

NYMNPA

12 JAN 2009

First Floor Layout. (No ammendments)

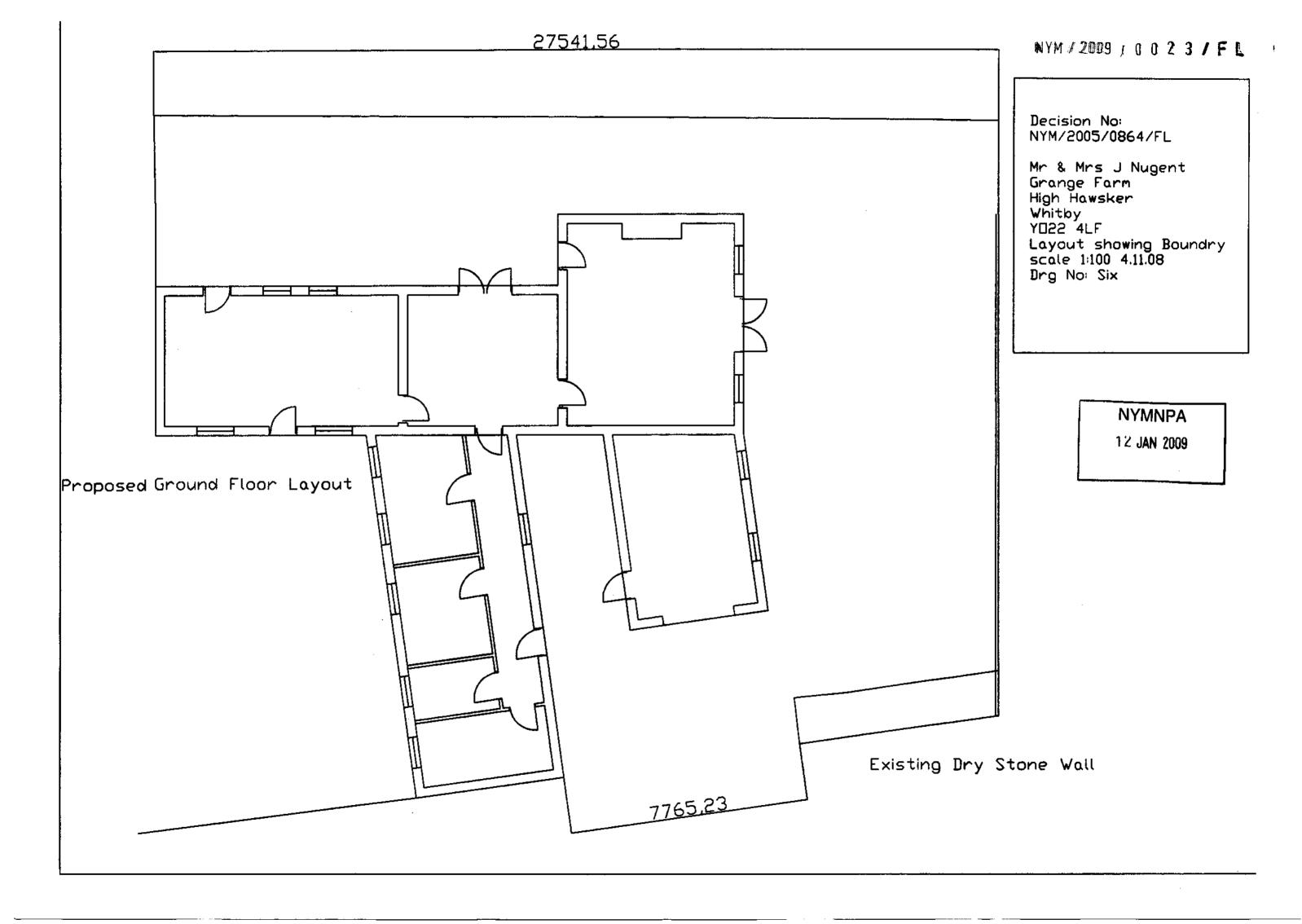
Decision No:NYM/2005/0864/FL

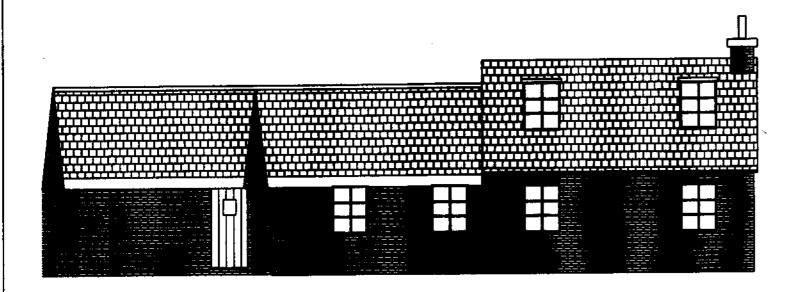
Mr & Mrs J Nugent Grange Farm High Hawsker Whitby Y022 4LF

Proposed Ammendment Layout Scale 1:100 4.11.08 Drg No : Five.

