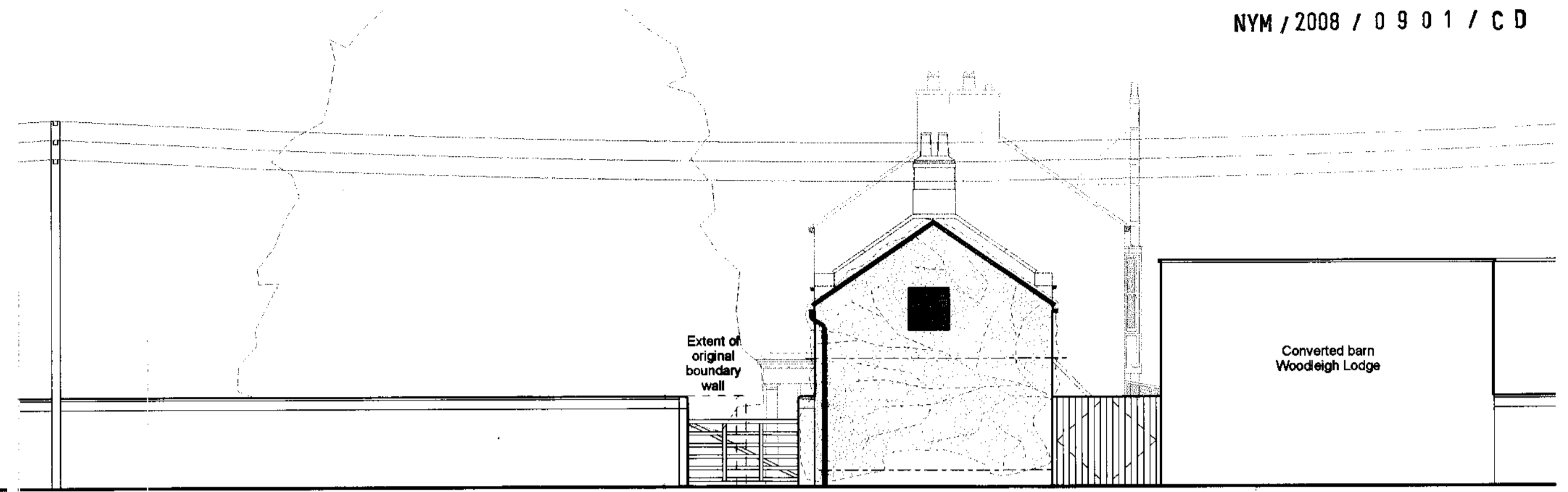
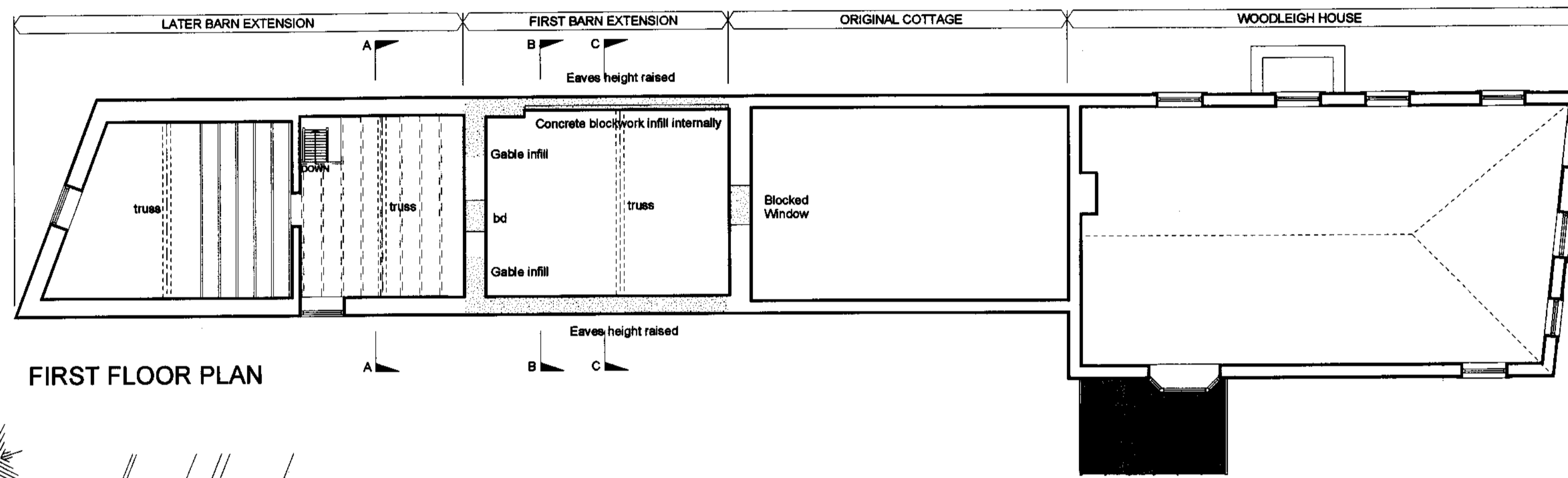


