) 1990

Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

1. Applicant Name and Address

Title: First name:

Last name:

Company (optional):

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Country:

Postcode:

2. Agent Name and Address

Title: First name:

Last name:

Company (optional):

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Country:

Postcode:

3. Description of Proposed Works

Please describe the proposed works:

* CONVERSION OF OUTBUILDING TO HABITABLE SINGLE BED Dwelling

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3. Description of Proposed Works (continued)

Has the work already started?

Yes No

If Yes, please state when the work was started (DD/MM/YYYY):

(date must be pre-application submission)

Has the work been completed?

Yes No

If Yes, please state when the work was completed (DD/MM/YYYY):

(date must be pre-application submission)

4. Site Address Details

Please provide the full postal address of the application site.

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Postcode (optional):

Description of location or a grid reference.
(must be completed if postcode is not known):

Easting: Northing:

Description:

5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much as possible:

Officer name:

Reference:

Date (DD/MM/YYYY):
(must be pre-application submission)

Details of pre-application advice received?

6. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No

Is a new or altered pedestrian access proposed to or from the public highway? Yes No

Do the proposals require any diversions, extinguishments and/or creation of Public rights of way? Yes No

If Yes to any questions, please show details on your plans or drawings and state the reference number(s) of the plan(s)/drawing(s)

7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your boundary? Yes No

If Yes, please mark their position on a scaled plan and state the reference number of any plan(s)/drawing(s):

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No

If Yes, please show on your plans, indicating the scale, which trees by giving them numbers e.g. T1, T2 etc and state the reference number of the plan(s) /drawing(s) and indicate the scale:

8. Parking

Will the proposed works affect existing car parking arrangements?

Yes No

If Yes, please describe:

9. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the Council? Yes No

If Yes, please provide details:

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10. Materials

If applicable, please state what materials are to be used externally. Include type, colour and name for each material:

	Existing (where applicable)	Proposed	Not applicable	Don't Know	Drawing references if applicable
Walls	COURSED STONEMWORK	COURSED STONEMWORK	<input type="checkbox"/>	<input type="checkbox"/>	
Roof	CORRUGATED METAL SHEETING	PARTICLE BOARD TO MATCH REAR OF PROPERTY	<input type="checkbox"/>	<input type="checkbox"/>	
Windows	UPVC TO MAIN DWELLING	UPVC TO MATCH MAIN DWELLING	<input type="checkbox"/>	<input type="checkbox"/>	
Doors	UPVC TO MAIN DWELLING	UPVC TO MATCH MAIN DWELLING	<input type="checkbox"/>	<input type="checkbox"/>	
Boundary treatments (e.g. fences, walls)			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Vehicle access and hard-standing			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Lighting			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Others (please specify)			<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement? Yes No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

Draws L-5, D+A STATEMENT, LOCATION DRAW.

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11. Explanation For Proposed Demolition Work

Why is it necessary to demolish all or part of the building(s) and or structure(s)?

N/A.

15. Applicant Contact Details

Telephone numbers

Country code:	National number:	Extension number:
<input type="text"/>	<input type="text"/>	<input type="text"/>
Country code:	Mobile number (optional):	
<input type="text"/>	<input type="text"/>	
Country code:	Fax number (optional):	
<input type="text"/>	<input type="text"/>	

Email address (optional):

16. Agent Contact Details

Telephone numbers

Country code:	National number:	Extension number:
<input type="text"/>	<input type="text"/>	<input type="text"/>
Country code:	Mobile number (optional):	
<input type="text"/>	<input type="text"/>	
Country code:	Fax number (optional):	
<input type="text"/>	<input type="text"/>	

Email address (optional):

17. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one) Agent Applicant Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name:

Telephone number:

Email address:

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Design & Access Statement for
Hill Crest, Broxa, North Yorkshire.

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Design & Access Statement for Hill Crest, Broxa, North Yorkshire

Details

Mr & Mrs Boddy
Hill Crest
Broxa
North Yorkshire

Site Address

Hill Crest
Broxa
North Yorkshire

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Description

The property is situated on the left hand side of the village of Broxa.

The area is a made up of stone cottages & working farms.

Hill Crest forms the Right hand side of a pair of stone semi-detached cottages.

Existing Design

Hill Crest has recently undergone numerous improvements & upgrades to make a comfortable modern home whilst retaining the country charm that is synonymous to the area.

To the rear of the property is a single storey attached garage that has also undergone renovation.

This includes re-pointing & replacing of the roof to a galvanised sheet system.

Proposed Design

It is proposed to convert the garage into a one bedroom, self-contained holiday cottage.

The Applicant has found that many walkers pass by and frequently ask for weekly holiday lets.

This proposal will provide visitors with a base in which to explore different walks together with visiting nearby towns & attractions.

In the 'off peak' season, the applicant has friends & family that live abroad & often find difficulty in finding accommodation in the near vicinity.

This proposal will seek to alleviate this issue, whilst allowing the visitors to have their own area.