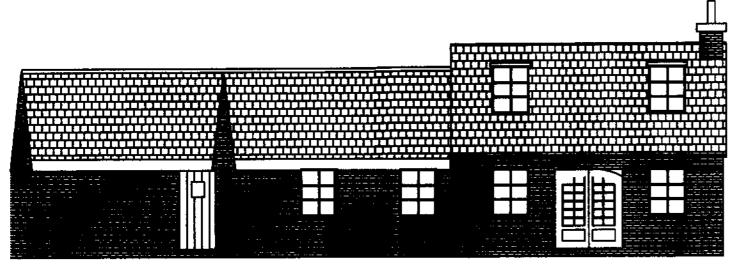
Proposed Ground Floor Layout

SHOWS PROPOSED REVISON
TO APPROVED EXTENSION





Side Elevation



Proposed Side elevation showing introduction of the doorway

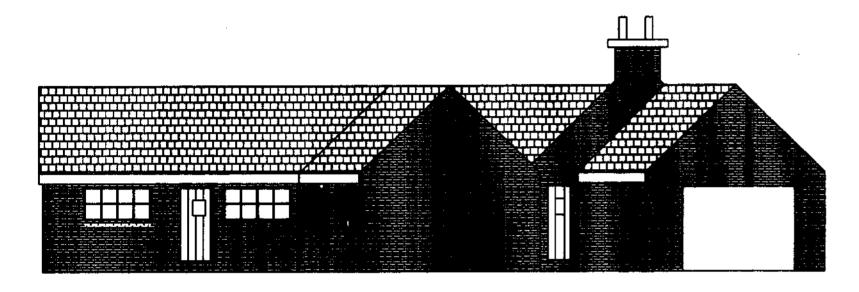
NYMNPA

12 JAN 2009

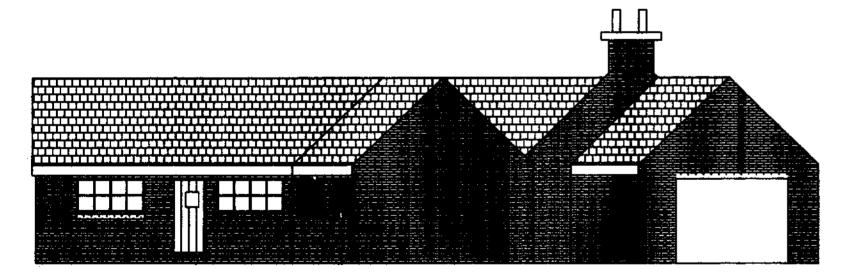
Decision No:NYM/2005/0864/FL

Mr & Mrs J Nugent Grange Farm High Hawsker Whitby Y022 4LF

Approved Layout with ammendment Scale 1:100 4:11.08 Drg No : Dne.



Front Elevation



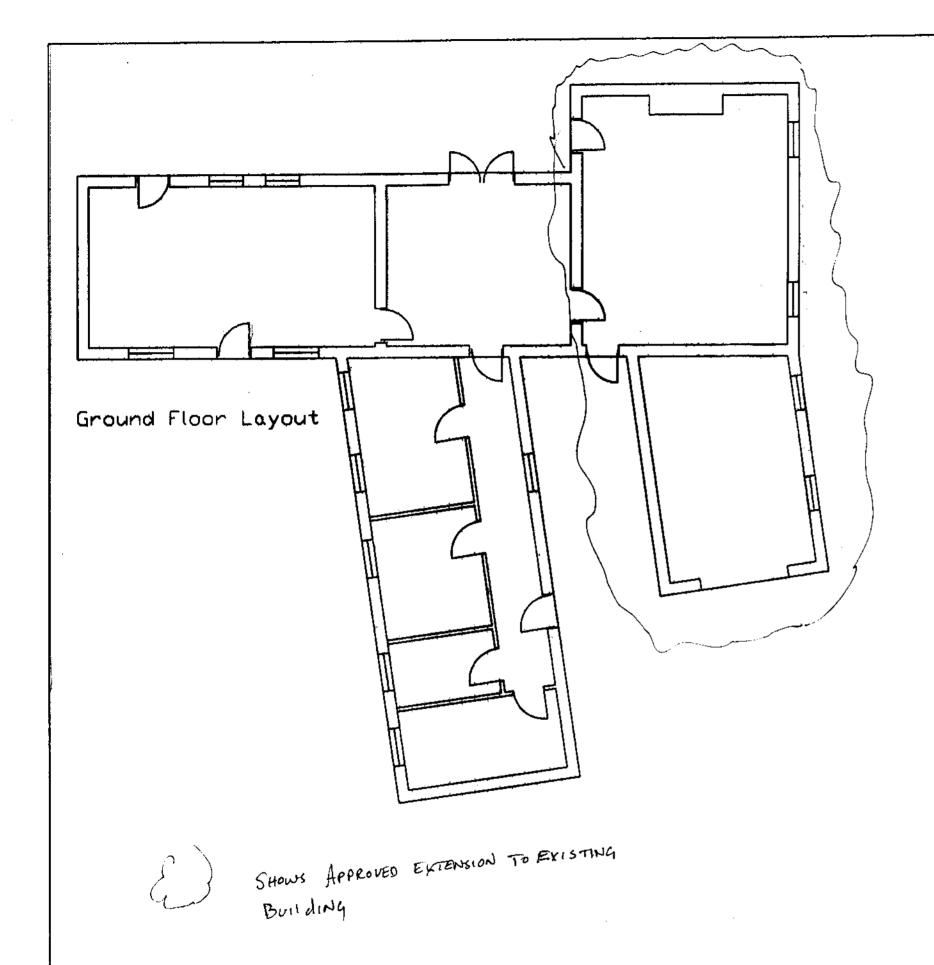
Proposed front elevation showing original door position moved to side wall of garage

