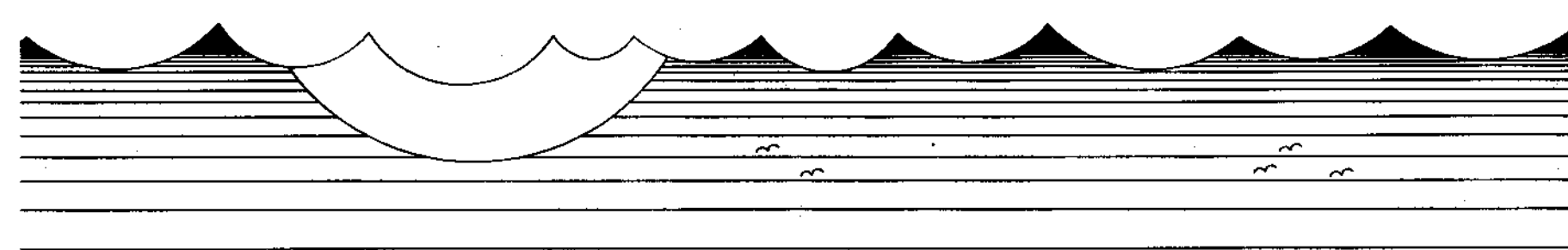


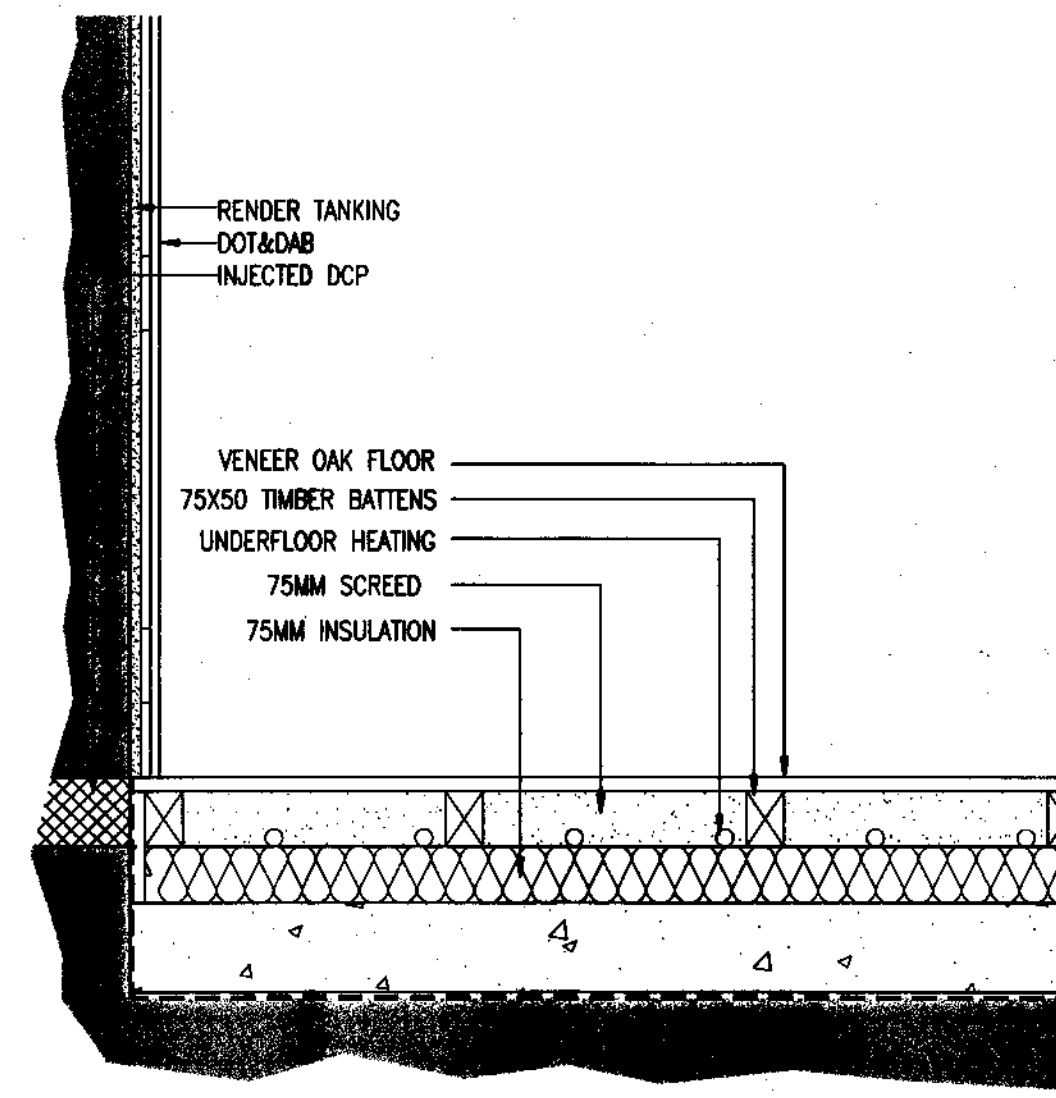
EXISTING FRONT & SIDE ELEVATIONS

SCALE: 1:100



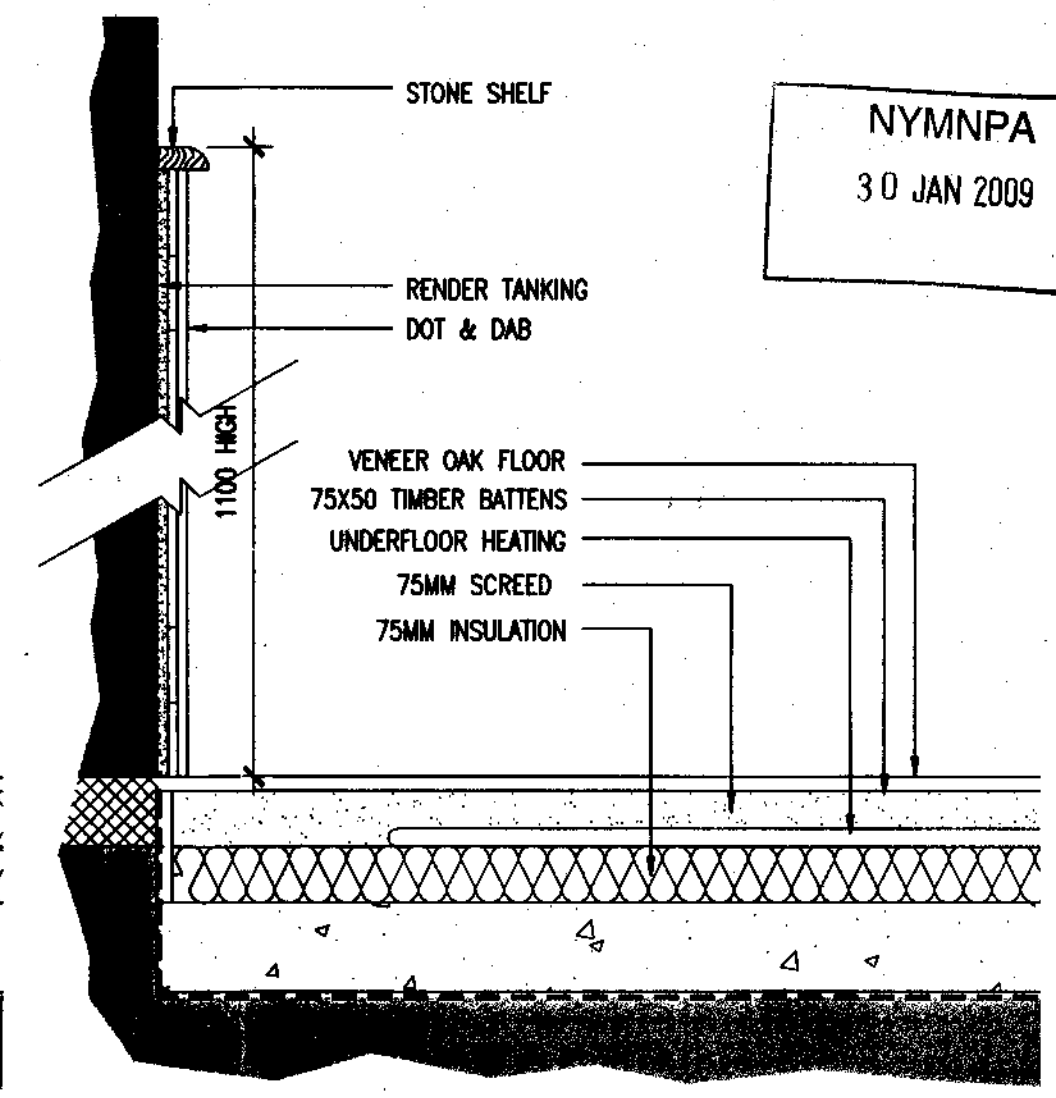
PROPOSED FRONT & SIDE ELEVATIONS

SCALE: 1:100



FLOOR DETAIL & WALLS A, B & C

SCALE: 1:10



FLOOR DETAIL & WALL D

SCALE: 1:10

NYMNP
30 JAN 2009

SERVICES LEGEND

- MECHANICAL EXTRACTION, ALLOW FOR FORMING HOLES, MAKING GOOD AND LEAD SLATES TO ROOF EXTRACTS
- ROCKER SWITCH-1050 OFF FFL
- 13A DOUBLE SWITCHED SOCKET-450 OFF FFL
- NEW LIGHT FITTING, CLIENT TO PROVIDE
- RECESSED SPOTLIGHT
- SHAVER POINT
- SKY TV POINT
- TELEPHONE POINT

GROUND FLOOR WALLS A B & C