Philosophy & Approach

The garage is hidden away to the rear of the property & adjacent to a copse, which is owned by the applicant.

It is proposed to create a sympathetic & understated conversion, & by utilising all existing openings, there will not be any need to create any new ones.

The existing double door opening will be broken with a stone chimney. This will allow a feature window to one side with together with a double entrance to the other.

It is proposed to alter the roof from mono-pitch to traditional open pitched roof, clad in pan tile's to match the adjacent elevation.

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Access Issues

The property is accessed from the main lane, & into a gravelled courtyard & will easily accommodate one extra visitors vehicle.

This courtyard area is obscured by a range of trees & hedgerow to the boundary, so both current & proposed vehicles are predominately hidden from the main lane.

Consultation

The attached neighbour has been consulted & is happy with the idea.

The other neighbouring property to the other side is bridged via a large turf lawn & It is understood that this neighbour would not have any objection either.

Design Standards

The following have been followed & consulted in the preparation of the scheme: -

- North York Moors Design criteria
- National Park Planning Guidelines
- The Building Regulations
- Planning Policy
- The Disabled Discrimination Act
- CABE Gov't Policy Interpretation
- Guidance on changes to the Development Control System circular
- Access by Design Website
- Part M Of the Building Regs ref disabled access

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Conclusion

It is therefore concluded that the design is sympathetic to the vernacular & the style of the area & will allow the property to have a new lease of life & to blend in better with its surroundings.

The design had been laid out to compliment the surrounding areas without causing detrimental impact & still maintain a cottage feel.

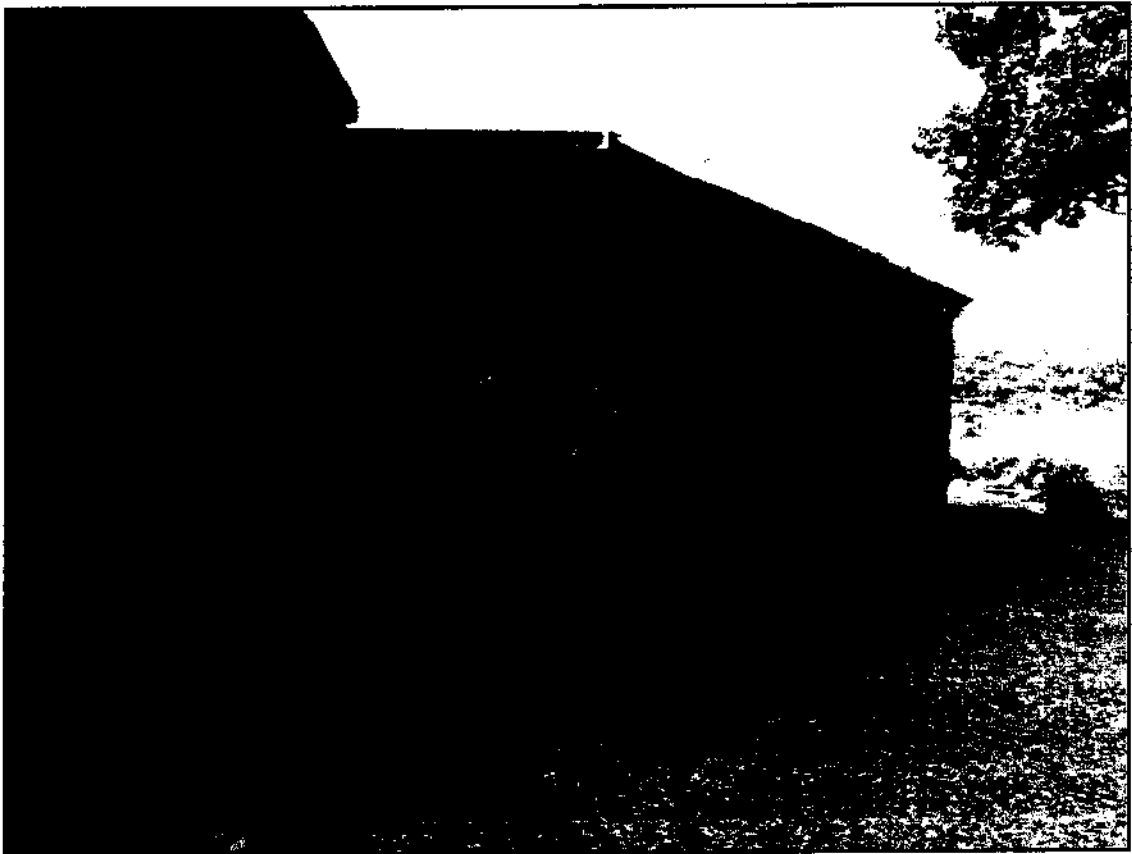
It will bring in added benefit to the local economy, by allowing visitors to come & visit the area in a peaceful & dedicated setting.

It will also allow the family to entertain friends & family over long weekends etc without the applicants family life being compromised.