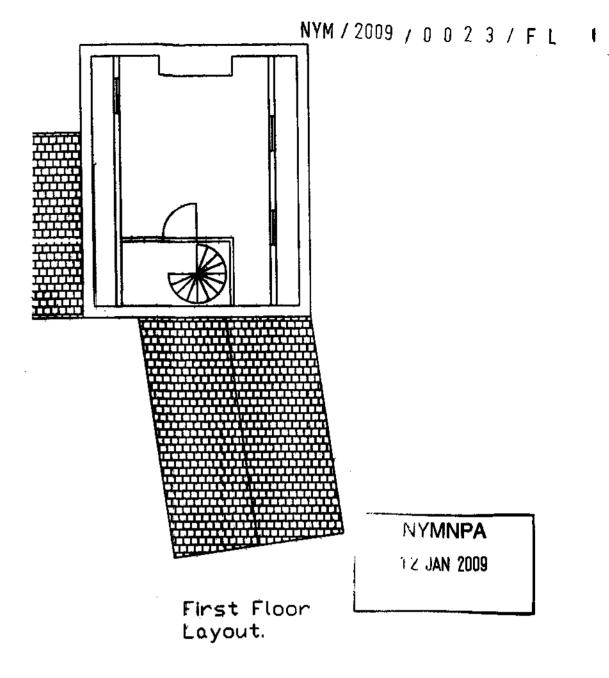
NYMNPA 12 JAN 2009

Decision No:NYM/2005/0864/FL

Mr & Mrs J Nugent Grange Farm High Hawsker Whitby YU22 4LF

Approved Layout with ammendment Scale 1:100 4:11.08
Drg No : Two

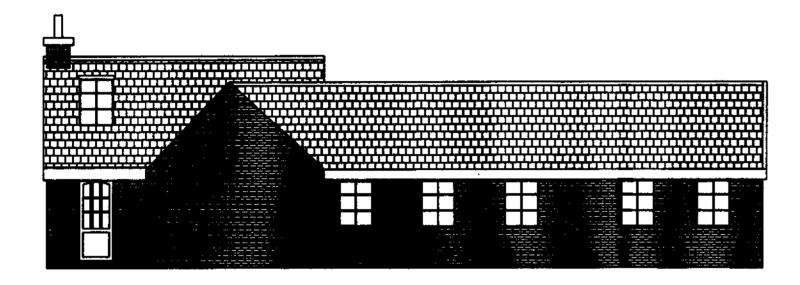




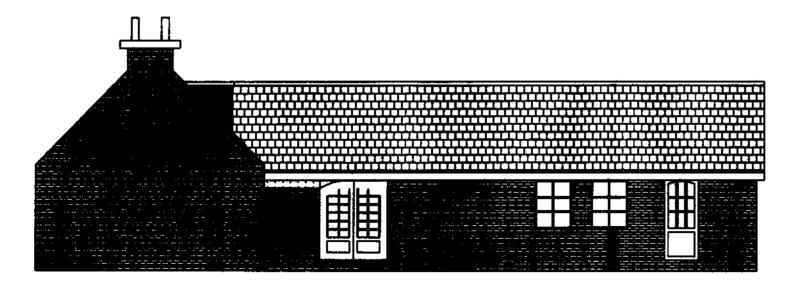
Decision No:NYM/2005/0864/FL

Mr & Mrs J Nugent Grange Farm High Hawsker Whitby Y022 4LF

Approved Layout Scale 1:100 4.11.08 Drg No : Four



Side Elevation



Rear Elevation

NYMNPA

12 JAN 2009

Decision No:NYM/2005/0864/FL

Mr & Mrs J Nugent Grange Farm High Hawsker Whitby Y022 4LF

Approved Layout no ammendment Scale 1:100 4.11.08 Drg No : Three H.M. LAND REGISTRY

