
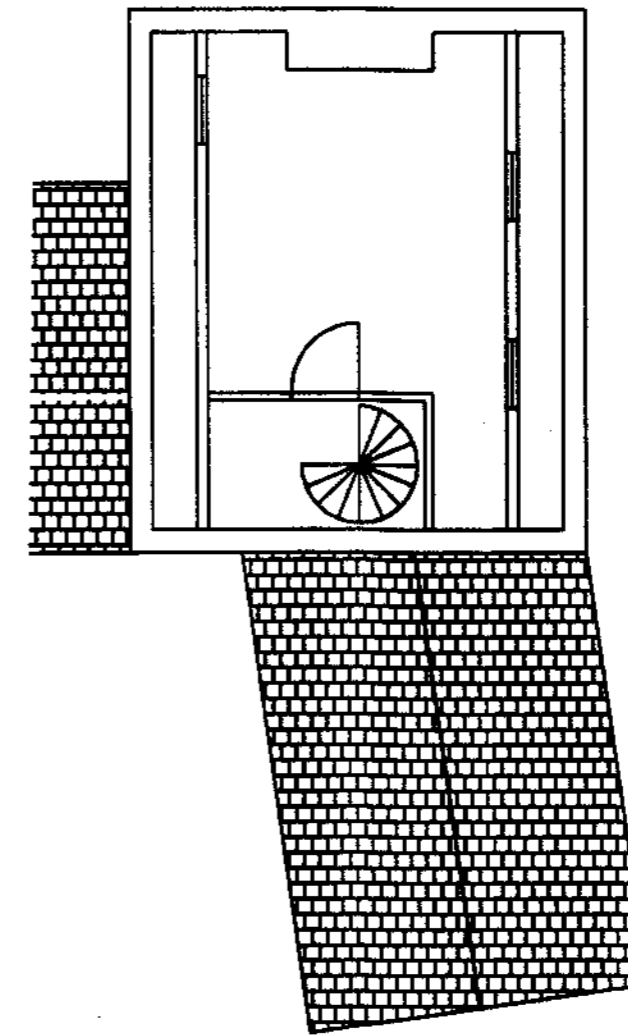


Proposed Ground Floor Layout


 SHOWS PROPOSED REVISION
 TO APPROVED EXTENSION



First Floor Layout. (No amendments)

NYMNPA
 12 JAN 2009

Decision No:NYM/2005/0864/FL
 Mr & Mrs J Nugent
 Grange Farm
 High Hawsker
 Whitby
 YO22 4LF
 Proposed Ammendment Layout
 Scale 1:100 4.11.08
 Drg No : Five.

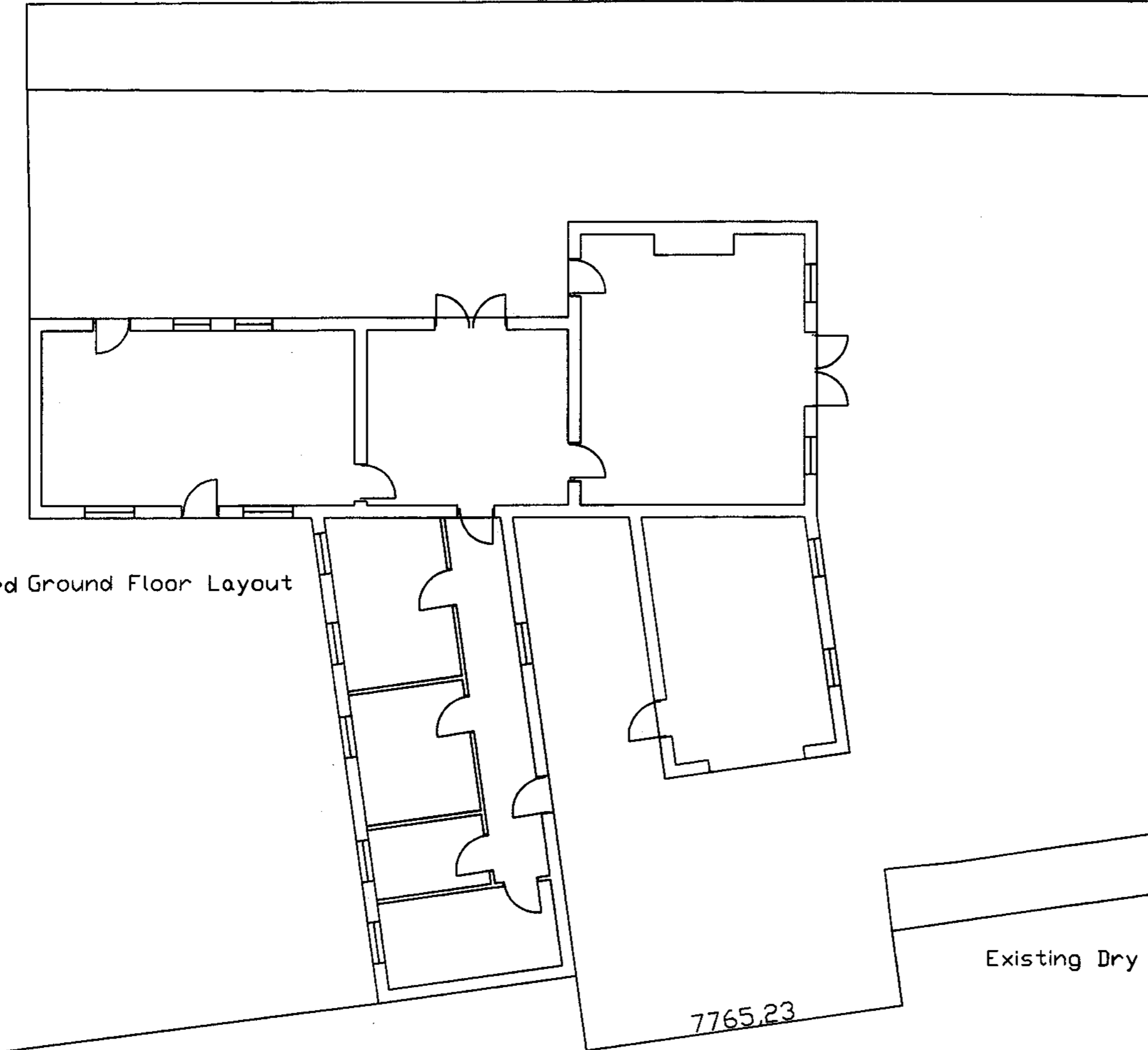
27541.56

NYM / 2009 / 0023 / FL

Decision No:
NYM/2005/0864/FL
Mr & Mrs J Nugent
Grange Farm
High Hawsker
Whitby
YO22 4LF
Layout showing Boundry
scale 1:100 4.11.08
Drg No: Six