John Drewett
Ecological Consultant

**Workshop at Hillcrest Cottage, Broxa,
Scarborough, YO13 0BP**
Bat survey report
30 September 2008

NYMNPA
02 OCT 2008



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8 References 10

Record of report and revisions

Date	Details	Issued by
30 September 2008	Original report	John Drewett

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1 Summary

- 1.1.1 A bat survey of a workshop at Hillcrest, Broxa was commissioned in September 2008 by the owner.
- 1.1.2 The survey was carried out on 29 September 2008.
- 1.1.3 No evidence was found of the building being used by bats.
- 1.1.4 There is very little potential for bats to use this building.
- 1.1.5 It is considered that the proposed development will have no adverse impact on bats.

2 Introduction

2.1 Site description

Site name and address:		Hillcrest, Broxa, Scarborough, YO13 0BP	
OS Grid Ref.	SE944915	Altitude	163m
Local Planning Authority:		North York Moors National Park Authority	
Features on site and adjacent to site			
Feature	On site	Adjacent	Comments
Buildings (more or less complete)	✓	✓	Site is located in hamlet of Broxa. Neighbouring village properties. Survey site includes house and attached outbuilding.
Bridges, culverts, tunnels		✓	500m to SW at Langdale End over River Derwent.
Trees with visible cavities		✓	
Other trees	✓	✓	Extensive woodland in vicinity.
Rivers or streams bordered by trees		✓	River Derwent 500m to west.
Continuous hedgerows		✓	
Livestock		✓	Cattle.
Improved grassland		✓	
Unimproved / semi-improved grassland		✓	

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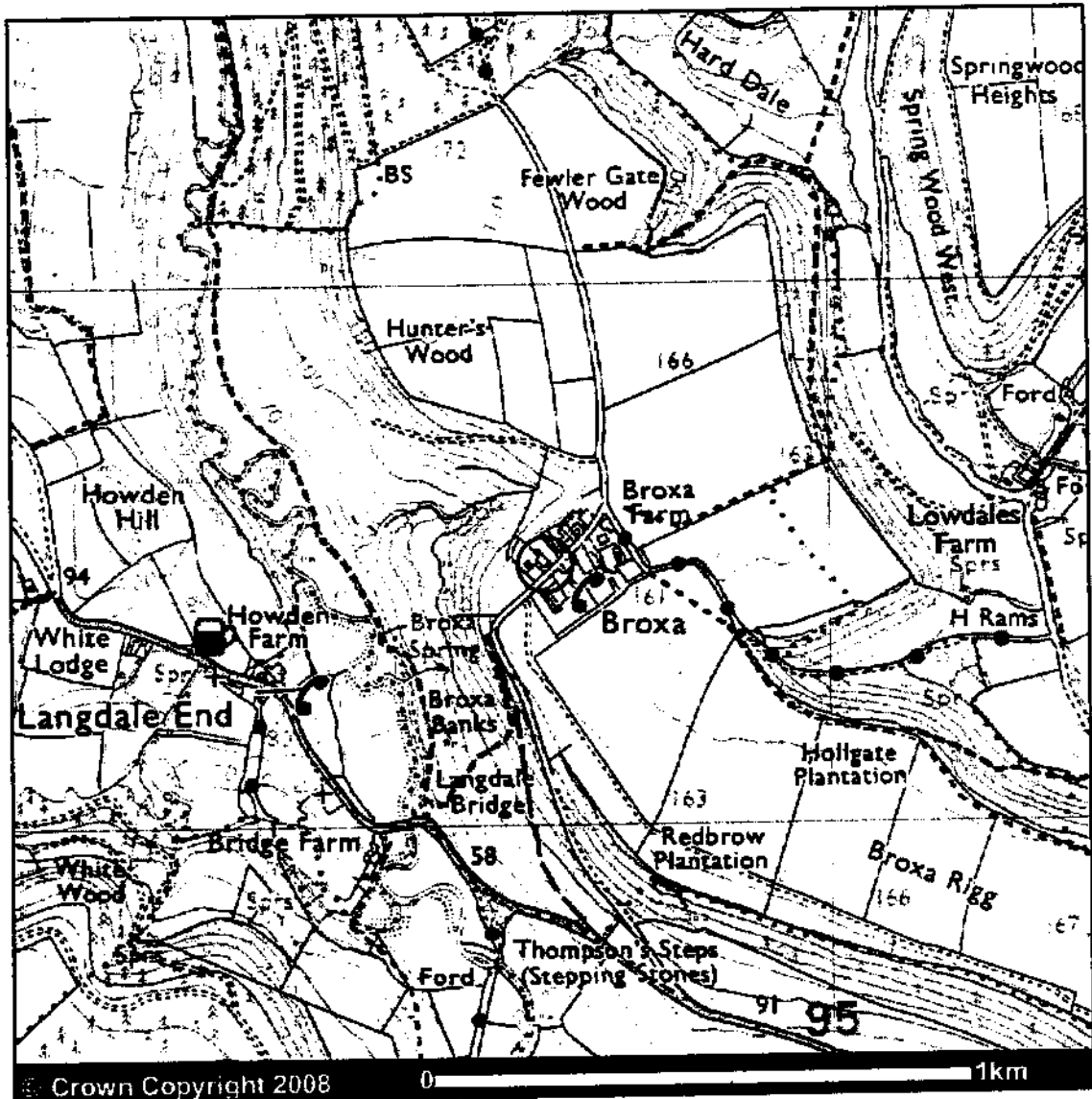