HACK OFF PLASTER AND OLD DAMAGED PLASTERBOARD PROVIDE INJECTED DPC BEFORE TANKING WITH PROPRIETARY RENDER UP TO 1.1M HIGH. TANKING TO CARRY 20 YEAR UNDERWRITTEN GUARANTEE TIE RENDER OVER FLOOR DPM. NOTE ALSO INJECTED DPC.

FOLLOWING RENDER DOT AND DAB WALLS UP TO CEILING HEIGHT AND SKIM.

WALL TYPE D

HACK OFF PLASTER AND OLD DAMAGED PLASTERBOARD PROVIDE INJECTED DPC BEFORE TANKING WITH PROPRIETARY RENDER UP TO 1.1M HIGH. TANKING TO CARRY 20 YEAR UNDERWRITTEN GUARANTEE TIE RENDER OVER FLOOR DPM. NOTE ALSO INJECTED DPC.

FOLLOWING RENDER DOT AND DAB WALLS UP 1.1M HEIGHT AND SKIM AND FORM STONE SHELF AS SHOWN.

EXTERNAL WORKS

ALLOW FOR REPOINTING EXTERNAL STONE WALLS IN DAMP AREAS 10m² APPROX. AT HIGH LEVEL IE- EAVES HEIGHT. AREAS TO BE AGREED WITH THE CLIENT.