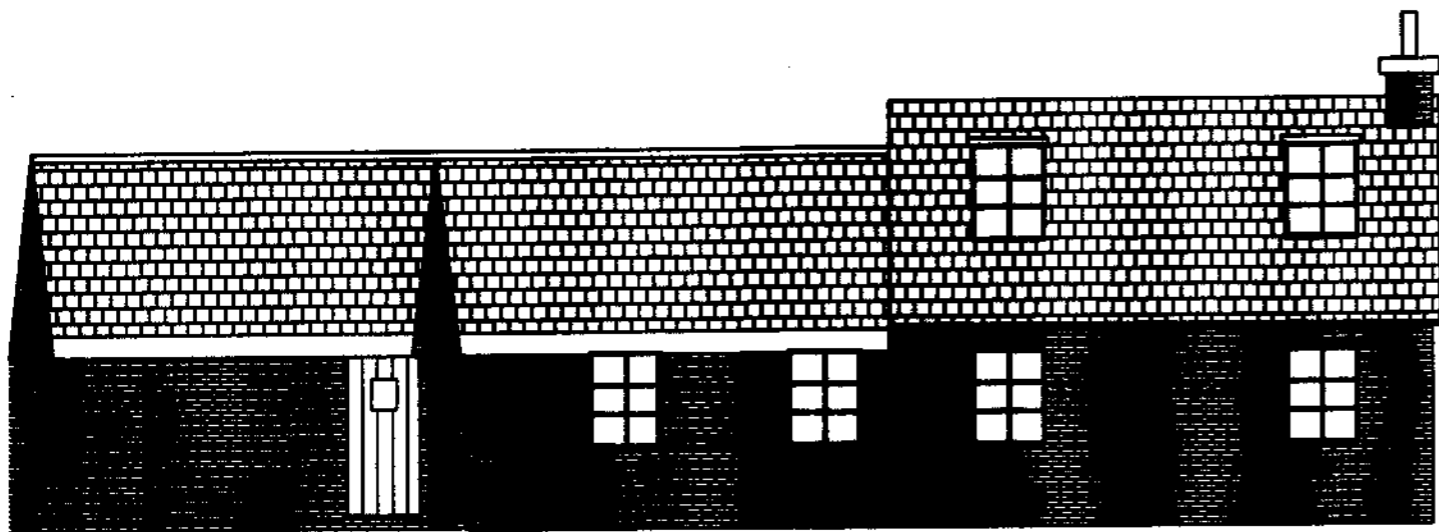
NYMNPA
12 JAN 2009

Proposed Ground Floor Layout



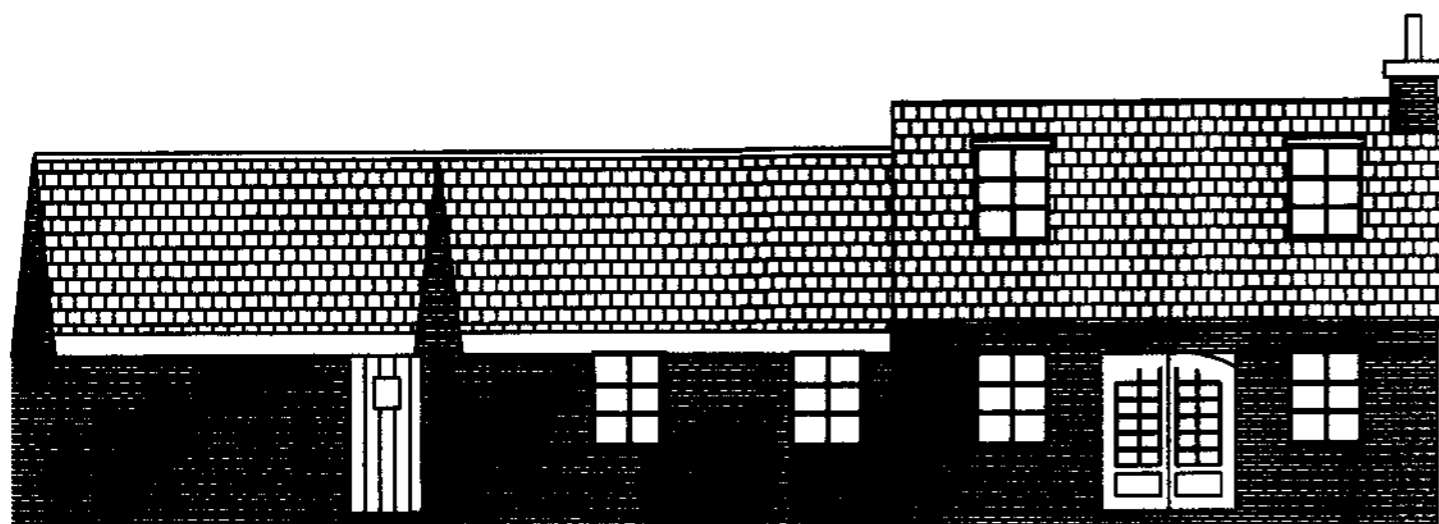
Existing Dry Stone Wall

7765.23



Side Elevation

NYMNPA
12 JAN 2009

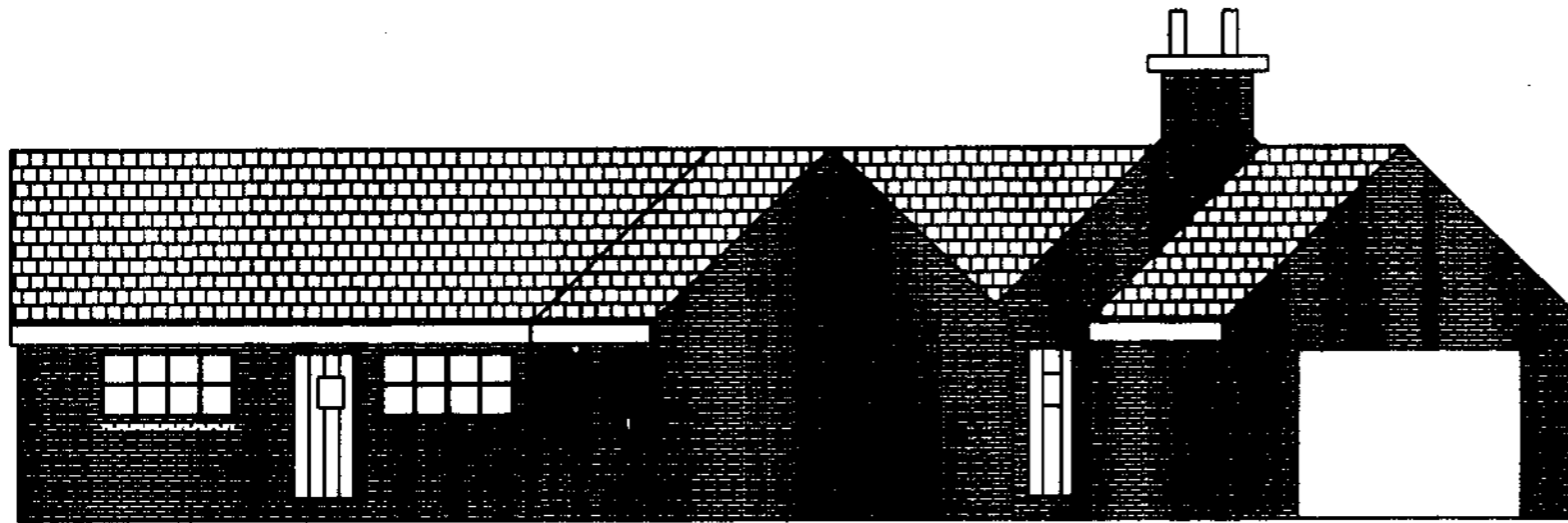