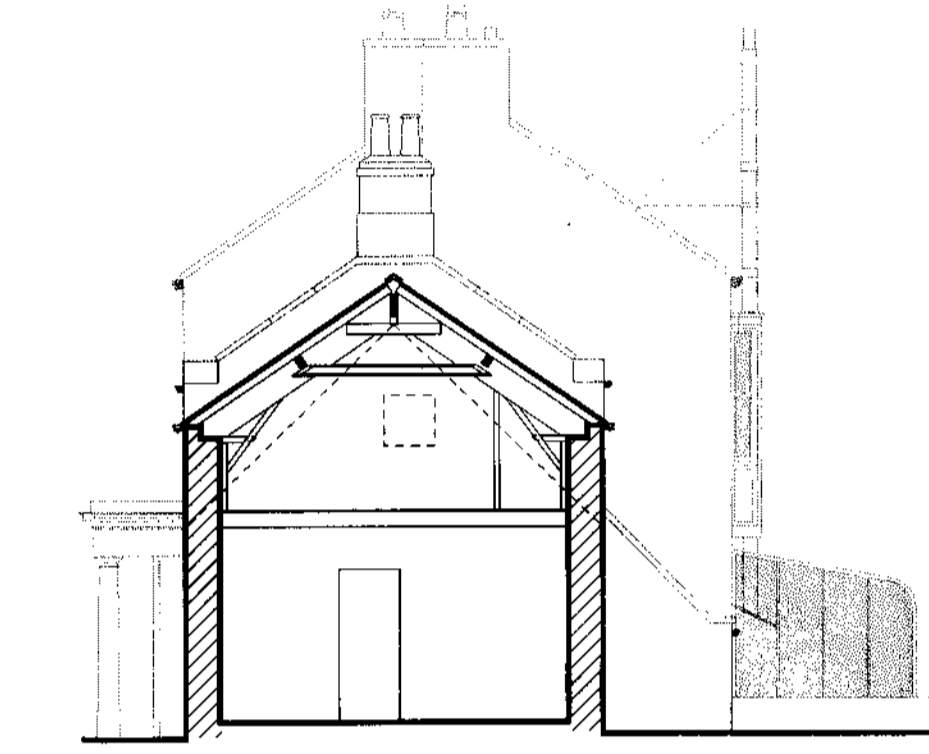
EAST ELEVATION



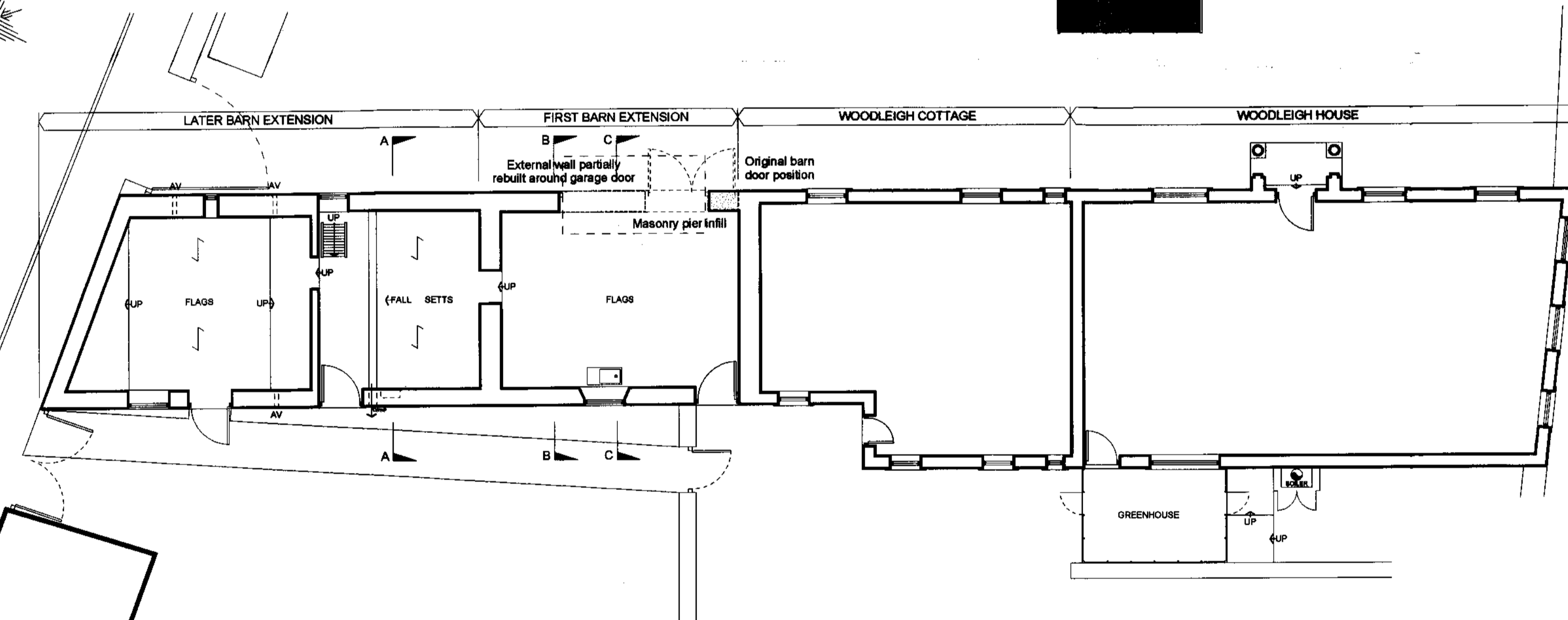
NORTH ELEVATION



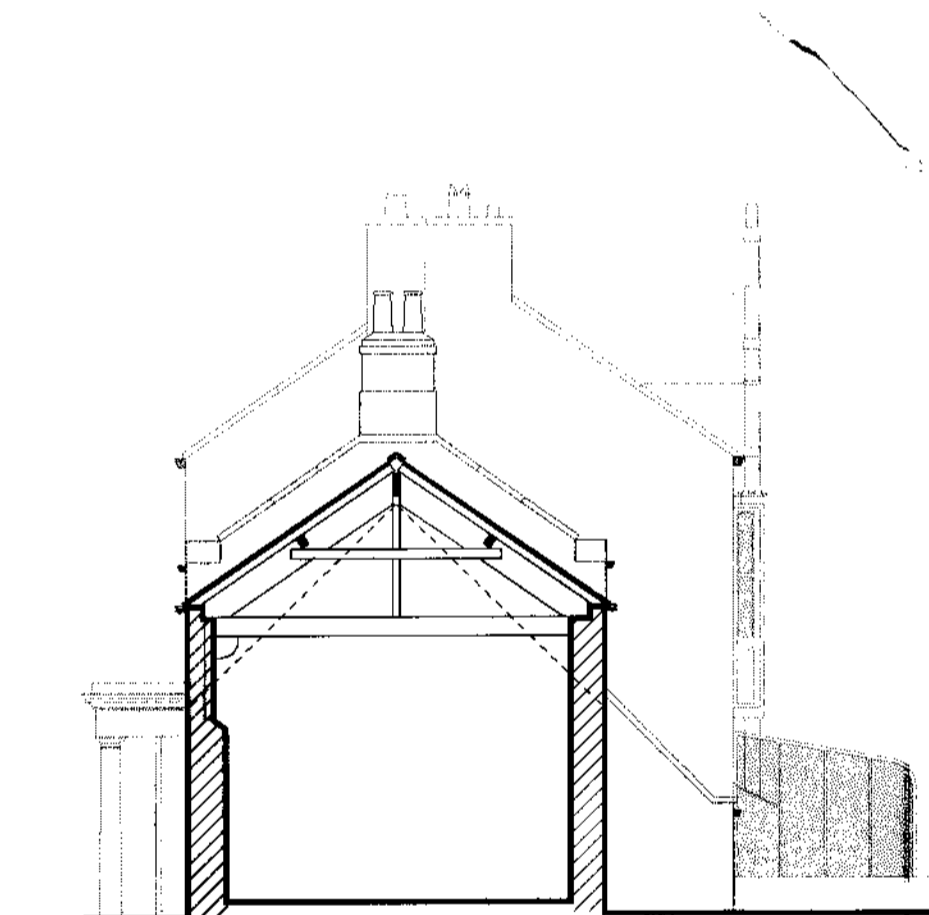
FIRST FLOOR PLAN



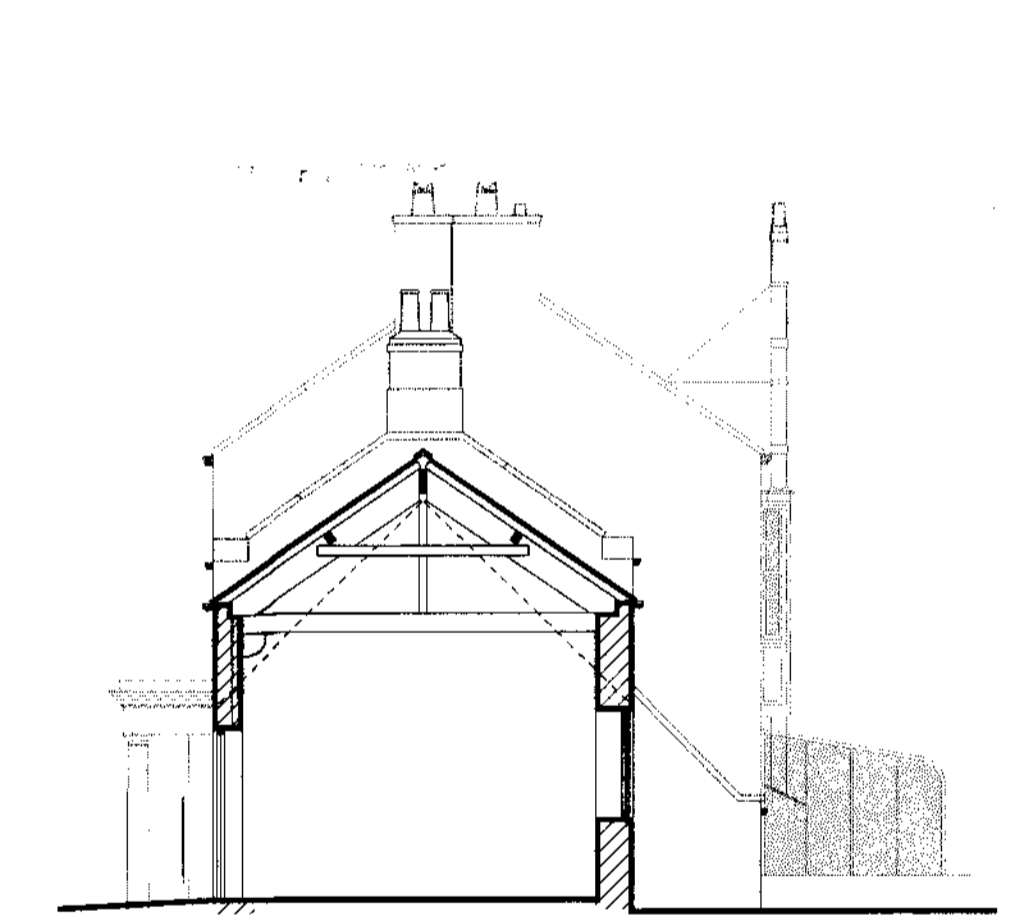
SECTION A-A