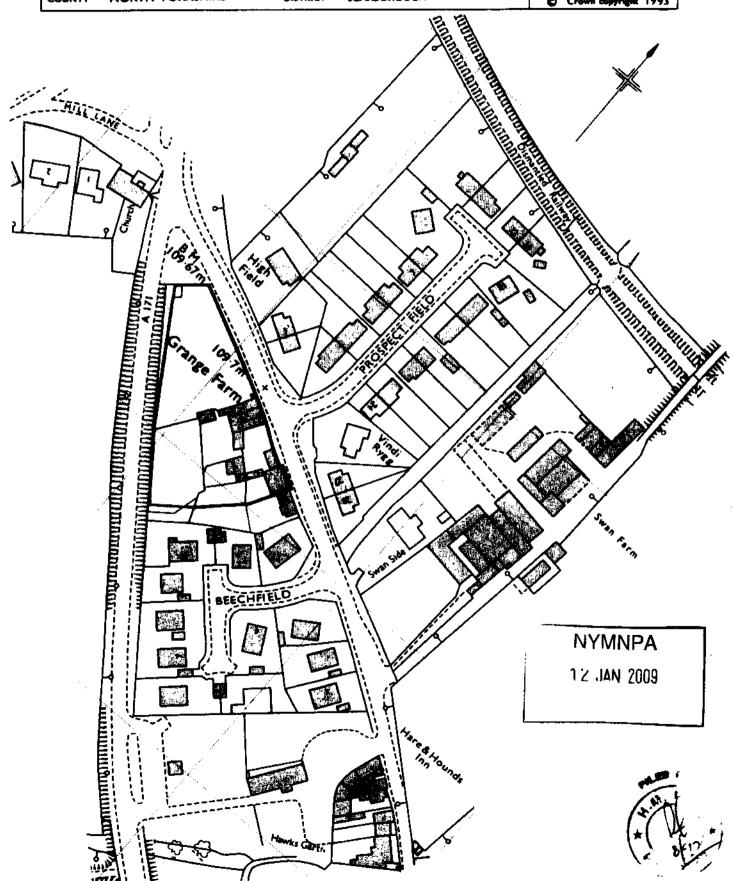
ORDNANCE SURVEY PLAN REFERENCE

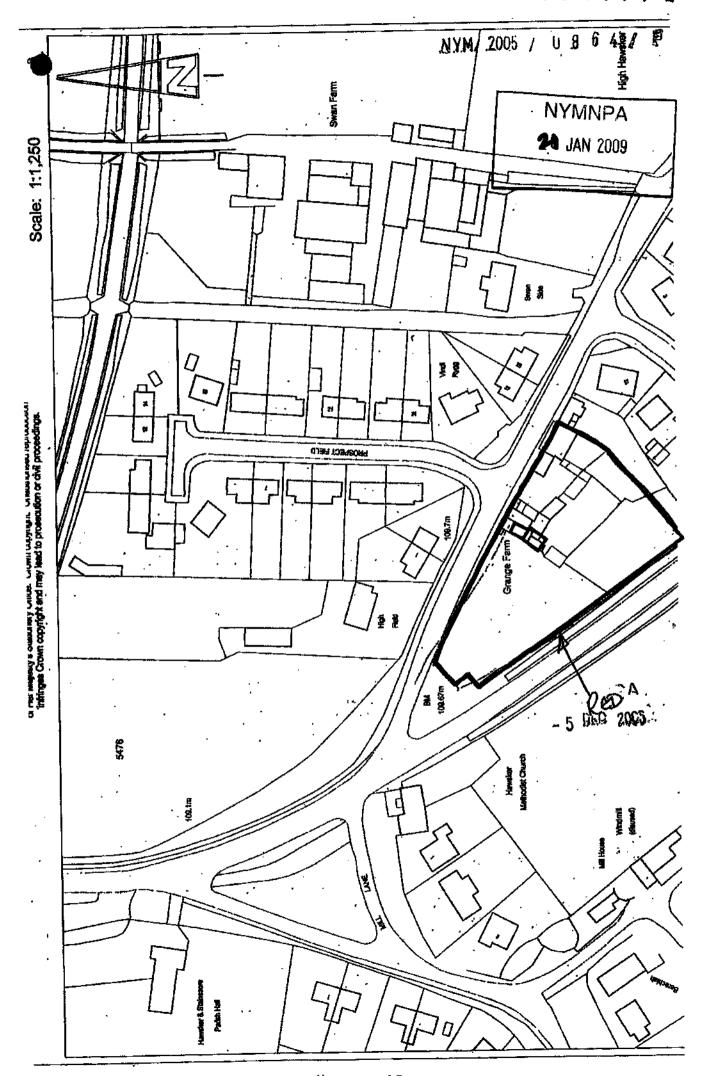
NZ 9207

SECTION B

Scale
1/1250 Enlarged from 1/2500

COUNTY NORTH YORKSHIRE DISTRICT SCARBOROUGH









orth York Moore National Park Authority The Old Vicerage Bondgeld Helmeley York YOR 588