Proposed Side elevation showing
introduction of the doorway

Decision No:NYM/2005/0864/FL

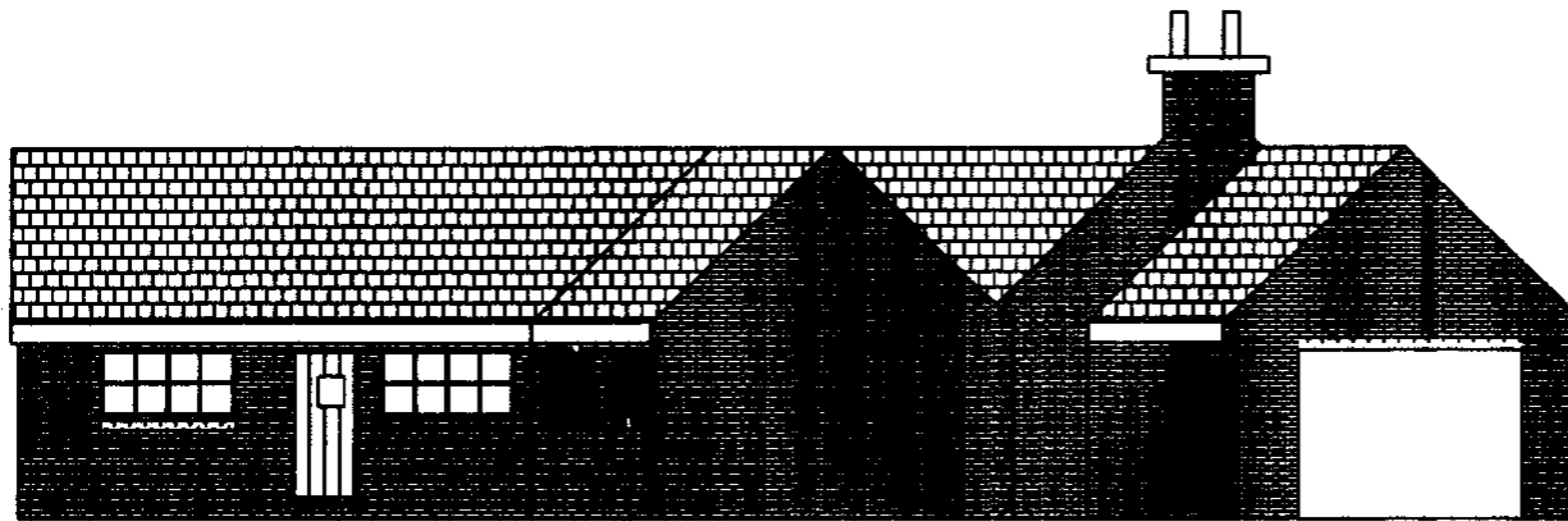
Mr & Mrs J Nugent
Grange Farm
High Hawsker
Whitby
YO22 4LF

Approved Layout with ammendment
Scale 1:100 4.11.08
Drg No : One.