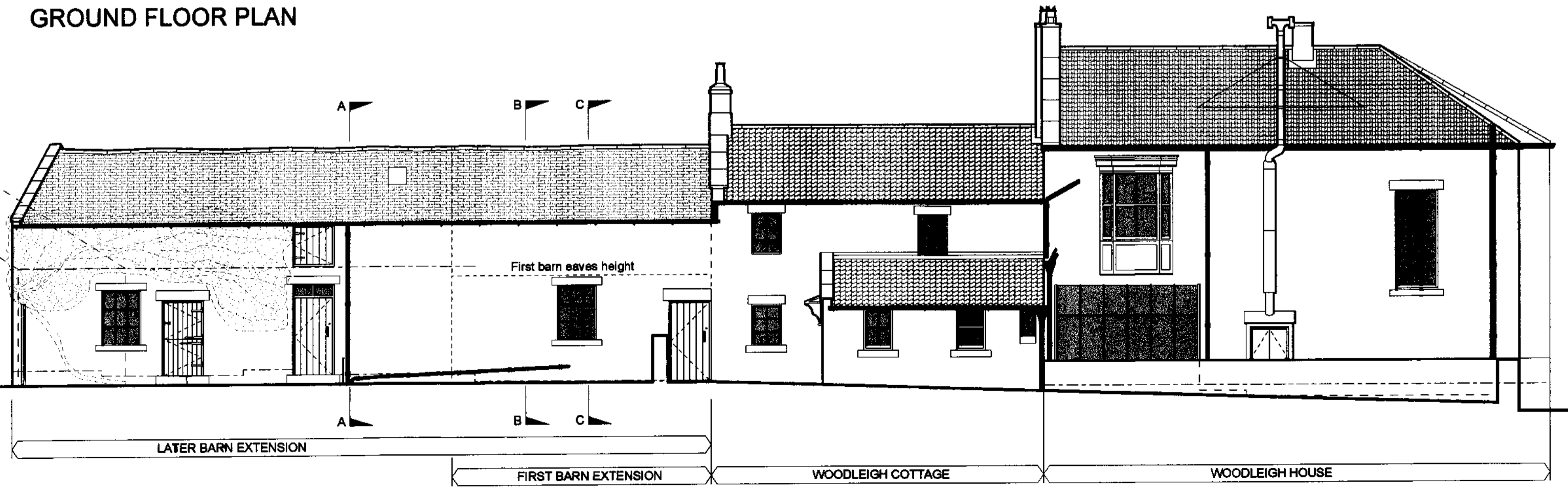
GROUND FLOOR PLAN



SECTION B-B



SECTION C-C



WEST ELEVATION



SOUTH ELEVATION

NYMNP  
05 DEC 2008

**W.H.P**

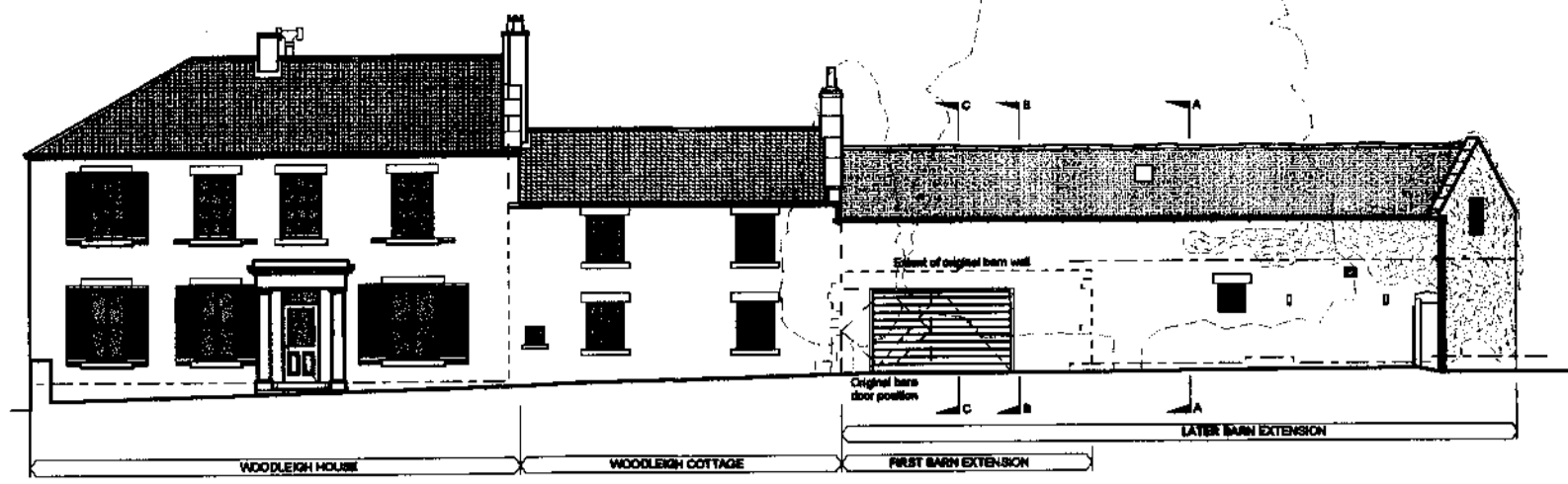
CLIENT  
MR A LITTLE

PROJECT  