Fig. 1 Site location plan

2.2 Proposed works

2.2.1 The proposed development is for the conversion of an attached garage / workshop to form a one-bedroom annexe.

2.3 Aims of survey

2.3.1 The survey was carried out to establish the following:

- Likelihood of particular buildings to support bats
- Bat behaviour that may be affected by the proposed activity or development in terms of emergence, foraging, commuting or mating

3 Methodology

3.1 Desk study

3.1.1 Information concerning designated sites was obtained from www.magic.gov.uk.

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3.1.2 Information regarding bats previously recorded at the site or within 2km was obtained from North Yorkshire Bat Group.

3.2 Field survey

3.2.1 The following personnel took part in this survey:

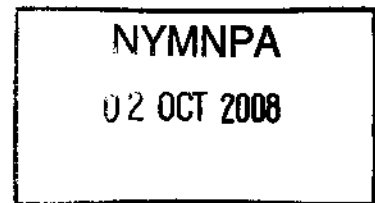
Surveyor	Natural England Licence No. or status
John Drewett BSc. (Hons.), MIEEM	20081159 (Conservation & scientific)
Val Kirk	20081982 (Conservation & scientific)

3.2.2 The following activities were carried out during this survey:

- An examination and assessment of the site and habitats present within 300m
- An examination of each building to record its main structural features and condition and to identify features that may be suitable for roosting bats
- The making of a photographic record of the site, its features and any evidence of bats to illustrate the findings in this report
- A detailed check of the interior and exterior of buildings to look for bat droppings; feeding remains such as moth & butterfly wings; live bats; dead bats; stains and marks on surfaces indicating regular use by bats
- Weather conditions were recorded

3.2.3 The following equipment was used in conducting this survey:

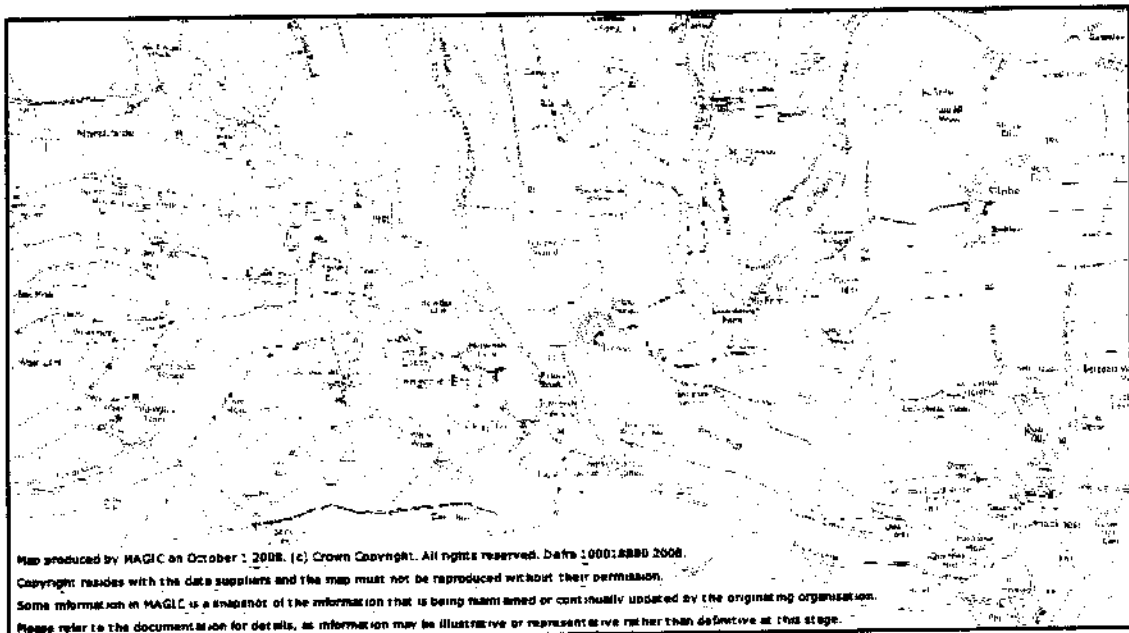
- Digital camera
- Powerful torch



4 Results

4.1 Desk study

4.1.1 The map below shows the location of sites designated for their conservation interest within the vicinity of the site. The sites marked in green are geological Sites of Special Scientific Interest and were not notified for reasons of bat conservation.



4.1.2 The following records of bats previously recorded within 2km of the site were supplied by North Yorkshire Bat Group.