Telephone: 01430 779652 Email: do@northyorkmoors-rps.gov.al Mahalar: www.secors.uli ne

NZ:92604 07622

Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

1. Applic	ant Same and Address	2. Ayent Name and Address
Title:	Mr. First name: John	Title: First name:
Last name:	Nugent	Last name:
Company (optional):		Company (optional):
Unit:	House House suffix:	Unit: House number: House suffix:
House name:	Century's End Cottage	House name:
Address 1:	Grange Farm	Address 1:
Address 2:	High Hawsker	Address 2:
Address 3:		Address 3: NYMNPA
Town:	Whitby	Town: 12 JAN 2009
County:	North Yorkshire	County:
Country:	England	Country:
Postcode:	YO22 4LF	Postcode:

Description of Proposed Work

Please describe the proposed works:

Planning permission has been granted to extend the Cottage which has previously been converted to a dwelling from an existing barn, decision No NYM/2005/0864/FL, It is proposed that a door be introduced to the new extension as shown on Drg No One and plan Drg no Five.

It is further proposed that doorway on Drawing No Two is moved from approved position to side wall of Garage.

Approved Layout is shown on Plan Drg No 4 proposed layout on Drg No Five, These are new door openings in a new building, not doors

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	ition of Proposed Works, our		F	CT no
Has the work	already been started without plann	ing permission?	Yes	[∄No
If Yes, please	state when the works were started (DD/MM/YYYY):		(date must be pre-application submission
Has the worl	calready been completed without pl	lanning permission?	Yes	[X] No
If Yes, please	state when the works were complete	ted (DD/MM/YYYY):		(date must be pre-application submission
	ares Details		No Phopostrum and	with the constraint and hight of wi
	de the full postal address of the appl	ication site.	is a new or altered ve	ehicle access
Unit:	House number:	House suffic	1''	the public highway? Yes X No
House	Centurys End Cot			the public highway? Yes A No
name: Address 1:	Grange Farm			quire any diversions, d/or creation of public Yes 🛣 No
			rights of way?	
Address 2:	High Hawsker		drawings and state drawing(s):	ons, please show details on your plans or the reference number(s) of the plan(s)/
Address 3:			diamaid(s).	
Town:	Whitby			
County:	North Yorkshire			
Postcode (optional):	YO22_4LF		<u> </u>	
authority all If Yes, pleas you were gi application Please tick known, and Officer nam Reference:	Date (DD MM YYYY): re-application submission)	Yes No in about the advice	are within falling dis if Yes, please mark plan and state the i Will any trees or her to be removed or p order to carry out y	runed in
existing ca	oposed works affect or parking arrangements? [ase describe:	Yes XNo	9. Count LEmp is the applicant or a member of the Cou if Yes, please provi	

10 States rule If applicable, please state what materials are to be used externally. Include type, colour and name for each material:					
if applicable, please sta	Existing (where applicable)	Proposed	Not applicable	Don't Know	Drawing references if applicable
Walls					
Roof					
Windows					
Doors		Hard wood doors Glass panels			
Boundary treatments (e.g. fences, walls)					
Vehicle access and hard-standing		NYMNPA			
Lighting		12 JAN 2009			
Others (please specify)					
		frawing(s)/design and access statement?			Yes No
f Yes, please state references for the plan(s)/drawing(s)/design and access statement: Drg No One Drg No Two Drg No Four Drg No Five. DECISION NO; NYM/2005/0864/FL MR & MRS J.NUGENT GRANGE FARM HIGH HAWSKER					