WOODLEIGH HOUSE AND BARN, AISLABY

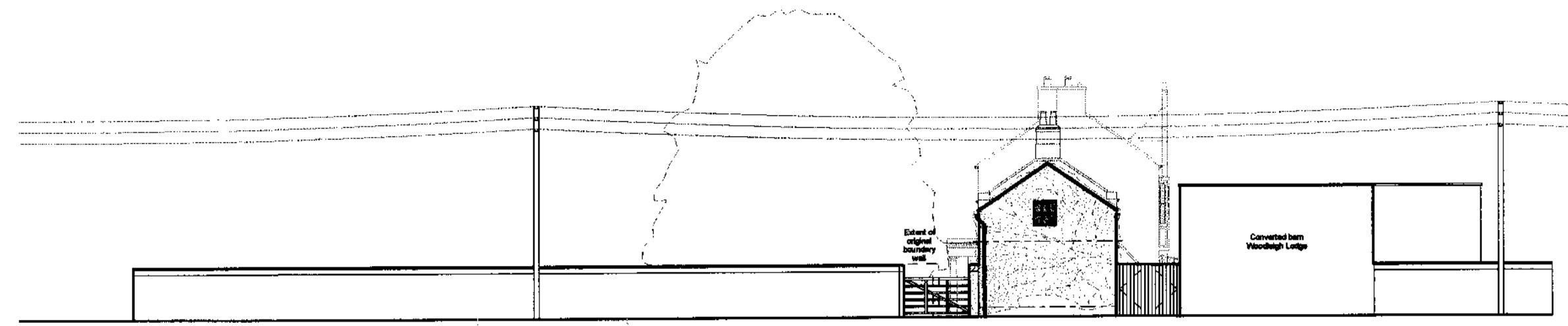
DRAWING TITLE  
EXISTING FLOOR PLANS & ELEVATIONS

JOB NO 3523	DRG NO 102	REV -	SCALE A1	DATE 24 11 08
----------------	---------------	----------	-------------	------------------