GROUND FLOOR

SHOP GROUND FLOOR CONSTRUCTION TO COMPRISE OF VENEERED OAK BOARDS KEPT TO A MINIMUM WIDTH OF 130MM AND GUARANTEED FOR USE WITH UNDER FLOOR HEATING. LAY THE BOARDS IE TONGUE AND GROOVE BOARDS TOGETHER. THEN LACQUER OR OIL TO FINISH. WOOD FLOOR FIXED BY SECRET NAILING TO TIMBER JOISTS OR BRICKS ON OR 75X50MM BATTENS AND 75MM SCREED BETWEEN UNDER FLOOR HEATING SYSTEM (PIPING AT 200 OR 300 CTRS DEPENDING ON MANUFACTURER'S INSTRUCTIONS. (ALSO SEE FLOORING SECTION ABOVE). PIPING TO BE TIED TO A MINIMUM OF 50MM POLYURETHANE, EG, KINGSPIAN[®] INSULATION. PIPING TO BE A MINIMUM OF 100MM AWAY FROM WALLS AND NOT TO RUN UNDER ANY FIXED UNITS. 100MM INSULATION TO BE USED AGAINST WALL BELOW SKIRTING. FOR MORE INFORMATION ABOUT UNDER FLOOR HEATING SEE: WWW.UNDERFLOORHEATINGSYSTEMS.CO.UK.

CLIENT TO REMOVE EXISTING STONE READY FOR EXCAVATION BY THE CONTRACTOR. THE NEW FLOOR IS TO MATCH THE EXISTING GROUND FLOOR LEVEL.

MECHANICAL VENTILATION - BATHROOM

PROVIDE AND INSTALL SUITABLE XPELAIN OR VENT AXIA MECHANICAL EXTRACT FAN SUITABLE FOR USE IN BATHROOM. TO EXTRACT A MINIMUM OF 15 LITRES/SECOND (3 AIR CHANGES/HOUR) AND TO INCORPORATE 15 MINUTE OVER-RUN FACILITY AND TO INCLUDE TRICKLE VENTILATION OPERATION OPERATED INTERMITTENTLY, ALL OPERATED BY LIGHT SWITCH. ALLOW FOR FORMING 110 DIA. HOLE FOR EXTRACT.

BATHROOM WALLS

SUPPLY AND FIX INTO PREPARED OPENINGS NEW INTERNAL SLIDING DOORS COMPLETE WITH ALL IRONMONGERY (INC. HANDLES, LOCK/LATCH ETC). INCLUDE FOR SUITABLE BATHROOM LOCK WITH INTERNAL THUMB TURN TO WET ROOM. WALLS TO BE 150X100 STUDS TO ALLOW FOR SLIDING DOORS. WITH 100MM THICK ROCKWOOL ACOUSTIC SLAB SOUND DEADENING INSULATION TO FULLY FILL TIMBER PARTITION CONSTRUCTION TO GIVE ACOUSTIC/THERMAL INSULATION FOR FINISH SEE 'WETROOM' NOTES. ALLOW FOR SKIMMING EXISTING WALLS, CLIENT TO REMOVE STUD WALLS, BATHROOM FITTINGS & WALLPAPER.

EXTERNAL TIMBER WINDOWS

ALL WINDOWS IN SHOP AREA TO BE REPLACED WITH LIKE FOR LIKE MATCH EXCEPT FOR DOUBLE GLAZING. WINDOWS TO BE HIGH PERFORMANCE QUALITY MANUFACTURED BY FENSA REGISTERED COMPANY AND HAVING 4:16:4 DOUBLE GLAZED UNITS WITH PULKINGTON LOW E COATING & EASY CLEAN HINGES WHERE OPENING. GLAZING BELOW 800mm IN WALLS SHOULD BE SAFETY GLASS. GLAZING BELOW 1500mm DOORS AND SIDE SCREENS AND WITHIN 300mm EITHER SIDE OF DOORS SHOULD BE SAFETY GLASS. SAFETY GLASS TO BE EITHER TOUGHENED OR LAMINATED GLASS TO BS6202: 1981.

ROOF/CEILING

TIMBER IN ROOF TO BE WOOD WORM TREATED. REMOVE THE SOURCE OF MOISTURE, VENTILATE, CUT OUT THE DECAY TO SOUND TIMBER AND/OR DE-FRASS THEN APPLY SPECIALIST TREATMENT. ALLOW FOR STRIPPING OUT OF THE EXISTING LOWER CEILING AND DISPOSING OF ALL DEBRIS. ALLOW FOR STRIPPING BOARDING OFF THE CONCEALED CEILING AND BOXING THOUGH FOR 2ND CONSERVATION ROOFLIGHTS. SUPPLY AND FIT CONSERVATION ROOFLIGHTS.

ALLOW FOR REPAIRING EXISTING TIMBER CEILING (PROVISIONAL SUM OF £600) BEFORE INSULATING WITH 100 KINGSPIAN INSULATION.

ALLOW FOR LINING HIGHER CEILING AND LIGHTWELLS TO ROOFLIGHTS WITH 12.5 PLASTERBOARD & SKIM. ALLOW FOR MAKING GOOD TO WALL SUITABLE FOR REDECORATION.

INTERNAL NON LOADBEARING WALLS TIMBER

INTERNAL WALL TO BE 75mm THICK SW TREATED TIMBER STUD PARTITION INFILLED WITH 75mm THICK 'ROCKWOOL ACOUSTIC SLAB' REF: RW44DB SOUND DEADENING INSULATION TO FULLY FILL TIMBER PARTITION CONSTRUCTION TO GIVE ACOUSTIC/THERMAL INSULATION IN WET ROOMS-SEE 'WETROOM' NOTE FOR FINISH.

WETROOM

THE NEW WETROOM IS TO BE INSTALLED BY SPECIALIST 'CORIAN' SUPPLIER TO BE APPOINTED BY THE CLIENT.