Front Elevation

NYMNPA
12 JAN 2009

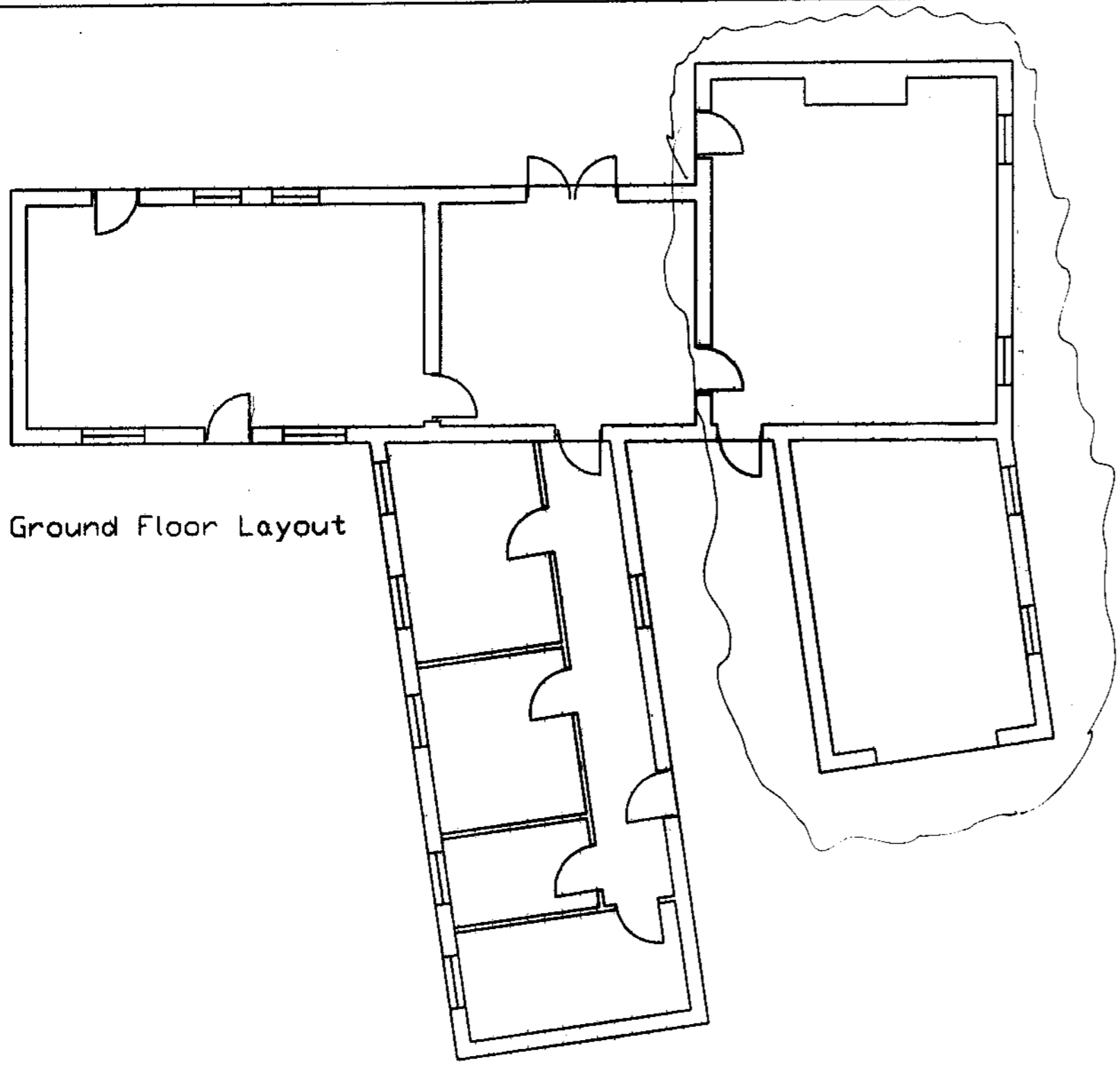


Proposed front elevation showing original door position moved to side wall of garage

Decision No:NYM/2005/0864/FL

Mr & Mrs J Nugent
Grange Farm
High Hawsker
Whitby
YO22 4LF

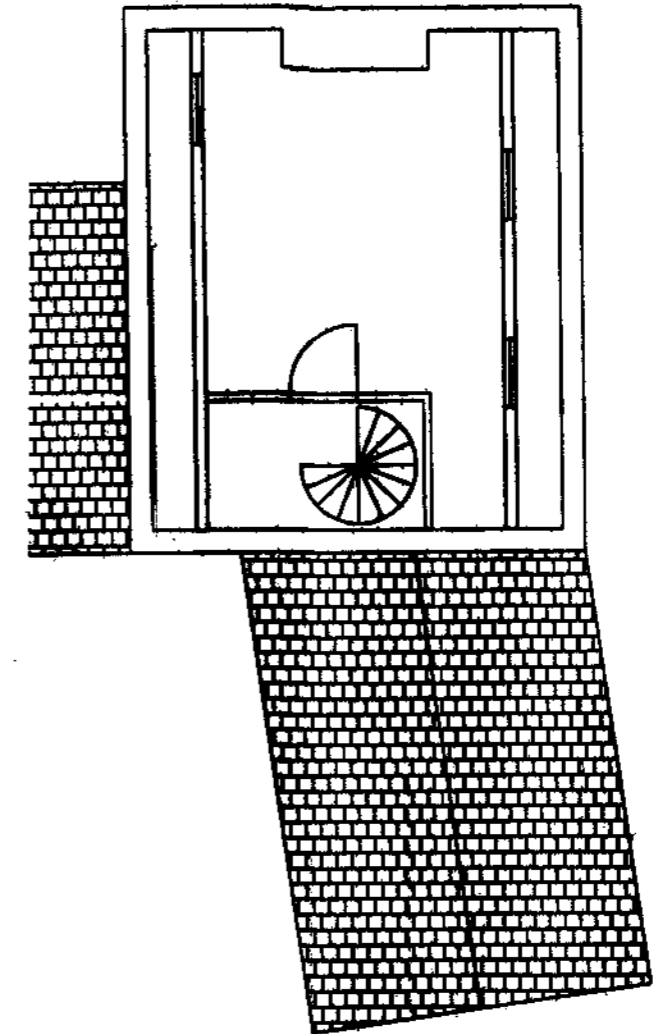
Approved Layout with ammendment
Scale 1:100 4.11.08
Drg No : Two