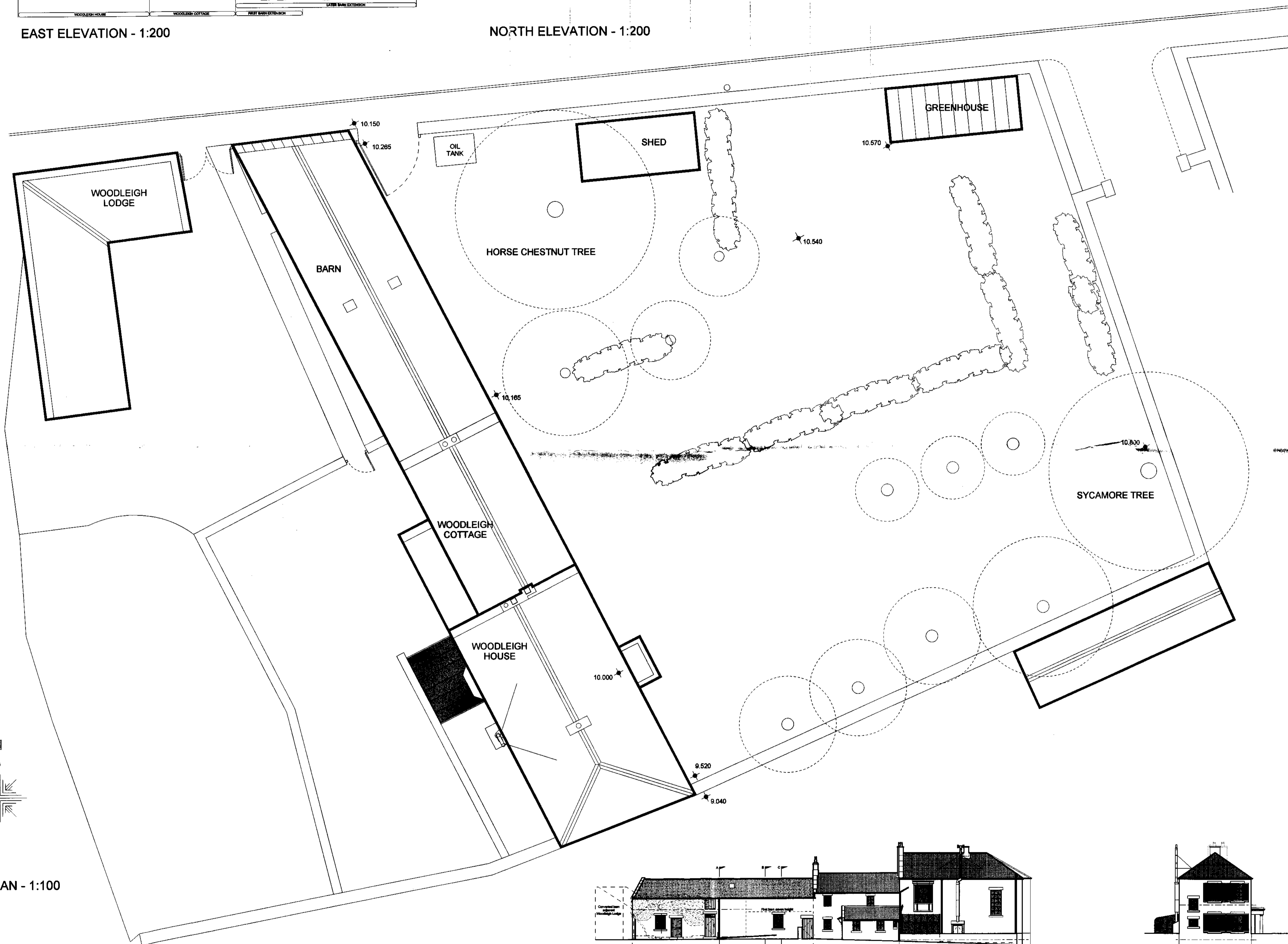
This drawing is the property and copyright of Watson Horsfall Partnership LLP, Shepley, Huddersfield. Tel: 01484 602377, fax: 01484 602723, email: enquiries@watsonhorsfall.co.uk and must not be amended or reproduced without written consent. Do not scale. Use only figured dimensions, and report any anomalies.