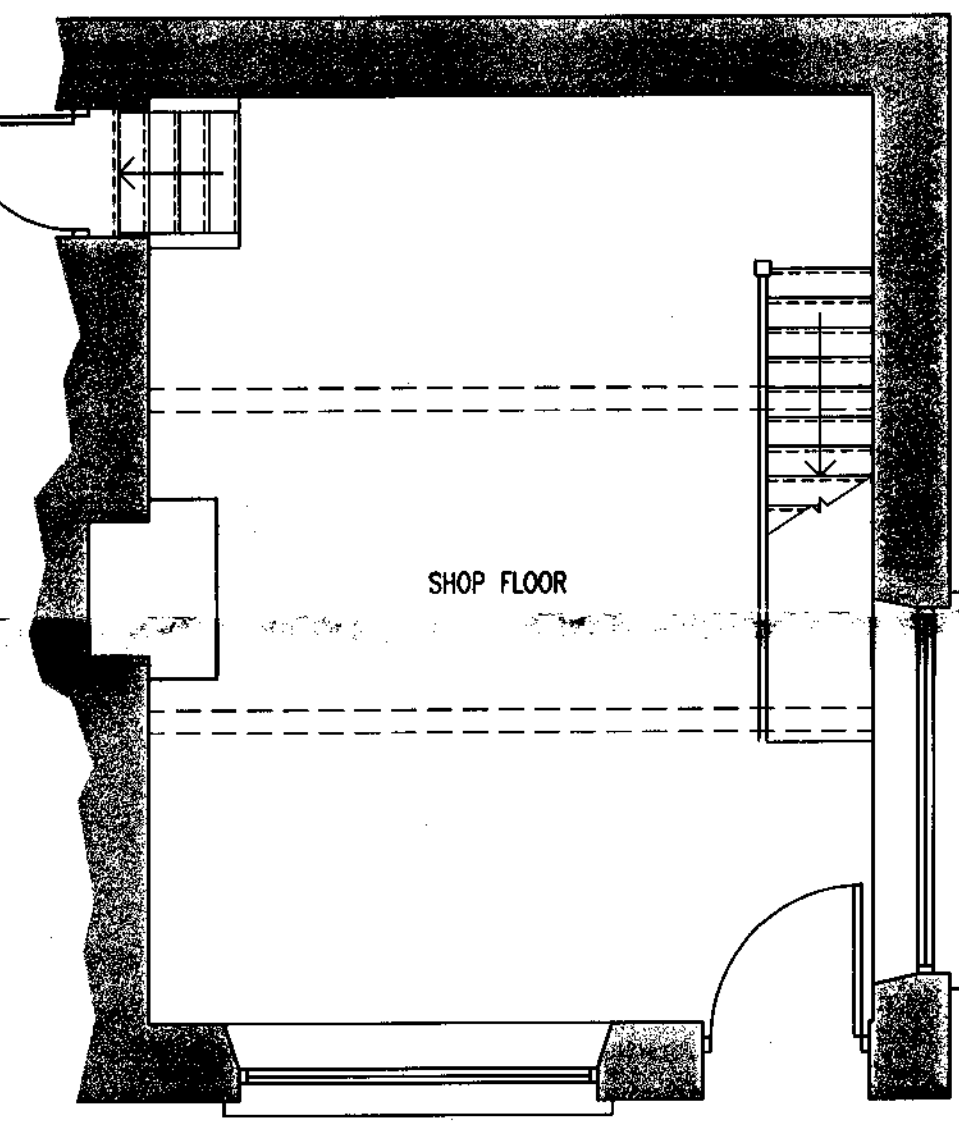
THE BATHROOM NEEDS TO BE FULLY TANKED USING CORIAN BASED SHEETING. CREATE A COMPLETELY WATERTIGHT SEAL WHERE THE WALLS MEET THE FLOOR. THE FLOOR MAY NEED TO BE STRENGTHENED AND WILL NEED TO BE RAISED BY AROUND 5 CM TO ACCOMMODATE THE WASTE FITTINGS. THE SUB-BASE MUST BE ABSOLUTELY RIGID AND THE FLOOR MUST SLOPE GENTLY TOWARDS THE WASTE OUTLET TO ENSURE THE WATER DRAINS AWAY. USE NON-SLIP FLOORING. SANITARY WARE TO BE PROVIDED BY CLIENT. PLUMBING WORKS BY CLIENT.

TOILET OUTLET TO BE BOXED USING 18mm MDF, CORIAN AND SEALED, WITH A CORIAN SEAT POT. ALLOW ALSO FOR 7M² OF NON-SLIP FLOORING MATERIAL TO CLIENT SPECIFICATION.

REV	DATE	BY	REVISION	CHKD	APPD
D	28.10.08	KH	REVISED TO SUIT CLIENT		
C	09.10.08	RP	ADDED CONSTRUCTION NOTES		NID
B	16/07/08	DC	AMENDED LAYOUT		NID
A	10/06/08	DC	ISSUE FOR APPROVAL		NID