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7 Certificate Aramot be issued for this application To the spolication, was the cower (owner is a person with a freshold interest or inscerboid interest with at feast 7 years left to run) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so. The steps taken were: NA Notice of the application has been published in the following newspaper Corcusteding in the area where the tand is situated: NA NA NOTICE OF the applicant: Or signed - Applicant: Or signed - Applicant: Town and Country Planning (General Development Procedure)Order 1995 Certificate under Article 7 (A) Mone of the land to which the application relates it or is part of, an apricultural holding. Organd - Applicant: Or signed - Applicant: Or signed - Applicant Town and Country Planning (General Development Procedure)Order 1995 Certificate under Article 7 (A) Mone of the land to which the application relates it or is part of, an apricultural holding. Organd - Applicant: NA Na Signed - Applicant: Or signed - Applicant NA	Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7 Certificate a cannot be Insued for this application Certificate a cannot be Insued for this application Certificate A cannot be Insued for this application Certificate A cannot be Insued for this application after of this application, was the owner (owner is a person with a freshold interest or leasehold interest with at least 7 years left to run) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so. The stages taken were: NA Notice of the application has been published in the following newspaper concluding in the area where the land is situated): NA Notice of the application has been published in the following newspaper concluding in the area where the land is situated): NA Signed - Applicant: JOHN NUGENT Or signed - Agent: Town and Coverty Planning (General Development Procedure)Order 1995 Certificate under Article 7 Additional Application (A) None of the land to which the application relates to or is part of, an agricultural holding. Or signed - Agent: Date (DD/MM/YYYY): Or signed - Agent: Date (DD/MM/YYYY): Or signed - Agent: NA NYMNPA 1 2 JAN 2009 Date (DD/MM/YYYY): Oz /12/2008 Signed - Applicant: Or signed - Agent: Or signed - Agent: Date (DD/MM/YYYY): Oz /12/2008 Signed - Applicant: Or signed - Agent: Or signed - Agent: Or signed - Agent: Date (DD/MM/YYYY): Oz /12/2008 Signed - Applicant: Or signed - Agent: Or signed - Agent: Date (DD/MM/YYYY): Oz /12/2008 Signed - Applicant: Or signed - Agent: O						
Signed - Applicant: JOHN NUGENT	Signed - Applicant:	Town and Country Planning I certify/ The applicant certifies that: Certificate A cannot be issued for this All reasonable steps have been taker date of this application, was the owner (owne part of the land to which this application relat The steps taken were: NA Notice of the application has been published	s application to find out the nate is a person with a least test, but I have/ the	pment Procedure) (mes and addresses (freehold interest or le applicant has been (Order 1995 Certificate un of everyone else who, on ti asehold interest with at leas unable to do so. On the following date (he day 21 days before the st 7 years left to run) of any which must not be earlier	
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Addicult TURN. HOLDINGS CERTIFICATE Town and Country Planning (General Davelopment Procedure)Order 1995 Certificate under Article 7 (A) None of the land to which the application relates its, or is part of, an agricultural holding. Signed - Applicant: Or signed - Agent: Or signed - Agent: Date (DO/MM/YYY): 02/12/2008 B) I have/The applicant has given the requisite notice to every person other than myself/ the applicant who, on the day11 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below: Name of Tenant Address Date Notice Served NA NYMNPA 1 2 JAN 2009 Date Notice Served NA NYMNPA 1 2 JAN 2009 Information required will result in your application being deemed invalid. It will not be considered valid until all information required will result in your application being deemed invalid. It will not be considered valid until all information required will result in your application being deemed invalid. It will not be considered valid until all information required will result in your application being deemed invalid. It will not be considered valid until all information required will result in your application form: 3 copies of a plan which identifies following designated areas: 4 Occupancy of the completed, dated Article following designated areas: 5 copies of other plans and drawings or information necessary to describe the subject of the application: 1	Address Adject. Turner and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7 Agricultural Land Declaration - You Must Complete Either A or 8 (A) None of the land to which the application relates is, or is part of, an agricultural holding. Signed - Applicant: (B) I have? The applicant has given the requisite notice to every person other than myself/ the applicant who, on the day21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below: Name of Tenant Address Date (DD/MM/YYY): 02/12/2008 Address Date Notice Served NA NYMNPA 1 2 JAN 2009 Date (DD/MM/YYY): 02/12/2008 Address Date Notice Served NA NYMNPA 1 2 JAN 2009 1 2 JAN 2009 1 3 Jan 2009 1 3 Jan 2009 1 3 Jan 2009 1 4 Jan 2009 The Completed of the submitted of the completed different where proposed works fall within one of the following designated areas: 3 copies of a completed of an identified scale and staced application form: 3 copies of scompleted and identified scale and staced application form: 3 copies of scompleted shall exist in submitted. 3 copies of a completed shall exist interest of conservation and scenario plans and driven interest of conservation and scenario plans and drive	Signed - Applicant:	Or sig	ned - Agent:			
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Signed - Applicant: Or signed - Agent: Date (DD/MM/YYY): 02/12/2008 Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted. Sopies of a completed and dated application form: 3 copies of a plan which identifies the land to which the application works fall within one of the following designated areas: 3 copies of a plan which identifies following designated areas: 5 copies of other plans and drawings or information necessary to describe 6 copies of other plans and drawings or information necessary to describe 6 conservation area 6 copies of other plans and drawings or information necessary to describe 6 World Heritage Sike 6 The Broads 1 2 JAN 2009 Date (DD/MM/YYYY): 02/12/2008 1 3 copies of your proposal. Failure to submit all information required by the information required by the local planning plans for information for the application: 1 3 copies of the completed, dated Ownership Certificate 1 4 Certificate (Agricultural Holdings): 2 5 Stee of special scientific interest 3 copies of the completed, dated Ownership Certificate 4 Conservation area 9 Conservation area 1 2 Conservation are	Signed - Applicant: Or signed - Agent: Date (DD/MM/YYYY): 02/12/2008 1.2 Planning Application Requirements: Clacking: Please read the following checking to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted. 3 copies of a completed 3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North: 3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North: 3 copies of other plans and drawings or information necessary to describe the subject of the application: National Park Sire of special scientific interest Conservation area Area of outstanding natural beauty We hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. Signed - Applicant: Or signed - Agent: Date (DD/MM/YYYY):	NA		NI)	VMNIDA		
Signed - Applicant: Or signed - Agent: Date (DD/MM/YYYY): 02/12/2008 The Planning Application Require the ute. Checkins: Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted. 3 copies of a completed and dated application form: 3 copies of a design and access statement where proposed works fall within one of the following designation design and to which the application form: 3 copies of a plan which identifies the land to which the application area of lowering designation area of lowering designation area of conservation area of other plans and drawings or information necessary to describe the subject of the application: Site of special scientific interest of the application: World Heritage Site of the completed, dated Ownership Certificate (A, B, C or D - as applicable): World Heritage Site of the application: When hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.	Signed - Applicant: Or signed - Agent: Date (DD/MM/YYY): 02/12/2008 1. Planning Application Requirements: Checkinst Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted. 3 copies of a completed and dated application form: 3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North: 3 copies of other plans and drawings or information necessary to describe the subject of the application: National Park 3 copies of the completed, dated Article following designated areas: National Park 3 copies of the completed, dated Ownership Certificate (A. B. C or D - as applicable): World Heritage Site - The Broads It is a subject of the application: Or signed - Agent: Date (DD/MM/YYYY):			IN.	YIVINPA		
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14. Applicant Contact Details		15. Agent Contact	Details	
Telephone numbers		Telephone numbers		
Country code: National number: Country code: Mobile number (option Country code: Fax number (option Email address (optional):		Country code: Nation Country code: Mobile	e number (optional): imber (optional):	
16 Site Visit				
Can the site be seen from a public roa	d, public footpath, bridleway o	r other public land?	/es No	
if the planning authority needs to mail out a site visit, whom should they con	ke an appointment to carry tact? (Please select only one)		Applicant Other (if different from the agent/applicant's details)	
If Other has been selected, please pro-	*	 - <u>-</u>	— agent/appacant s decails)	
Contact name:		Telephone number:		
JOHN NUGENT				
Email address:				
12 Planning Application Req				
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NYMNPA