EAST ELEVATION - 1:200



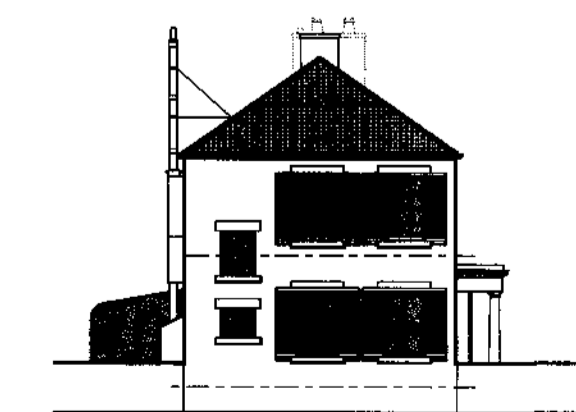
NORTH ELEVATION - 1:200



SITE PLAN - 1:100



WEST ELEVATION - 1:200



SOUTH ELEVATION - 1:200

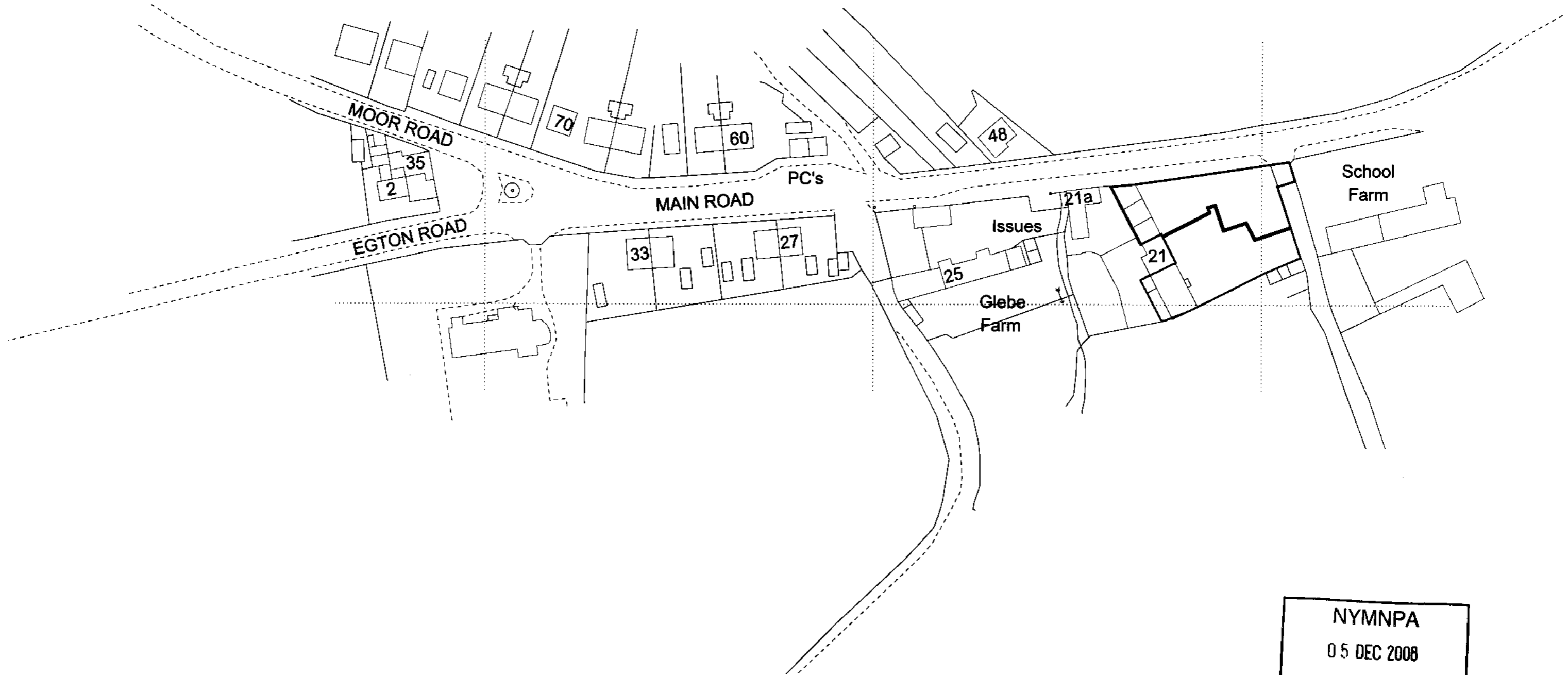
NYMNP  
05 DEC 2008

**W.H.P**

CLIENT  
MR A LITTLE  
PROJECT  
WOODLEIGH HOUSE AND BARN, AISLABY  
DRAWING TITLE  
EXISTING SITE PLAN & ELEVATIONS

JOB NO	DRG NO	REV	SCALE	A1	DATE
3523	101	-	AN		24 11 08

This drawing is the property and copyright of Walton Horsfall Partnership LLP, Shepley, Huddersfield, tel. 01484 802377, fax. 01484 802373, email enquiries@waltonhorsfall.co.uk and must not be amended or reproduced without written consent. Do not scale. Use only figured dimensions, and report any anomalies.



W.H.P

CLIENT MR A LITTLE		DRAWING TITLE LOCATION PLAN			
PROJECT WOODLEIGH HOUSE AND BARN, AISLABY	JOB NO 3523	DRG NO 100	REV -	SCALE @ A3 1000	DATE 24 11 08



Grid ref NZ85889, 08626

NYM / 2008 / 0901 / CD

North York Moors National Park Authority  
The Old Vicarage  
Bondgate  
Helmsley  
York  
YO62 5BP

08/0901 pt.1

Telephone: 01439 770657  
Email: dc@northyorkmoors-npa.gov.uk  
Website: www.moors.uk.net

### Application for conservation area consent for demolition in a conservation area. Planning (Listed Buildings and Conservation Areas) Act 1990

#### Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

1. Applicant Name and Address				2. Agent Name and Address			
Title:	MR	First name:	ANDREW	Title:	—	First name:	—
Last name:	LITTLE			Last name:	—		
Company (optional):	—			Company (optional):	WALTON HORSFALL PARTNERSHIP LLP		
Unit:	—	House number:	—	House suffix:	—	House number:	18
			—	House suffix:			A
House name:	WINDY HOOK			House name:	—		
Address 1:	BRACKEN HILL LANE			Address 1:	ABBY ROAD, NORTH		
Address 2:	SLEIGHTS			Address 2:	SHELLEY		
Address 3:				Address 3:			
Town:	WHITBY			Town:	HUDDERSFIELD		
County:	NORTH YORKSHIRE			County:	WEST YORKSHIRE		
Country:	ENGLAND			Country:	ENGLAND		
Postcode:	YO22 5ER			Postcode:	HD8 8EP		

### 3. Description of Proposed Works

Please describe the proposed works:

CONVERSION OF WOODLIECH BARN INTO A PRIVATE RESIDENCE, INCLUDING THE DEMOLITION OF A 3.6M SECTION OF THE LISTED BOUNDARY WALL, TO FORM A NEW VEHICULAR ACCESS.

NYMNPA  
05 DEC 2008

**3. Description of Proposed Works (continued)**

Has the work already started?  Yes  No

If Yes, please state the date when the work was started (DD/MM/YYYY):

(date must be pre-application submission)

Has the work been completed?  Yes  No

If Yes, please state the date when the work was completed (DD/MM/YYYY):

(date must be pre-application submission)

**4. Site Address Details**

Please provide the full postal address of the application site.

Unit:  House number:  House suffix:

House name: **WOOLIEGH HOUSE BARN**

Address 1: **21 MAIN ROAD**

Address 2: **AISLABY**

Address 3:

Town: **WHITBY**

County: **NORTH YORKSHIRE**

Postcode (optional): **YO21 1SW**

Description of location or a grid reference. (must be completed if postcode is not known):

Easting:  Northing:

Description:

**6. Related Proposals**

Are there any current applications, previous proposals or demolitions for the site?  Yes  No

If Yes please describe and include the planning application reference number(s), if known:

Description	Reference number
<b>CURRENT PLANNING APPLICATION</b>	<b>-</b>
<b>LIMITED BUILDING CONSIST APPLICATION</b>	<b>-</b>

**7. Pre-application Advice**

Has assistance or prior advice been sought from the local authority about this application?  Yes  No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much as possible:

Officer name: **ANDREW MUIR**

Reference: **ENR 4043**

Date (DD/MM/YYYY): **22.07.2008**  
(must be pre-application submission)

Details of pre-application advice received?  
**PRINCIPLE ACCEPTABLE - DETAILS REQUIRE SATISFACTORY RESOLUTION.**

**8. Neighbour and Community Consultation**

Have you consulted your neighbours or the local community about the proposal?  Yes  No

If Yes please provide details:

**MR. B. A. WILSON, SCHOOL HOUSE, MAIN ROAD, AISLABY, OWNS PROPOSED HIGHWAY ACCESS. MR. WILSON DOES NOT OBJECT TO THE PROPOSAL.**

**9. Council Employee / Member**

Is the applicant or agent related to any member of staff or elected member of the Council?  Yes  No

If Yes, please provide details:  
**NYMNP**  
**05 DEC 2008**

**10. Explanation for Proposed Demolition Work**

Why is it necessary to demolish all or part of the building(s) and/or structure(s)?