Ground Floor Layout



SHOWS APPROVED EXTENSION TO EXISTING Building

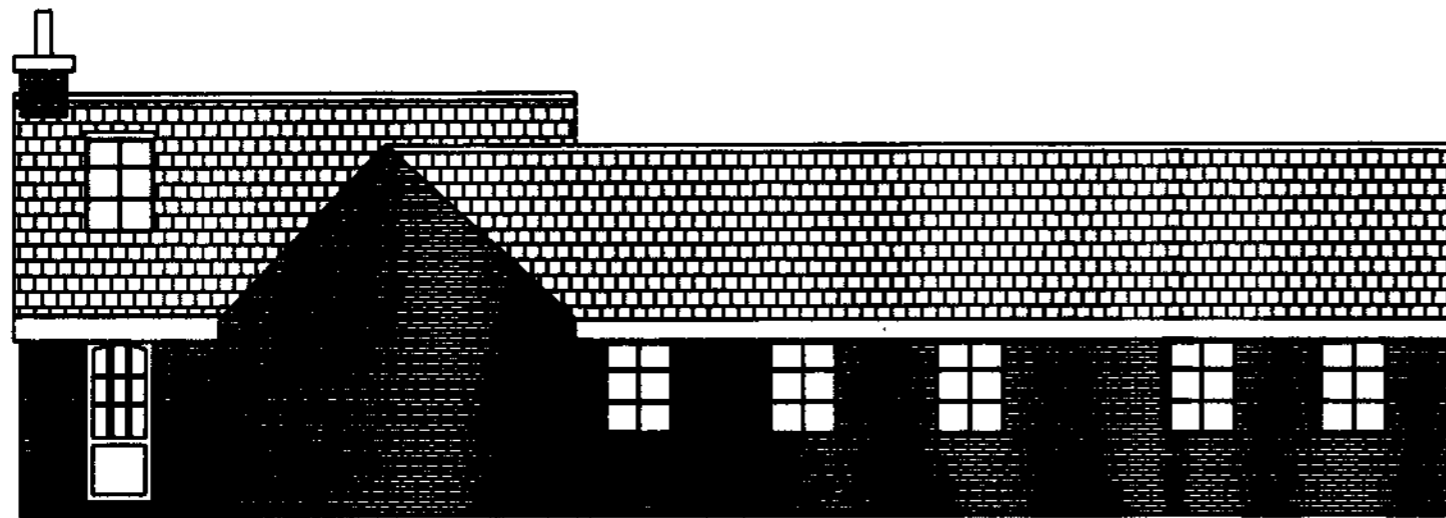


First Floor Layout.

NYMNPA
12 JAN 2009

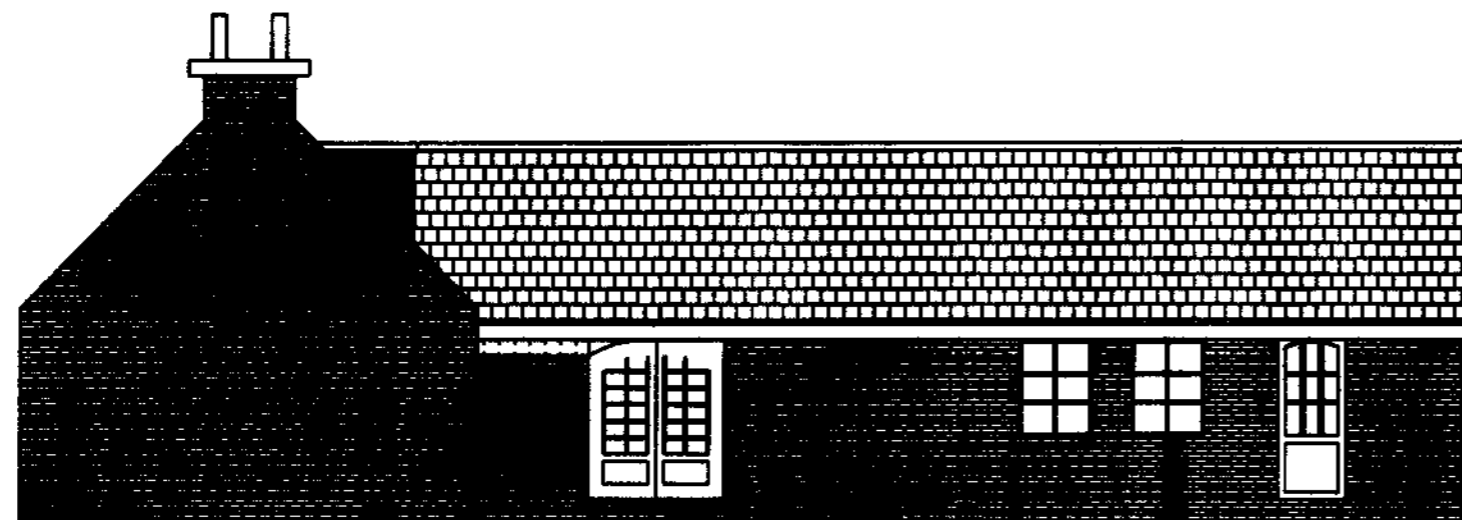
Decision No: NYM/2005/0864/FL
 Mr & Mrs J Nugent
 Grange Farm
 High Hawsker
 Whitby
 YO22 4LF