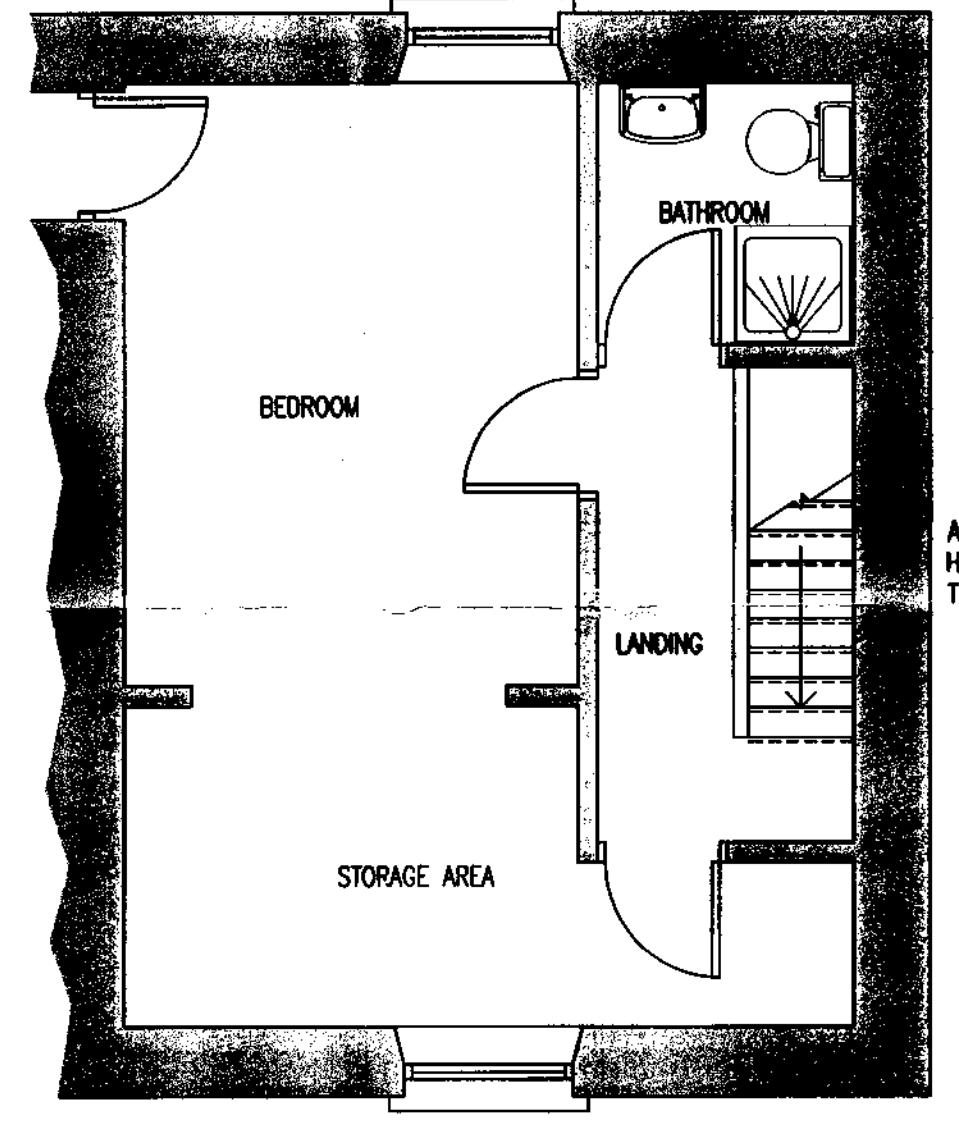
b h d partnership
 Alky Hill Manor, Whitley, North Yorkshire, UK, YO21 1QB.
 Tel: 01947-604871 Fax: 01947-600010
 general@bhdpartnership.com www.bhdpartnership.com

DISCIPLINE:	ARCHITECTURAL				
CLIENT:	Mr & Mrs Stockwell				
PROJECT:	Alterations to Internal Layout Greystones, Egton				
TITLE:	Existing & Proposed Plans & Elevations BUILDER'S DRAWING				
DRAWN:	D.Coleman	CHECKED:	N.Duffield	APPROVED:	N.Duffield
SCALE & SIZE:	1:50 & 1:100 @ A1	DATE:	10/06/08	DRAWING STATUS:	Preliminary
DRAWING No:	D9408-01			REV:	D