Species	Site	Grid ref.	Date	Comment
Pipistrelle species	Troutdale	SE925893	24 Jun 1978	
Pipistrelle species	Troutdale Lodge, Hackness	SE925894	24 May 2000	Summer roost
Soprano Pipistrelle	River Derwent, Wrench Green	SE968892	18 Jun 2002	Flying
Unknown	River Derwent, Wrench Green	SE968892	18 Jun 2002	Flying
Soprano Pipistrelle	Wrench bridge	SE968892	18 Jun 2002	In flight
Pipistrelle species	Timkers' Revel, Bailey Close, Bickley, Langdale End	SE9391	08 Dec 1986	Bats killed or injured during demolition work
Soprano Pipistrelle	Low Dale Farm, Hackness, Scarborough	SE955916	05 Jul 2001	Summer roost
Soprano Pipistrelle	12 Hackness Village	SE965900	2007	Summer roost
Daubenton's Bat	Lake at Hackness	SE968902	2007	
Brown Long-eared Bat	Hackness	SE968906	17 Aug 1987	
Brown Long-eared Bat	Hackness	SE968906	02 Oct 2002	

4.1.3 The owner believes that bats may use the main house roof at Hillcrest.

4.2 Field survey

4.2.1 A description of the building is given below along with information about any evidence of bats found within and potential for roosting bats.

Building type	Wall	Roof	Evidence of bats	Bat roost potential	Comments
Garage / workshop	Stone and concrete block cavity wall. Well pointed.	Insulated wood and metal flat roof.	None.	Very low. There is a small crevice in the lintel at the west end, but this is covered in cobwebs and shows no sign of having been used by bats.	The building was only constructed in the past two years. There are soffits with some gaps behind but the soffit boxes are not enclosed on the interior of the building.

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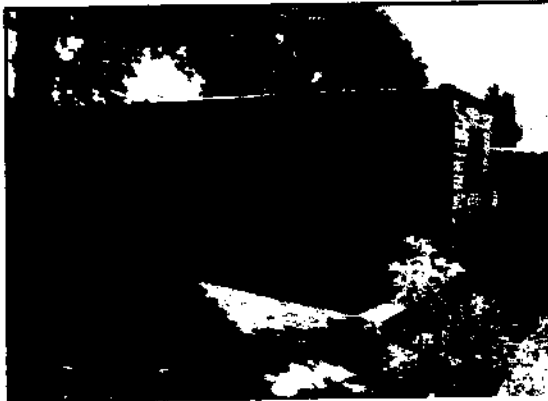


Fig. 2 Existing building



Fig. 3 Gaps in lintel at west end



Fig. 4 Interior of building



Fig. 5 Local habitat

- 4.2.2 The building is linked to an existing annexe of the house. This area is single storey with a pitched pantile roof that is underdrawn and insulated. There are no visible potential access points between tiles or ridge tiles on this roof. If the proposed project is undertaken a new pitched roof will be tied in to the west side of this roof.

5 Assessment

5.1 Summary and evaluation of findings

- 5.1.1 The survey site is located in a rural hamlet within the North York Moors National Park. There is extensive woodland in the area, which is likely to be of high bat conservation interest. At least three species of bat have previously been recorded within 2km of the survey site. Whilst no bats have previously been recorded in Broxa, existing records have largely been compiled as a result of calls from the public, so they do not represent a comprehensive assessment of the local bat fauna. At least one bat roost is likely to be present in the hamlet.
- 5.1.2 The surveyed building has only been constructed in recent times. There is no bat roost potential in the roof and the soffits have no current potential as they are not boxed in on the interior. The only current bat roost potential is in the crevices above the west window, but there is no evidence that this is used by bats.
- 5.1.3 The adjacent building into which the new roof will be tied also has very little bat roost potential. However, that situation may change with time, so it is recommended that any work to tie in the new roof is carried out in accordance with the method statement below. If bats do use the main house roof, they would not be affected by the proposed development.

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5.2 Legislation and policy guidance

5.2.1 Bats receive protection under the Wildlife and Countryside Act, 1981 (as amended) and under the Conservation (Natural Habitats &c.) Regulations, 1994 (as amended).

5.2.2 It is an offence to:-

- Deliberately capture (or take), injure or kill a bat
- Intentionally or recklessly disturb a group of bats where the disturbance is likely to significantly affect the ability of any significant group of animals of that species to survive, breed, rear or nurture their young or likely to significantly affect the local distribution or abundance of the species, whether in a roost or not
- Damage or destroy the breeding or resting place (roost) of a bat
- Possess a bat (alive or dead), or any part of a bat
- Intentionally or recklessly obstruct access to a bat roost
- Sell (or offer for sale) or exchange bats (alive or dead), or parts of bats

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5.2.3 The Convention on Biological Diversity, signed in Rio de Janeiro, Brazil in 1992, requires states to develop national strategies and to undertake a range of actions aimed at maintaining or restoring biodiversity. The UK Biodiversity Strategy was produced in response to the Convention.