 Approved Layout
 Scale 1:100 4.11.08
 Drg No : Four



Side Elevation

NYMNPA
12 JAN 2009



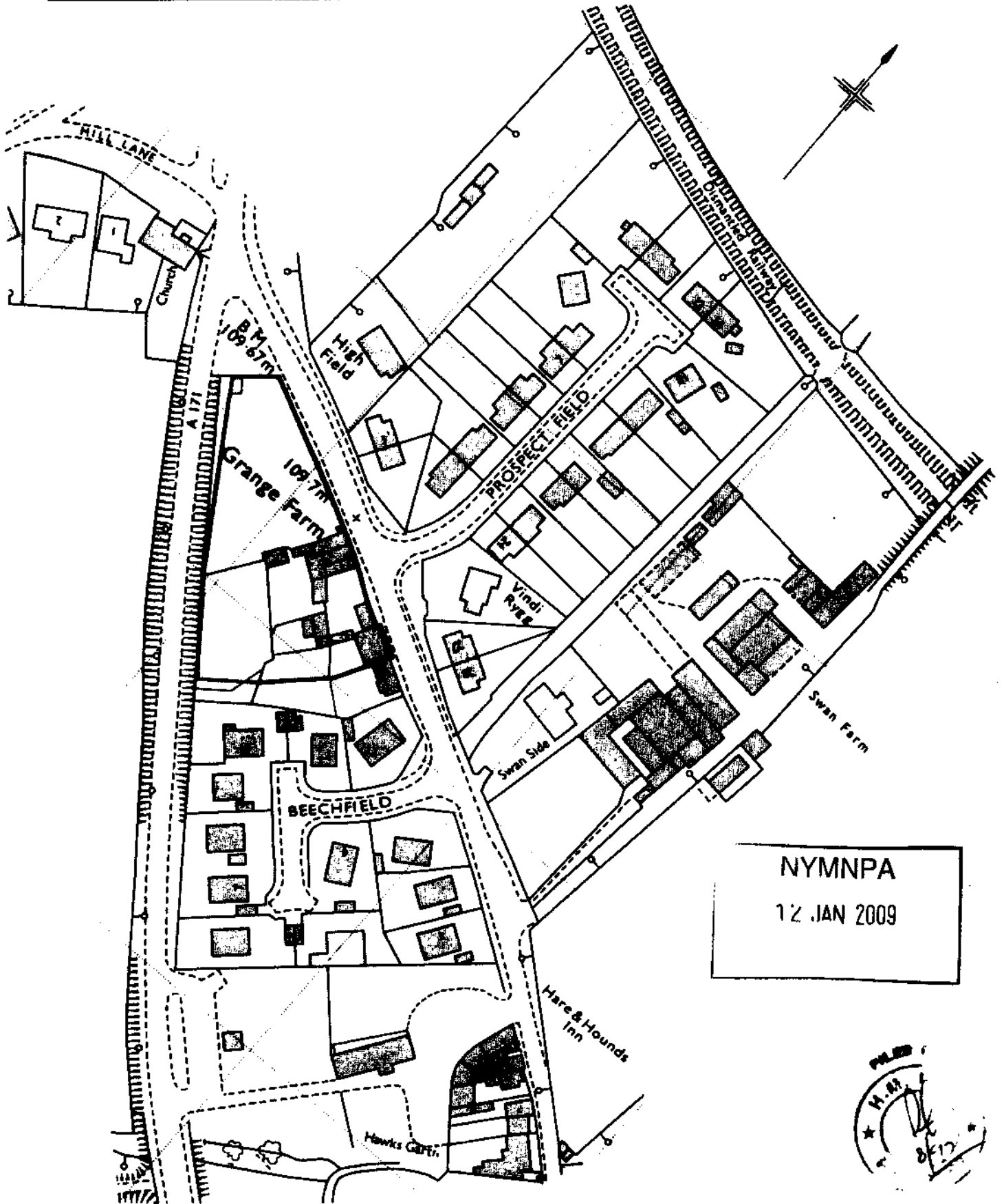
Rear Elevation

Decision No:NYM/2005/0864/FL

Mr & Mrs J Nugent
Grange Farm
High Hawsker
Whitby
YO22 4LF

Approved Layout no ammendment
Scale 1:100 4.11.08
Drg No : Three

H.M. LAND REGISTRY		TITLE NUMBER	
		NYK 187183	
ORDNANCE SURVEY PLAN REFERENCE	NZ 9207	SECTION B	Scale 1/1250 Enlarged from 1/2500
COUNTY NORTH YORKSHIRE	DISTRICT SCARBOROUGH	© Crown copyright 1993	





09/0023 Pt. 1

North York Moors National Park Authority
The Old Vicarage
Borodale
Helmley
York
YO62 5BP

Telephone: 01430 770657
Email: dc@northyorkmoors-nps.gov.uk
Website: www.moors.nk.nat

NZ: 92604 07622

**Householder Application for Planning Permission for works or extension to a dwelling.
Town and Country Planning Act 1990**

Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

1. Applicant Name and Address		2. Agent Name and Address	
Title: Mr.	First name: John	Title:	First name:
Last name: Nugent		Last name:	
Company (optional):		Company (optional):	
Unit:	House number:	House suffix:	
House name: Century's End Cottage		House name:	
Address 1: Grange Farm		Address 1:	
Address 2: High Hawsker		Address 2:	
Address 3:		Address 3:	
Town: Whitby		Town:	NYMNP 12 JAN 2009
County: North Yorkshire		County:	
Country: England		Country:	
Postcode: YO22 4LF		Postcode:	

3. Description of Proposed Works

Please describe the proposed works:

Planning permission has been granted to extend the Cottage which has previously been converted to a dwelling from an existing barn, decision No NYM/2005/0864/FL, It is proposed that a door be introduced to the new extension as shown on Drg No One and plan Drg no Five.

It is further proposed that doorway on Drawing No Two is moved from approved position to side wall of Garage.

Approved Layout is shown on Plan Drg No 4 proposed layout on Drg No Five, These are new door openings in a new building, not doors to an existing Barn

3. Description of Proposed Works (continued)

Has the work already been started without planning permission? Yes No

If Yes, please state when the works were started (DD/MM/YYYY): (date must be pre-application submission)

Has the work already been completed without planning permission? Yes No

If Yes, please state when the works were completed (DD/MM/YYYY): (date must be pre-application submission)

4. Site Address Details

Please provide the full postal address of the application site.

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Postcode (optional):

5. The street and public highway rights and rights of way

Is a new or altered vehicle access proposed to or from the public highway? Yes No

Is a new or altered pedestrian access proposed to or from the public highway? Yes No

Do the proposals require any diversions, extinguishments and/or creation of public rights of way? Yes No

If Yes to any questions, please show details on your plans or drawings and state the reference number(s) of the plan(s)/drawing(s):

6. Advice sought

Has assistance or prior advice been sought from the local authority about this application? Yes No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much possible:

Officer name:

Reference:

Date (DD MM YYYY): (must be pre-application submission)

Advice given:

7. Trees and hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your boundary? Yes No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No

If Yes, please show on your plans, indicating the scale, which trees by giving them numbers e.g. T1, T2 etc. and state the reference number of any plans or drawings:

NYM/NPA

12 JAN 2009

8. Parking

Will the proposed works affect existing car parking arrangements? Yes No

If Yes, please describe:

9. Council Employees' Names

Is the applicant or agent related to any member of staff or elected member of the Council? Yes No

If Yes, please provide details:

10. Materials

If applicable, please state what materials are to be used externally. Include type, colour and name for each material.