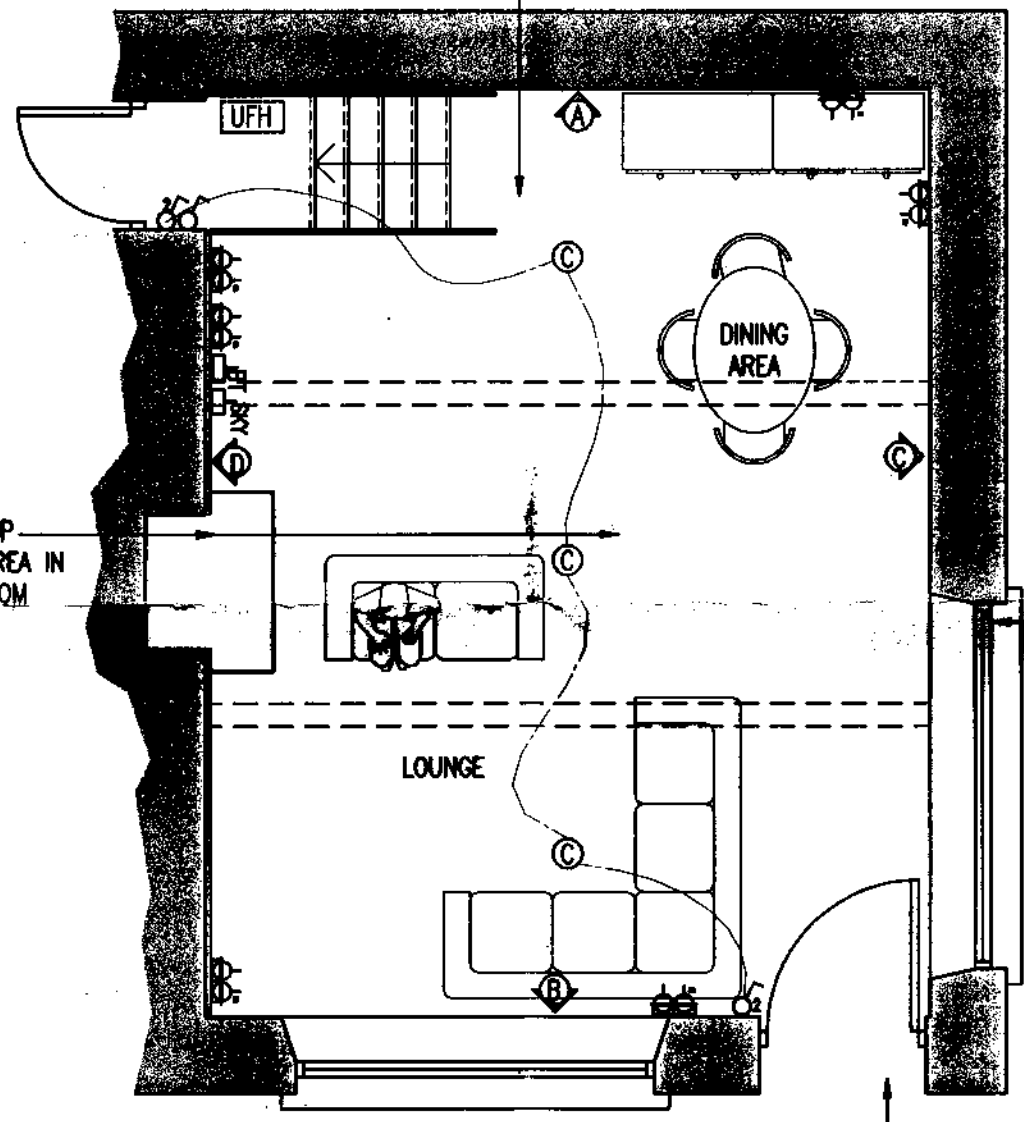
EXISTING GROUND FLOOR

SCALE: 1:50



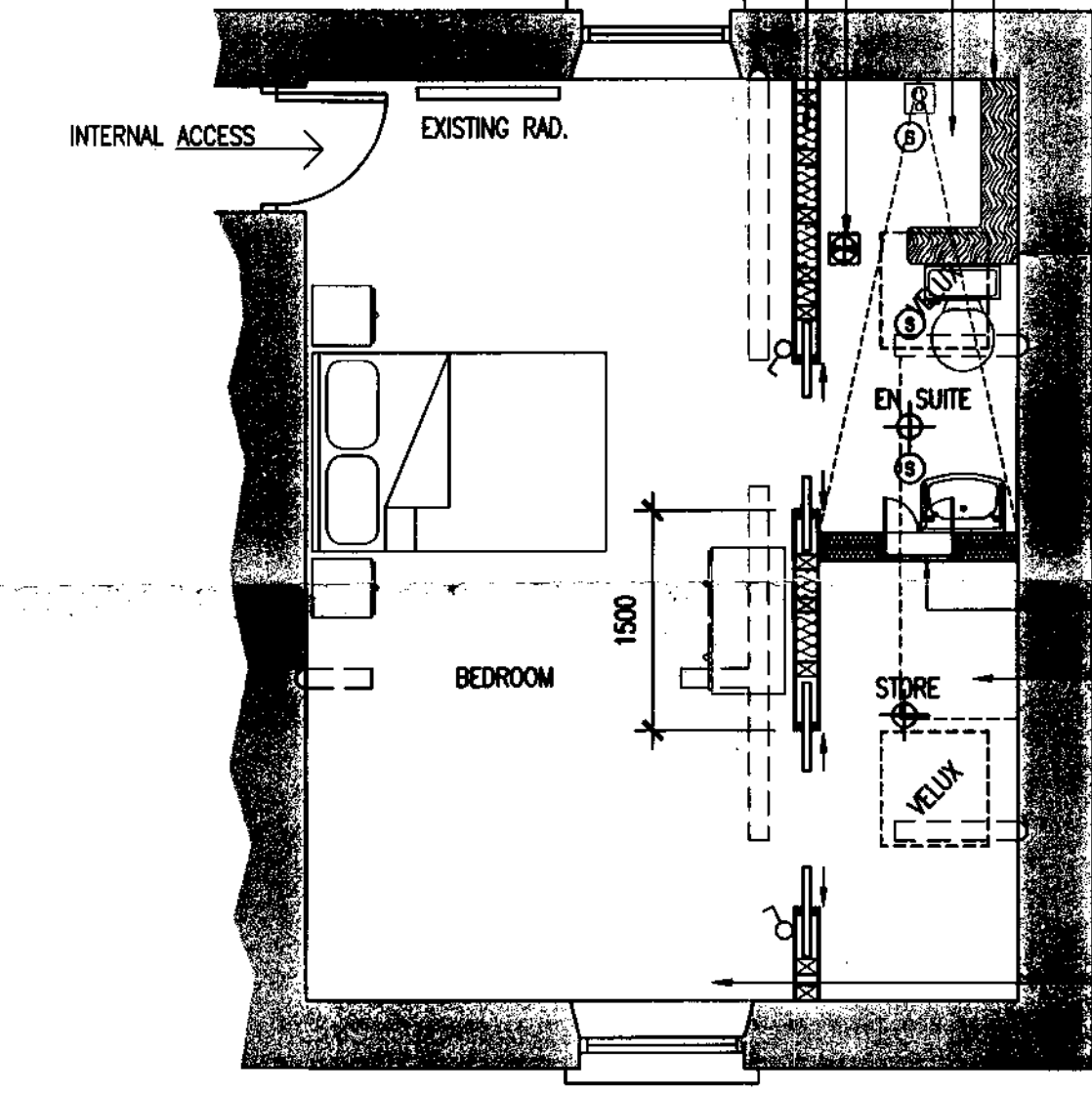
EXISTING FIRST FLOOR

SCALE: 1:50



PROPOSED GROUND FLOOR

SCALE: 1:50



PROPOSED FIRST FLOOR Option A

SCALE: 1:50

ALLOW FOR BREAKING UP HEARTH & CONCRETE AREA IN THE MIDDLE OF THE ROOM

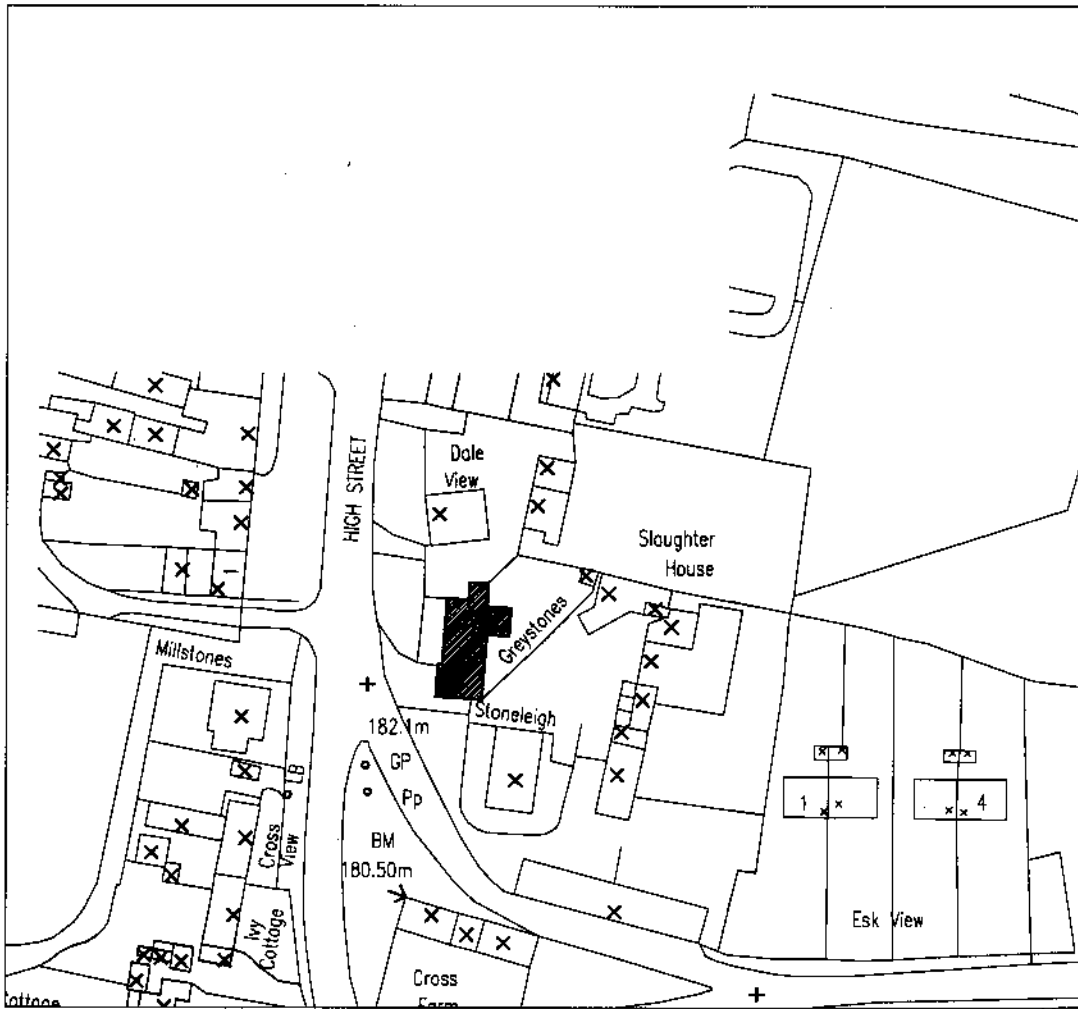
ALLOW A PROVISIONAL SUM OF £250 FOR AMENDING LEVEL OF FRONT DOOR

ALLOW FOR A PLASTER SKIM TO ALL EXISTING BEDROOM WALLS

ALLOW FOR 200mm WIDE STUD WALL WITH A 150mm DEEP SHELF TO ACCOMMODATE FLUSH FACED MIRROR & CABINET INSIDE THE WALL. APPROXIMATELY 450 WIDE x 600 HIGH AT EYE LEVEL TO BE AGREED WITH CLIENT. EXACT POSITION OF WALL ALSO TO BE AGREED WITH THE CLIENT.

CAREFULLY REMOVE EXISTING STAIRS AND MAKE GOOD. FLOOR OVER USING SUITABLY SIZED FLOOR JOISTS ON SS HANGERS. 100MM MINERAL FIBRE QUILT BETWEEN JOISTS, UNDERDRAW WITH 15MM PLASTERBOARD & SKIM. OVERBOARD WITH T&G MOISTURE RESISTANT CHIPBOARD TO MATCH FLOOR LEVEL.

ALLOW FOR NEW ELECTRIC INSTALLATION IN BEDROOM. NO. AND TYPE TO BE AGREED WITH CLIENT. ALLOW FOR A PROVISIONAL SUM OF £1000.