Decision number NYM/2005/0864/FL

Design and access statement.

As the planning consent is already in place for the extension of the existing dwelling, this design and access statement deals only with the proposed revisions to that planning consent.

I propose to introduce a door way into the north wall of the extension, this was not shown on the original planning application due to an oversight.

The door is deemed necessary as an escape rout in emergency situations, this is backed up by independent fire risk assessment carried out by MGS services.(Enclosed)

This is shown on Drg No 1

I further propose to move a door way from the main extension to the side wall of the garage.

The reason for this is to improve access to garage and be more practical than the approved door way which opens directly from extension lounge directly to the outside.

The proposals outlined here do not affect any vehicular access which remains the same, nor would it necessitate the removal of any trees or vegetation to facilitate the inclusion of the proposed amendments.

This is shown on Drg No 2

NYMNPA

Mr. J. Nugent Grange Farm High Hawsker; Whitby YO22 4LF

North York Moors National Park Authority

The Old Vicarage Bondgate Helmsley York YO62 5BP

Your ref: NYM/2005/0846/FL

Date: 20-12-2008

NYMNPA 12 JAN 2009

Dear Hillary Saunders,

I refer to the approved planning permission, (see your ref) in particular to revisions I should like to propose to the same.

Also with reference to our recent telephone conversation regarding previous applications to revise this planning consent, to include the revisions I now list, where you said that the NYM planning officers had been under the belief that the revisions I am proposing were to be implemented on an existing building and that this would be opposed, as NYMNP did not like making openings in existing buildings where no openings have been previously.

I should like to clarify this point, the building in question is a new addition to the existing building which was converted from an outbuilding some years ago. No revisions or alteration to existing buildings is made in this application.

I require the door as shown on Drg one to open up the north wall so as to provide access to the outside, the reason for this is to allow exit in emergency situations.

I have had a risk assessment carried out by an independent Fire Risk Assessor and have included his findings with this application. (enclosure FRAME I)

The proposed amendments are shown on drawings enclosed.

Drg No: One shows approved (North) side elevation and side elevation with proposed amendment which is the introduction of doorway on the side of the building where no exit was previously shown, the reason for this is for exit from the building on a side opposite to the existing building which houses kitchen and gas boiler, which in the writers opinion is the logical source of any situation which could necessitate the emergency evacuation of the extension. This opinion is shared by the fire risk assessor.