	Existing (where applicable)	Proposed	Not applicable	Don't Know	Drawing references if applicable
Walls			<input type="checkbox"/>	<input type="checkbox"/>	
Roof			<input type="checkbox"/>	<input type="checkbox"/>	
Windows			<input type="checkbox"/>	<input type="checkbox"/>	
Doors		Hard wood doors Glass panels	<input type="checkbox"/>	<input type="checkbox"/>	
Boundary treatments (e.g. fences, walls)			<input type="checkbox"/>	<input type="checkbox"/>	
Vehicle access and hard-standing			<input type="checkbox"/>	<input type="checkbox"/>	
Lighting		NYMNPA 12 JAN 2009	<input type="checkbox"/>	<input type="checkbox"/>	
Others (please specify)			<input type="checkbox"/>	<input type="checkbox"/>	

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

Yes No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

Drng No One Drng No Two Drng No Four Drng No Five.
 DECISION NO; NYM/2005/0864/FL
 MR & MRS J. NUGENT GRANGE FARM HIGH HAWSKER

11. Certificate continued

CERTIFICATE OF OWNERSHIP - CERTIFICATE D

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

The steps taken were:

NA

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

NA

On the following date (which must not be earlier than 21 days before the date of the application):

NA

Signed - Applicant: **JOHN NUGENT** Or signed - Agent: _____ Date (DD/MM/YYYY): **02/12/2008**

AGRICULTURAL HOLDINGS CERTIFICATE

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of, an agricultural holding.

Signed - Applicant: _____ Or signed - Agent: _____ Date (DD/MM/YYYY): **02/12/2008**

B) I have/ The applicant has given the requisite notice to every person other than myself/ the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Name of Tenant	Address	Date Notice Served
NA		
	NYMNPA	
	12 JAN 2009	

Signed - Applicant: _____ Or signed - Agent: _____ Date (DD/MM/YYYY): **02/12/2008**

12. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

3 copies of a completed and dated application form: <input checked="" type="checkbox"/>	3 copies of a design and access statement where proposed works fall within one of the following designated areas: <input checked="" type="checkbox"/>	The correct fee: <input checked="" type="checkbox"/>
3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North: <input checked="" type="checkbox"/>	<ul style="list-style-type: none"> • National Park • Site of special scientific interest • Conservation area • Area of outstanding natural beauty • World Heritage Site • The Broads 	3 copies of the completed, dated Article 7 Certificate (Agricultural Holdings): <input type="checkbox"/>
3 copies of other plans and drawings or information necessary to describe the subject of the application: <input checked="" type="checkbox"/>		3 copies of the completed, dated Ownership Certificate (A, B, C or D - as applicable): <input type="checkbox"/>

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant: _____ Or signed - Agent: _____ Date (DD/MM/YYYY): **02/12/2008** (date cannot be pre-application)

14. Applicant Contact Details

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

15. Agent Contact Details

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

16. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one) Agent Applicant Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name: **JOHN NUGENT** Telephone number: [REDACTED]

Email address: [REDACTED]

12. Planning Application Requirements Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted. The correct fee: The original and 3 copies of the following documents:

The completed and dated application form <input checked="" type="checkbox"/>	The completed, dated Article 7 Certificate (Agricultural Holdings) <input type="checkbox"/> NA	A design and access statement where proposed works fall within one of the following designated areas: <input type="checkbox"/> NA
A plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of north <input checked="" type="checkbox"/>	The completed, dated Ownership Certificate (A, B, C or D - as applicable) <input checked="" type="checkbox"/>	<ul style="list-style-type: none"> • National Park • Site of special scientific interest • Conservation area • Area of outstanding natural beauty • World Heritage Site • The Broads
Other plans and drawings or information necessary to describe the subject of the application <input checked="" type="checkbox"/>		

NYMNPA
12 JAN 2009

Decision number NYM/2005/0864/FL

Design and access statement.

As the planning consent is already in place for the extension of the existing dwelling , this design and access statement deals only with the proposed revisions to that planning consent.

I propose to introduce a door way into the north wall of the extension, this was not shown on the original planning application due to an oversight.

The door is deemed necessary as an escape rout in emergency situations, this is backed up by independent fire risk assessment carried out by MGS services.(Enclosed)

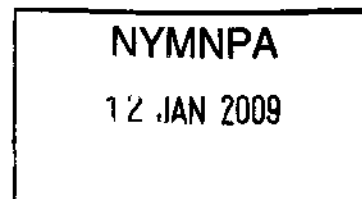
This is shown on Drg No 1

I further propose to move a door way from the main extension to the side wall of the garage.

The reason for this is to improve access to garage and be more practical than the approved door way which opens directly from extension lounge directly to the outside.

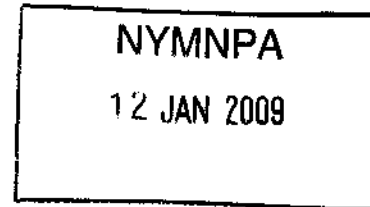
The proposals outlined here do not affect any vehicular access which remains the same, nor would it necessitate the removal of any trees or vegetation to facilitate the inclusion of the proposed amendments.

This is shown on Drg No 2



Mr. J. Nugent
Grange Farm
High Hawsker, Whitby
YO22 4LF

► **North York Moors National Park Authority**
The Old Vicarage
Bondgate
Helmsley
York YO62 5BP



Your ref: NYM/2005/0846/FL

Date: 20-12-2008

Dear Hillary Saunders,

I refer to the approved planning permission, (see your ref) in particular to revisions I should like to propose to the same.

Also with reference to our recent telephone conversation regarding previous applications to revise this planning consent, to include the revisions I now list, where you said that the NYM planning officers had been under the belief that the revisions I am proposing were to be implemented on an existing building and that this would be opposed, as NYMNP did not like making openings in existing buildings where no openings have been previously.