SITE LOCATION PLAN
SCALE: 1:1250



NYMNPA
30 JAN 2009

b h d partnership <small>Airy Hill Manor, Wharfedale, North Yorkshire, UK YO21 1QB. Tel: 01947-660271 Fax: 01947-600010 general@bhdpartnership.com www.bhdpartnership.com</small>		CLIENT: Mr & Mrs Stockwell		DRAWING TITLE: Site Location Plan	
		PROJECT: Alterations to Greystones, Egton		A4 DRN: MT DATE: 10.10.08 SCALE: 1:1250@A1 ISSUE: provisional	
A	10.10.08	MT			
REV	DATE	BY	AMENDMENT	CHKD	APVD
				DRAWING NR: D9408-03	
				REV: A	



(PT)

Householder Application for Planning Permission for works or extension to a dwelling and conservation area consent.
Town and Country Planning Act 1990
Planning (Listed Buildings and Conservation Areas Act) 1990

09/65

NL 80845 06411

Publication of planning applications on council web sites
Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.
If any other information that is provided as part of the application which falls within the definition of personal data under the Data Protection Act and is not to be published on the council's website, please contact the council's planning department.

1. Applicant Name, Address and Contact Details

Title: First name: Surname:

Company name:

Street address:

Town/City:

County:

Country:

Postcode:

Country Code: National Number: Extension Number:

Telephone number:

Mobile number:

Fax number:

Email address:

Are you an agent acting on behalf of the applicant? Yes No

2. Agent Name, Address and Contact Details

Title: First Name: Surname:

Company name:

Street address:

Town/City:

County:

Country:

Postcode:

Country Code: National Number: Extension Number:

Telephone number:

Mobile number:

Fax number:

Email address:

3. Description of Proposed Works

Please describe the proposed works:

Has the work already been started without planning permission? Yes No

NYMNPA
30 JAN 2009

4. Site Address Details

Full postal address of the site (including full postcode where available)

Description:

House: Suffix:

House name: Greystones

Street address:

Egton

Town/City: WHITBY

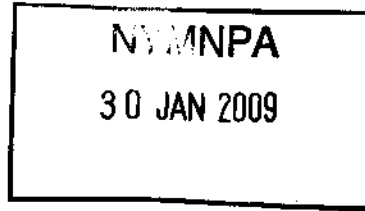
County:

Postcode: YO21 1TZ

Description of location or a grid reference (must be completed if postcode is not known):

Easting: 480842

Northing: 506413



5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title: Mrs First name: Cheryl Surname: Ward

Reference: NYM/2008/Enq. 279

Date: 21/01/2009

Details of the pre-application advice received:

Advised on seeking Planning Permission for the installation of roof lights due to the property being within a conservation area

6. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No

Is a new or altered pedestrian access proposed to or from the public highway? Yes No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way? Yes No

7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your boundary? Yes No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No

8. Parking

Will the proposed works affect existing car parking arrangements? Yes No

9. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the council? Yes No

10. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

Windows - description:

Description of *existing* materials and finishes:

Slate Roof

Description of *proposed* materials and finishes:

Conservation Roof Lights

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement? Yes No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

11. Explanation for Proposed Demolition Work

Why is it necessary to demolish all or part of the building(s) and/or structure(s)?

N/A

12. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

The agent The applicant Other person

Order 1995 & Regulation 6 - 1990

myself/the applicant was the owner of the land or building to which

Declaration made

13. Certificates (Agricultural Holdings Certificate)

**Agricultural Holding Certificate
Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7**

Agricultural Land Declaration - You Must Select Either A or B

(A) None of the land to which the application relates is, or is part of an agricultural holding.

(B) I have/The applicant has given the requisite notice to every person other than myself/the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Title: First Name: Surname:

Person role: Declaration date: Declaration Made

14. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Date

NYMNP
30 JAN 2009

DESIGN AND ACCESS STATEMENT

FOR

TWO CONSERVATION STYLE ROOFLIGHTS
GREYSTONES, EGTON

FOR

MR. & MRS. STOCKWELL

NYMNPA

30 JAN 2009

bhd
partnership
architectural design + engineering

Address: Airy Hill Manor,
Whitby,
North Yorkshire,
YO21 1QB

Tel:
Fax:
Email:

www.bhdpartnership.com

NYMNP

30 JAN 2009

1.0 GENERAL

1.1 The property is currently the subject of general refurbishment throughout.

The refurbishment includes a re-arrangement of the first floor to the south end of the property.

This re-arrangement is required following removal of an existing staircase which is no longer required.

2.0 DESIGN

2.1 The redesign of the first floor forms two small rooms with no natural light or ventilation. It is proposed to insert two small conservation style rooflights in the south clay pantile roof slope.

These rooflights will be velux GVA, matt black, low profile.

They are to be inserted within a large roof slope and will not appear as a dominating feature. They will appear traditional in both design and proportion.

Whilst there are no rooflights within this slope they could quite realistically have been introduced at any point in history.

3.0 POLICIES

The insertion of the rooflights will be considered under:

Development Policy 4 – Conservation Areas, with the New Core Strategy

This application whilst very minor has considered the scale, materials and views into the area.

In this respect the rooflight chosen is of traditional appearance and modest in scale when viewed against the roof.

Because of the above, views into the area would not be negatively affected and the general amenity would remain unharmed.

Wendy Trousdale

From: [REDACTED]
Sent: 16 February 2009 09:52
To: Development Control
Subject: With ref NYM/2009/0065/NEW

With reference to the application for installation of two rooflights on the side elevation of Greystones in Egton, I'd like to confirm that we have used that old shop area as a living room. We moved into the property in March 2002 which was within the 5 year span from the 1999 planning permission. The previous owners also used that room as a living room.

Thanks, Babs Stockwell

NYMNP

16 FEB 2009

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