5.2.4 Individual Species Action Plans (SAPs) have been developed to address the causes of decline for those species that have been identified as priorities for UK conservation action. Country-level lists contain species considered of national importance in biodiversity strategies. The current list includes Bechstein's Bat, Greater Horseshoe Bat, Lesser Horseshoe Bat, Barbastelle, Noctule, Soprano Pipistrelle and Brown long-eared bat. At a more local level there are Local Biodiversity Action Plans for smaller geographical areas which may cover a greater or lesser range of bat species.

5.2.5 In England & Wales, the Natural Environment and Rural Communities (NERC) Act, 2006 imposes a duty on all public bodies, including local authorities and statutory bodies, in exercising their functions, "to have due regard, as far as is consistent with the proper exercise of those functions, to the purpose of conserving biodiversity". It notes that "conserving biodiversity includes restoring or enhancing a population or habitat".

5.2.6 Where it is proposed to carry out works which will have an adverse impact on bats or on a bat roost, a European Protected Species (EPS) licence must first be obtained from Natural England, even if no bats are expected to be present when the work is carried out.

5.2.7 An EPS licence application requires details of the proposed works, the bats which may be affected and the mitigation proposed to maintain the favourable status of bats in the region. The application is usually drawn up on behalf of the client by a specialist ecological consultant. The consultant is likely to be required to check that work is proceeding in accordance with the method statement and to also carry out monitoring of the impact on bats for sometime after completion of the works.

5.2.8 When considering an application, the Natural England licensing section may consult with the local planning authority and specialist conservation staff. This process may take a considerable length of time. Natural England presently states that it aims to make a decision on an application within 30 working days of receipt. There is no guarantee that a licence will be granted and no fast track process to obtaining a licence. Applications can only be made once planning permission has been granted (where appropriate).

5.2.9 EPS licences can only be issued if Natural England is satisfied that there is no satisfactory alternative to the development and that the action authorised will not be detrimental to the maintenance of the population of the species at a favourable conservation status in their natural range.

5.2.10 PPS9: Biodiversity and Geological Conservation is the relevant national planning statement in relation to protected species. It provides guidance on how the Government's policies on nature conservation should be implemented through the land use planning system. PPS9 states that "the aim of planning decisions should be to prevent harm to biodiversity and geological conservation interests. Where granting planning permission would result in significant harm to those interests, local planning authorities will need to be satisfied that the development cannot reasonably be located on any alternative sites that would result in less or no harm. In the absence of any such alternatives, local planning authorities should ensure that... adequate mitigation measures are put in place... If that significant harm cannot be prevented, adequately mitigated against, or compensated for, then planning permission should be refused.

6 Mitigation method statement

Work requiring mitigation	Reason for mitigation	Advice and methodology to follow
Tie in new roof to existing roof	To minimise risk of death or injury to bats	The new roof should be tied into the existing adjoining roof only during September to April inclusive. At this time of year there is least likelihood of bats being encountered. When removing tiles from the existing roof this must be done by hand and the undersides carefully checked for the presence of bats. If any bats are found work MUST STOP and further advice be sought.

7 Brief summary of bat biology

- 7.1.1 Bats are the only mammals to have developed powered flight. They are the second largest group of mammals in the world, with almost 1000 different species. In Britain 17 species occur, with the variety generally declining northwards. All British bats feed solely on invertebrates.
- 7.1.2 British bats live in crevices in trees, caves, buildings, bridges, tunnels and other structures. They are long-lived animals which use roost sites to which they return in subsequent years. In summer females are generally colonial, each species gathering together in warm maternity roosts to give birth to their single young. Males often spend the summer singly or in smaller groups. Bats may use several different roosts over a summer, moving between sites depending on prevailing weather and other conditions.
- 7.1.3 In winter bats hibernate. During hibernation their body temperature falls close to the ambient temperature of their chosen hibernaculum and their heart rate and metabolism drop dramatically. In this state they use little energy, allowing them to survive until spring on their fat reserves. They are very sensitive to temperature changes which cause them to wake, a process which uses considerable energy. Repeated arousal in winter can threaten their survival. Many species hibernate in cool, stable underground sites such as caves and tunnels.
- 7.1.4 For more than 50 years bats have undergone a major decline in numbers. The reasons for these declines are many and varied, but include destruction of roost sites, a reduction in insect prey and direct and indirect poisoning from toxic chemicals. Even our commonest species, the Pipistrelle bats, have declined by more than 60% in recent years.
- 7.1.5 The survival of a colony of bats depends on there being a range of suitable summer roost sites, hibernation sites and feeding areas within a reasonable distance. For most species, these various sites must be linked by a more or less continuous network of linear features such as rivers, woodland edges and hedgerows, along which the bats commute from place to place (Limpens & Kapteyn 1991).