**NECESSARY TO FORM A NEW, SHARED VEHICULAR ACCESS TO THE SITE, AS EXISTING ACCESS INHIBITS THE SATISFACTORY DEVELOPMENT OF THE BARN AS A SEPARATE PRIVATE RESIDENCE.**

**11. Certificates (continued)**

**CERTIFICATE OF OWNERSHIP - CERTIFICATED**

**Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990**

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

The steps taken were:

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date DD/MM/YYYY:

**12. Planning Application Requirements - Checklist**

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

- |  |                                     |   |                                     |
|--|-------------------------------------|---|-------------------------------------|
| 3 copies of a completed and dated application form:  | <input checked="" type="checkbox"/> | 3 copies of other plans and drawings or information necessary to describe the subject of the application: | <input checked="" type="checkbox"/> |
| 3 copies of a plan which identifies the land to which the application relates and drawn to an identified scale and showing the direction of North: | <input checked="" type="checkbox"/> | 3 copies of the completed dated Ownership Certificate (A, B, C, or D - as applicable):                    | <input checked="" type="checkbox"/> |

**13. Declaration**

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

03.12.2008

(date cannot be pre-application)

**14. Applicant Contact Details**

Telephone numbers

Country code:	National number:	Extension number:
<input type="text"/>	<input type="text"/>	<input type="text"/>

Country code:	Mobile number (optional):
<input type="text"/>	<input type="text"/>

Country code:	Fax number (optional):
<input type="text"/>	<input type="text"/>

Email address (optional):

**15. Agent Contact Details**

Telephone numbers

Country code:	National number:	Extension number:
<input type="text"/>	<input type="text"/>	<input type="text"/>

Country code:	Mobile number (optional):
<input type="text"/>	<input type="text"/>

Country code:	Fax number (optional):
<input type="text"/>	<input type="text"/>

Email address (optional):

**16. Site Visit**

Can the site be seen from a public road, public footpath, bridleway or other public land?  Yes  No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

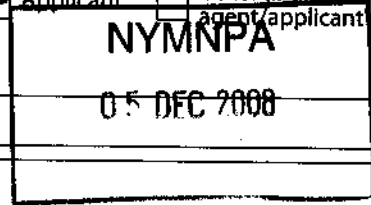
- Agent  Applicant  Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name:

Telephone number:

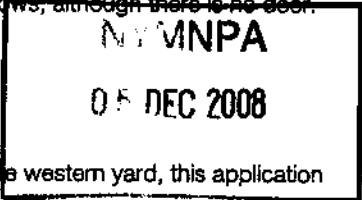
Email address:



3523 WOODLEIGH HOUSE AND BARN, AISLABY, NORTH YORKSHIRE  
 PLANNING APPLICATION DESIGN & ACCESS STATEMENT

1.00 INTRODUCTION

- 1.01 Informal consultation with North York Moors National Park Authority has been in progress regarding this proposal since January 2008, and the relevant correspondence should be reviewed with this application.
- 1.02 Whilst the informal consultation included work to Woodleigh House, this application is restricted to the conversion of Woodleigh Barn into a separate private residence, but does impact on the setting and external spaces around the house.
- 1.03 The applicant Mrs.J.Little has lived at Woodleigh House for 38 years and is recently widowed. The large unmodernised house is now completely unsuitable for her continued occupation, although she wishes to remain close to her family and roots. Conversion of the barn and the subsequent sale of Woodleigh House would satisfy these needs and provide financial security.
- 1.04 We acknowledge that this relocation may be relatively short term, but feel that the planning authority should, where it can also safeguard the general interest, support the natural progression of village communities. These buildings exhibit the usual signs of change and development over a long period, and this proposal should be considered as a further step along that route, subject to the proper respect for their architectural and landscape attributes.
- 1.05 The satisfactory achievement of this objective is complicated by the current ownership arrangement. Woodleigh Cottage, at the centre of the linear group, and Woodleigh Lodge now own the original working yard to the west, with Woodleigh House and Barn retaining right of way to four doors, and overlooking the yard from several windows, whilst sharing the garden to the east. This garden is, in turn, overlooked by the Cottage rear windows, although there is no door.

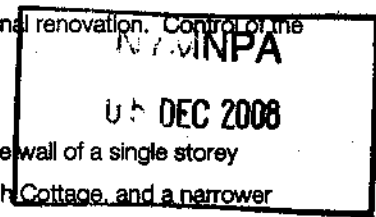


2.00 DESIGN

- 2.01 Notwithstanding the fact that the Barn was designed to address the western yard, this application proposes to reverse the orientation, to resolve the unsatisfactory ownership arrangement
- 2.02 The Barn's original function and relationship to the yard will not be concealed by this proposal, as all existing openings are retained, but the doors become fixed panels and the windows receive obscured glazing. The detail design and materials for these elements may be traditional, and suitably 'weathered', although subject to normal maintenance.
- 2.03 The eastern, or garden elevation of the barn had fewer openings; double doors in place of the enlarged, modern garage door, and two small windows. The proposed layout adds one single

door opening, one double door opening, and one small landing window. The window would be the only alteration clearly visible over the listed boundary wall, and the Barn would retain its solid, agricultural character, viewed from Main Road.