Drg No: Two shows the approved front elevation and front elevation with proposed amendment which is to move the door, shown on approved front elevation, to the side wall of the garage.

Drg No Three shows approved side elevation and approved rear elevation to which there are no amendments.

Drg No Four shows approved Ground Floor Layout and first Floor Layout

Drg No Five shows Proposed Ground Floor Layout showing the introduction of a door way in the North Side Elevation and the re-positioned door on the side of the Garage.

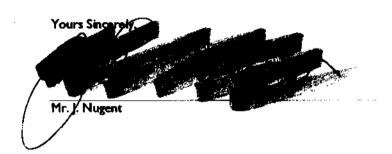
Drg No Six shows position of existing Dry Stone wall and hedgerow which forms the boundary at the location of this extension. The hedgerow is made up of indigenous species consisting of Hawthorn, Blackthorn, Gelder Rose. No vegetation or trees will be removed in order to clear the site ready for building.

Enclosure One F.R.A.M.E fire risk recommendations.

Enclosure Two Cheque in the sum of £ 150:00

I thank you in anticipation of your early reply

NYMNPA 12 JAN 2009



Fire Risk Assessment Made Easy

Management

Michael G Slater

G

Services

Tel:

17/19-260018

Winsford

Low Hawsker Whitby YO22 4LE email: web:



Date: 12.12.08

Mr J Nugent. Century End Cottage High Hawsker. Whitby. YO22 4LF

Dear Mr Nugent,

Thank you for involving my company at this early stage of extending your property and I look forward to performing a full Fire Risk Assessment for you upon completion of the work. As discussed during my site visit, I would recommend that a fire assembly point be created on open ground to the north of the building, and as the only two escape routes available at the moment are through the existing building, or along the perimeter path to the rear of the existing building. It would make sense to me that an alternative means of exit be created on the north facing wall. This should be designated as a fire door with appropriate signage guiding occupants to the assembly area well away from all the buildings.

If you have any queries about the above please do not hesitate to contact me. I look forward to working with you further as building work progresses.

Yours Sinc reb

Michael Slater (F.R.A.M.E.)

NYMNPA

Title Number: NYK187183

This title is dealt with by Land Registry, Durham Office.

The following extract contains information taken from the register of the above title number. A full copy of the register accompanies this document and you should read that in order to be sure that these brief details are complete.

Neither this extract nor the full copy is an 'Official Copy' of the register. An official copy of the register is admissible in evidence in a court to the same extent as the original. A person is entitled to be indemnified by the registrar if he suffers loss by reason of a mistake in an official copy.

This extract shows information current on 15 OCT 2008 at 10:00:16 and so does not take account of any application made after that time even if pending in the Land Registry when this extract was issued.

REGISTER EXTRACT

Title Number : NYK187183

Address of Property : Grange Farm, High Hawsker, Whitby, (YO22 4LF)

Price Stated : Not Available

Registered Owner(s) : JOHN EDWARD NUGENT of Grange Farm, High Hawsker,

Whitby, N Yorkshire YO22 4LF.

Lender(s) : UCB HOME LOANS CORPORATION LIMITED

NYMNPA

This is a copy of the register of the title number set out immediately below, showing the entries in the register on 15 OCT 2008 at 10:00:16. This copy does not take account of any application made after that time even if still pending in the Land Registry when this copy was issued.

This copy is not an 'Official Copy' of the register. An official copy of the register is admissible in evidence in a court to the same extent as the original. A person is entitled to be indemnified by the registrar if he suffers loss by reason of a mistake in an official copy. If you want to obtain an official copy, the Land Registry web site explains how to do this.

A: Property Register

This register describes the land and estate comprised in the title.

NORTH YORKSHIRE : SCARBOROUGH

1 (10.02.1997) The Freehold land shown edged with red on the plan of the above Title filed at the Registry and being Grange Farm, High Hawsker, Whitby, (YO22 4LF).

B: Proprietorship Register

This register specifies the class of title and identifies the owner. It contains any entries that affect the right of disposal.

Title absolute

- (10.02.1997) Proprietor: JOHN EDWARD NUGENT of Grange Farm, High Hawsker, Whitby, N Yorkshire YO22 4LF.
- 2 (07.01.2004) RESTRICTION: No disposition or dealing of the registered estate by the proprietor of the registered estate is to be registered without a written consent signed by the proprietor for the time being of the Charge dated 17 December 2003 in favour of UCB Home Loans Corporation Limited referred to in the Charges Register.

C: Charges Register

This register contains any charges and other matters that affect the land.

- 1 (07.01.2004) REGISTERED CHARGE dated 17 December 2003.
- 2 (07.01.2004) Proprietor: UCB HOME LOANS CORPORATION LIMITED (Co. Regn. No. 1063539) of 36 Sutton Court Road, Sutton, Surrey SM1 4TE.

End of register

NYMNPA 12 JAN 2009