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 02 OCT 2008
 Date produced: 01/10/08

8 References

- Anon (2005) *Planning Policy Statement 9: Biodiversity & Geological Conservation*, Office of the Deputy Prime Minister
- Bat Conservation Trust (2007) *Bat Surveys – Good Practice Guidelines*, Bat Conservation Trust, London
- Mitchell-Jones A J (2004) *Bat mitigation guidelines*, English Nature.
- Mitchell-Jones A J & McLeish A P (2004) *Bat Workers' Manual*, JNCC.

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02 OCT 2008

VALIDATION CHECKLIST

HOUSEHOLDER PERMISSION AND CONSERVATION AREA CONSENT

for works, extensions or demolition in Conservation Areas



Please complete the attached checklist to indicate what you have included with your application. All plans should include paper size, key dimensions and scale.

STANDARD REQUIREMENTS:

(1 original and 3 copies to be supplied unless the application is submitted electronically)

- | | | |
|--|---|---|
| Completed application form | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Completed Certificate of Ownership, A, B, C or D as required by Article 7 of the Town and Country Planning (General Development Procedure) Order 1995. | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Agricultural Holdings Certificate as required by Article 7 of the Town and Country Planning (General Development Procedure) Order 1995 | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Location Plan at a scale of 1:2500 or 1:1250 with your application site edged red and any other land in your ownership edged in blue. | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Existing site layout plans at a scale of 1:500, 1:200 or 1:100 showing the site in relation to existing buildings and site boundaries. The plan should indicate where existing features of the site are located including existing buildings (indicating proposed demolitions), trees (identifying any proposed felling), means of access and type of enclosure (wall, fence, hedges) and shall show adjacent properties/buildings. | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Proposed site layout plans at a scale of 1:500, 1:200 or 1:100 | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Existing and proposed elevations to a scale of 1:50 or 1:100 Requirements dependent on position of extension eg. no front elevation required for rear extension etc. | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Existing and proposed floor plans to a scale of 1:50 or 1:100 For each floor ie, ground and first floor plans required for two storey extension | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Roof Plans to a scale of 1:50 or 1:100 If proposed development alters the existing roof | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Existing and proposed site sections and finished floor level and site levels to a scale of 1:50 or 1:100 | YES <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> |
| Design and Access Statement | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Application fee
Please consult our enclosed Schedule of Fees. Cheques are to be made payable to NYMNP | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> |
| Manufacturers specification/leaflet, for proposals incorporating plant/machinery (swimming pools/wind turbines) | YES <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> |

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ADDITIONAL REQUIREMENTS (where likely to be relevant to the development proposed)

Biodiversity Survey and Report

YES

N/A

Structural Survey

YES

N/A

Flood Risk Assessments/ Sequential Test (flood zones)

YES

N/A

Tree Survey/Arboriculture Assessment

YES

N/A

Where ground based works within 2 metres of the crown spreads of any trees covered by Tree Preservation Order or tree located in a village Conservation Area

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GUIDANCE NOTES

Householder Planning Permission and Conservation Area Consent

For works, extensions or demolition within a Conservation Area



These notes have been written to help you with the submission of your planning application.

Application Forms

Please submit 1 original and 3 copies ensuring that all parts of the form are completed and the form is signed and dated unless submitted electronically.

Certificate of Ownership

Certificate A - should be completed when the applicant is the sole owner of the land subject to the application or has a lease with at least 7 years to run

Certificate B - should be completed when the land has shared ownership or if another person other than the applicant owns the land. Notice(s) as required by Article 6 of the Town and Country Planning (General Development Procedure) Order 1995 must be given.

Certificate C - should be completed when one or some of the owners are known but others cannot be identified. Notice(s) as required by Article 6 of the Town and Country Planning (General Development Procedure) Order 1995 must be given and/or published in accordance with this Article (local paper)

Certificate D - should be completed when none of the owners are known. Notice(s) as required by Article 6 of the Town and Country Planning (General Development Procedure) Order 1995 must be given and/or published in accordance with this Article.

Agricultural Holdings Certificate

You must complete either A or B. If part B has been completed, notice must be served on all tenants of the land in question

Location Plan

This plan is required to enable the planning authority to locate the site and it's surrounding. This would normally be to a scale of 1:2500 or 1:1250, preferably an Ordnance Survey base map or at the very least show a minimum of two street names and show the direction north. The application site should be outlined in red and any other land within the same ownership outlined in blue. If the proposal involves a new access ensure that the entire access and site lines for the access are included within the red line, (if the sight line includes land within the ownership of a third party please ensure that the correct certificate is completed). If the site is isolated it is also helpful to submit a plan at a smaller scale in addition to that submitted above.

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Important Information

The plans submitted as part of any application considered by the Planning Committee will be scanned/photographed and possibly used in a slide presentation of the scheme. It is essential, therefore, that the plans are sufficiently clear so that the details of the proposal can be easily seen when projected onto the screen.