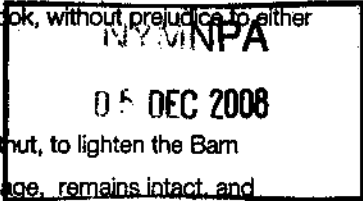
- 2.04 Within the boundary wall, the proposed glazed extension would be a clear and unequivocal indication that the building no longer has an agricultural function, but, equally, would allow full appreciation of the original structure, and it's relationship to the cottage and house.
- 2.05 The design of the shallow, ground floor extension, as a simple, planar oak frame, set 900mm in front of the Barn elevation, and linked to the original structure only by light glazing, makes reference to rustic carpentry, but is also intended as a positive indicator of continuing development. A contemporary transparent layer over earlier layers of modification.
- 2.06 The proposed extension is located to sit over the inappropriate garage door, which becomes a simple opening in the barn wall, and the new entrance opening also falls within the extension frame. The proposed Kitchen door opening, and the landing window are constructionally, consistent with the Barn walls, and would be detailed accordingly.
- 2.07 The remaining proposed alteration to the external envelope, would be the introduction of two roof lights to the western roof pitch, set flush with the slates, (see attached details).
- 2.08 In addition to these envelope modifications, the Barn would be re-roofed, using the existing blue slates, with reclaimed replacements as necessary, on counter battens and thermal insulation over sarking boarding on the repaired/replaced rafters and trusses, which would be largely exposed to internal view.
- 2.09 Replacement cast iron rainwater goods, and essential masonry and pointing repairs, preserving the weathered patina of the existing walls, would complete the external renovation. Control of the existing ivy growth would be preferred to removal.
- 2.10 Internally, the Barn is subdivided into three bays, by the original gable wall of a single storey building, attached to the northern gable of the pre-existing Woodleigh Cottage, and a narrower partition wall, being part of the later, and taller structure, with loft floor, which was extended over the former, raising the eaves to provide a continuous roofline. It is not clear if any loft floor was supported in the first bay, as the outer wall has been largely rebuilt with modern blockwork, when the garage door was inserted, but the roof must have been raised for a purpose, and the doors were never tall enough to utilise the increased height for large loads.
- 2.11 The proposed internal layout is based on the existing sub-division, with staircase and landing void allowing appreciation of the full section of the building, including the roof profile, from the ground floor.



The roof structure would be exposed over the majority of the first floor area. (see 3523.104).



- 2.12 Re-use of existing paving flags, and exposure of the combed masonry in the Entrance Hall, together with the retention of some of the existing loft floor members, loft ladder and handrail will exhibit the history of the building, subject to detailed survey and proposals, which might usefully be conditioned.
  
- 2.13 The Barn conversion proposals may be satisfactory in terms of the internal spatial arrangement, but suitability for occupation, and its relationship with Woodleigh House, is dependent upon the organisation of the external spaces.
  
- 2.14 The current pedestrian and vehicular access to Woodleigh House, across the face of the Barn, is not consistent with the objective of creating a socially desirable new dwelling. Nor would it be beneficial to the house to encroach so severely upon the Barn's privacy. It is therefore proposed to form a new pedestrian and vehicular access at the eastern end of the garden, breaking through the listed boundary wall with a suitably-gated opening. The material recovered from the opening would be used to reduce the existing opening to a pedestrian gate for the Barn. This arrangement was approved for a previous application in 1990 (NYM4/ 036/ 00625/ PA).
  
- 2.15 A vehicular courtyard, with six parking spaces shared by Woodleigh House and Barn is screened from both, by a new drystone wall at the height of the listed boundary wall. The height of this enclosure allows a limited view of the house and portico to be opened to Main Road again, on removal of the Cypress trees, which currently obscure this line of sight (see attached photographs).
  
- 2.16 Woodleigh House and Barn gardens would be accessed from the parking courtyard, and separated by a palisade fence. The house would, for the first time, be approached from the east, making best use of the portico elevation.
  
- 2.17 Careful planting would preserve Woodleigh Cottage's light and outlook, without prejudice to either House or Barn garden use.
  
- 2.18 The principal trees are retained, with crown-lifting of the horse chestnut, to lighten the Barn courtyard garden, and the contribution of the linear group, to the village, remains intact and extended for many years by the general remedial works to the Barn and subsequently to the House.
  
- 2.19 In summary, the minimal visible alterations to the listed building group would be outweighed by general improvements to the House and Barn envelopes, removal of on-street parking, and the community's gain in Mrs Little's continued residency.
  
- 3.00 ACCESS
  
- 3.01 Vehicular access, for residents, and visitors is made safer by the space to pull off the highway before negotiating gates, if closed or access controlled.



- 3.02 Direct pedestrian/ vehicular access is maintained from the Main Road footway.
- 3.03 Adequate off-road parking, with specific allowance for increased space for disabled access, is provided in the entrance courtyard, with level approach to the proposed barn conversion.
- 3.04 Ramped access is provided to the main entrance, and essential facilities for ground floor living are provided in the house.

NYMNP

05 DEC 2008

NYM / 2008 / 0901 / CD

**Saunders Sawmill Ltd.**

Tree work contractor and sawmills

Bryher House, High Street, Lythe, Whitby, North Yorkshire YO21 3RT

Telephone: Sawmill [REDACTED] - Home [REDACTED]

V.A.T. No. 602 0305 15

Company No.

4298754

3<sup>rd</sup> December 2008.

Tree survey/ analysis on beech tree at Woodleigh, Aislaby, Whitby  
As requested I have carried out a visual survey on the chestnut tree at the above property and my findings are given below.

Tree species: Chestnut  
Height: 16/17 meters  
Crown spread: 18 meters

**General comments:**

The tree although some what mature generally seems to be in good health, it is situated close to the proposed building development. It is evident that the lower limbs have a lot of horizontal reach and in the foreseeable future could be prone to failure. The tree also has a small amount of dead wood and a few rubbing branches, the tree in my view should not be affected by the soak away as described in the detailed drawing because of the maturity of the tree.

**Conclusion:**

I would suggest that the chestnut tree is crown lifted to a height of 5 meters which will reduce any chance of limb failure which would involve removal of five or six limbs this would enhance the trees shape and appearance. Also I would recommend removal of the adjoining conifers.

Should you require any more details please don't hesitate to contact me.

[REDACTED]

NYMNPA

05 DEC 2008