I should like to clarify this point, the building in question is a new addition to the existing building which was converted from an outbuilding some years ago. No revisions or alteration to existing buildings is made in this application.

I require the door as shown on Drg one to open up the north wall so as to provide access to the outside, the reason for this is to allow exit in emergency situations.

I have had a risk assessment carried out by an independent Fire Risk Assessor and have included his findings with this application. (enclosure FRAME 1)

The proposed amendments are shown on drawings enclosed.

Drg No: One shows approved (North) side elevation and side elevation with proposed amendment which is the introduction of doorway on the side of the building where no exit was previously shown, the reason for this is for exit from the building on a side opposite to the existing building which houses kitchen and gas boiler , which in the writers opinion is the logical source of any situation which could necessitate the emergency evacuation of the extension. This opinion is shared by the fire risk assessor.

.....

Drg No: Two shows the approved front elevation and front elevation with proposed amendment which is to move the door, shown on approved front elevation, to the side wall of the garage.

Drg No Three shows approved side elevation and approved rear elevation to which there are no amendments.

Drg No Four shows approved Ground Floor Layout and first Floor Layout

Drg No Five shows Proposed Ground Floor Layout showing the introduction of a door way in the North Side Elevation and the re-positioned door on the side of the Garage.

Drg No Six shows position of existing Dry Stone wall and hedgerow which forms the boundary at the location of this extension. The hedgerow is made up of indigenous species consisting of Hawthorn, Blackthorn, Gelder Rose. No vegetation or trees will be removed in order to clear the site ready for building.

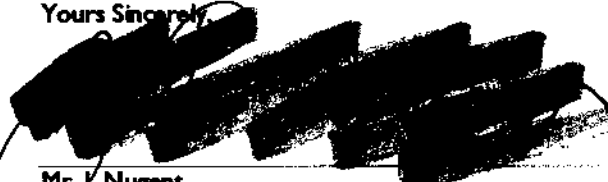
Enclosure One F.R.A.M.E fire risk recommendations.

Enclosure Two Cheque in the sum of £ 150: 00

I thank you in anticipation of your early reply

NYMNPA 12 JAN 2009

Yours Sincerely,


Mr. J. Nugent

Fire Risk Assessment Made Easy

Management G Services Winsford Low Hawsker Whitby YO22 4LE	Michael G Slater Tel: [REDACTED] Mobile: 07914-260618 email: [REDACTED] web: [REDACTED] www.fire-risk-assessment.co.uk
--	---

Date : 12.12.08

Mr J Nugent.
 Century End Cottage
 High Hawsker.
 Whitby.
 YO22 4LF

Dear Mr Nugent,

Thank you for involving my company at this early stage of extending your property and I look forward to performing a full Fire Risk Assessment for you upon completion of the work. As discussed during my site visit, I would recommend that a fire assembly point be created on open ground to the north of the building, and as the only two escape routes available at the moment are through the existing building, or along the perimeter path to the rear of the existing building, It would make sense to me that an alternative means of exit be created on the north facing wall . This should be designated as a fire door with appropriate signage guiding occupants to the assembly area well away from all the buildings. If you have any queries about the above please do not hesitate to contact me. I look forward to working with you further as building work progresses.

Yours Sincerely


Michael Slater (F.R.A.M.E.)

NYMNPA

12 JAN 2009

Title Number : NYK187183

This title is dealt with by Land Registry, Durham Office.

The following extract contains information taken from the register of the above title number. A full copy of the register accompanies this document and you should read that in order to be sure that these brief details are complete.

Neither this extract nor the full copy is an 'Official Copy' of the register. An official copy of the register is admissible in evidence in a court to the same extent as the original. A person is entitled to be indemnified by the registrar if he suffers loss by reason of a mistake in an official copy.

This extract shows information current on 15 OCT 2008 at 10:00:16 and so does not take account of any application made after that time even if pending in the Land Registry when this extract was issued.

REGISTER EXTRACT

Title Number	: NYK187183
Address of Property	: Grange Farm, High Hawsker, Whitby, (YO22 4LF)
Price Stated	: Not Available
Registered Owner(s)	: JOHN EDWARD NUGENT of Grange Farm, High Hawsker, Whitby, N Yorkshire YO22 4LF.
Lender(s)	: UCB HOME LOANS CORPORATION LIMITED

NYMNPA

12 JAN 2009

This is a copy of the register of the title number set out immediately below, showing the entries in the register on 15 OCT 2008 at 10:00:16. This copy does not take account of any application made after that time even if still pending in the Land Registry when this copy was issued.

This copy is not an 'Official Copy' of the register. An official copy of the register is admissible in evidence in a court to the same extent as the original. A person is entitled to be indemnified by the registrar if he suffers loss by reason of a mistake in an official copy. If you want to obtain an official copy, the Land Registry web site explains how to do this.

A: Property Register

This register describes the land and estate comprised in the title.

NORTH YORKSHIRE : SCARBOROUGH

- 1 (10.02.1997) The Freehold land shown edged with red on the plan of the above Title filed at the Registry and being Grange Farm, High Hawsker, Whitby, (YO22 4LF).

B: Proprietorship Register

This register specifies the class of title and identifies the owner. It contains any entries that affect the right of disposal.

Title absolute

- 1 (10.02.1997) Proprietor: JOHN EDWARD NUGENT of Grange Farm, High Hawsker, Whitby, N Yorkshire YO22 4LF.
- 2 (07.01.2004) RESTRICTION: No disposition or dealing of the registered estate by the proprietor of the registered estate is to be registered without a written consent signed by the proprietor for the time being of the Charge dated 17 December 2003 in favour of UCB Home Loans Corporation Limited referred to in the Charges Register.

C: Charges Register

This register contains any charges and other matters that affect the land.

- 1 (07.01.2004) REGISTERED CHARGE dated 17 December 2003.
- 2 (07.01.2004) Proprietor: UCB HOME LOANS CORPORATION LIMITED (Co. Regn. No. 1063539) of 36 Sutton Court Road, Sutton, Surrey SM1 4TE.

End of register