If the plans are not clear resulting from for example, discoloured paper or particularly fine line drawings it may be difficult for Members of the Committee to appreciate fully the details of the scheme which could result in a delay in the determination of an application if Members consider it appropriate to seek further clarification of aspects of the development proposed. Please try to ensure that submitted plans are clear and that they meet the requirements set out in this Guidance Note.

Existing and proposed site layout plans

This is to allow neighbours to view the plans at a larger scale, identifying the position of buildings within the site in relation to their own properties. It can be difficult to assess the potential implications that the proposal might have at a smaller scale. The plan should be to a scale of 1:100, 1:200 or 1:500, showing the site in relation to existing buildings and site boundaries. It should indicate where existing features of the site are located including existing buildings (indicating proposed demolitions), trees (identifying any proposed felling), means of access and type of enclosure (wall, fence, hedges) and shall show adjacent properties/buildings

Other drawings relevant to the application

Detailed drawings must be submitted to a scale of 1:100 or larger showing elevations, sections, floor plans and layouts of the proposed works together with existing and proposed ground levels and floor levels. Drawings shall include both existing and proposed details. It is a legal requirement that all measurements must be in metric and not imperial. Any drawing submitted using solely imperial measurements will not be accepted and will be returned for metric conversion.

Design and Access Statement

Required for all applications except for:

- Material Change of Use of land or buildings, unless it also involves operational development
- Engineering or mining operations

The Design and Access Statement should address the design principles and concepts that have been applied to the proposed development and how the issues relating to the access have been addressed.

See the Authority's website for general advice and website links to detailed advice.

Application fee

Please see the fee sheet supplied for the correct fee. Cheques are to be made payable to NYMNPA

Manufacturers specification/leaflet, for proposals incorporating plant/machinery (swimming pools/wind turbines)

Please highlight the exact information within the leaflet that relates to the development proposal Please also see the Authority's website for Planning Advice Note 3 Renewable Energy

<http://www.moors.uk.net/uploads/publication/6245.pdf>

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Biodiversity Survey and Report (Nature Conservation and Ecological Assessment)

Where a proposed development may have possible impacts on wildlife and biodiversity, information should be provided on existing biodiversity interests and possible impacts on them to allow full consideration of those impacts. Where proposals are being made for mitigation and/or compensation measures information to support those proposals will be needed. Where appropriate, accompanying plans should indicate any significant wildlife habitats or features and the location of habitats of any species protected under the Wildlife and Countryside Act 1981, the Conservation (Natural Habitats etc) regulations 1994 or the Protection of Badgers Act 1992. Applications for development in the countryside that will affect areas designated for their biodiversity interests are likely to need to include assessments of impacts and proposals for long-term maintenance and management. This information might form part of an Environmental Statement, where one is necessary. Certain proposals which include work such as demolition of older buildings or roof spaces, removal of trees, scrub, hedgerows or alterations to water courses may affect protected species and will need to provide information on them, any potential impacts on them and any mitigation proposals for such impacts. Government planning policies for biodiversity are set out in Planning Policy Statement 9. Biodiversity and Geological Conservation (PPS9) (August 2005), PPS 9,

www.communities.gov.uk/documents/planningandbuilding/pdf/147408 is accompanied by Government Circular: Biodiversity and Geological Conservation – Statutory obligations and their impact within the planning system (ODPM Circular 06/2005, Defra Circular 01/2005, www.communities.gov.uk/documents/planningandbuilding/pdf/147570 and Planning for Biodiversity and Geological Conservation: A Guide to Good Practice, www.communities.gov.uk/documents/planningandbuilding/pdf/143792

See also the Authority's website for Planning and Biodiversity – Advice Note 2
<http://www.moors.uk.net/uploads/publication/6244.pdf>

Flood Risk Assessments/ Sequential Test (flood zones)

This is required to demonstrate how flood risk from all sources of flooding to the development itself and flood risk to others will be managed now and taking climate change into account. Planning Policy Statement 25: development and Flood Risk (PPS25),

www.communities.gov.uk/documents/planningandbuilding/pdf/planningpolicystatement25 provides comprehensive guidance in relation to the undertaking of flood risk assessments and the responsibilities for controlling development where it may be directly affected by flooding or affect elsewhere.

Further advice and guidance relating to Flood Risk assessments and Sequential Tests can be found at www.pipernetworking.com/floodrisk/matrix.html.

Tree Survey/Arboriculture Assessment

Where there are trees within the application site, or land adjacent to it that could influence or be affected by the development (including street trees), information will be required on which trees are to be retained and on the means of protecting these trees during construction works. A suitably qualified and experienced arboriculturalist should prepare this information. The information provided with the application must be in accordance with British Standard 5837:2005 Trees in relation to construction – Recommendations. Copies of the British Standard can be obtained from The British Standards Institute at www.bsonline.bsi-global.com

See also the Authority's website for Planning Advice Note 1 – Trees and Development
<http://www.moors.uk.net/uploads/publication/5855.pdf>

Structural Survey

A structural survey may be required in support of an application if the proposal involves substantial demolition, for example, barn conversion applications.

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