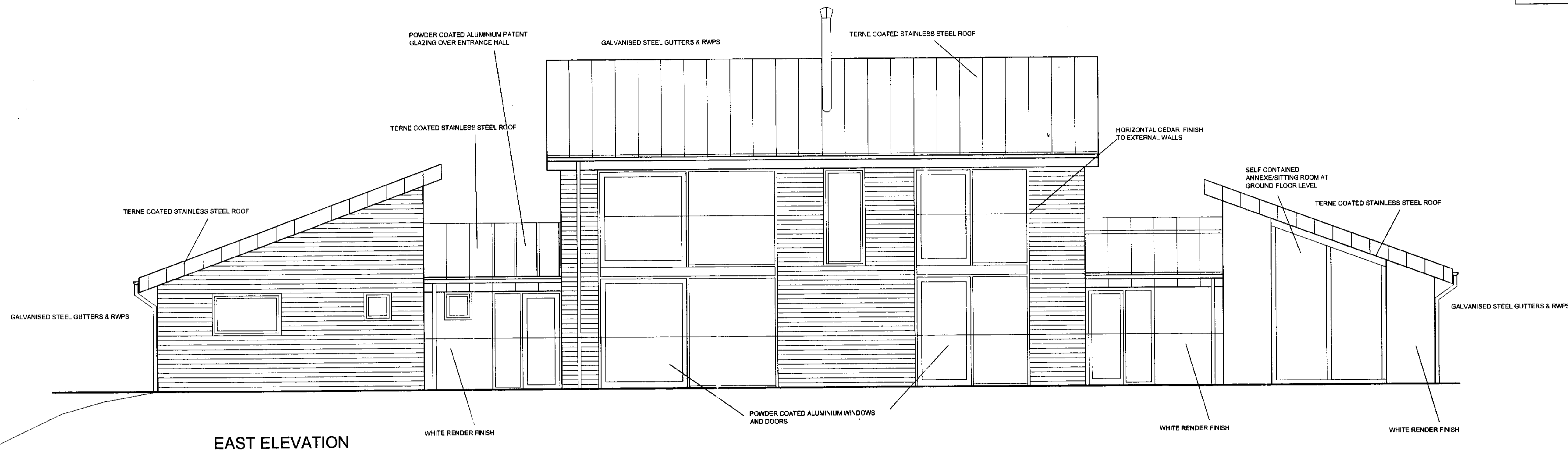


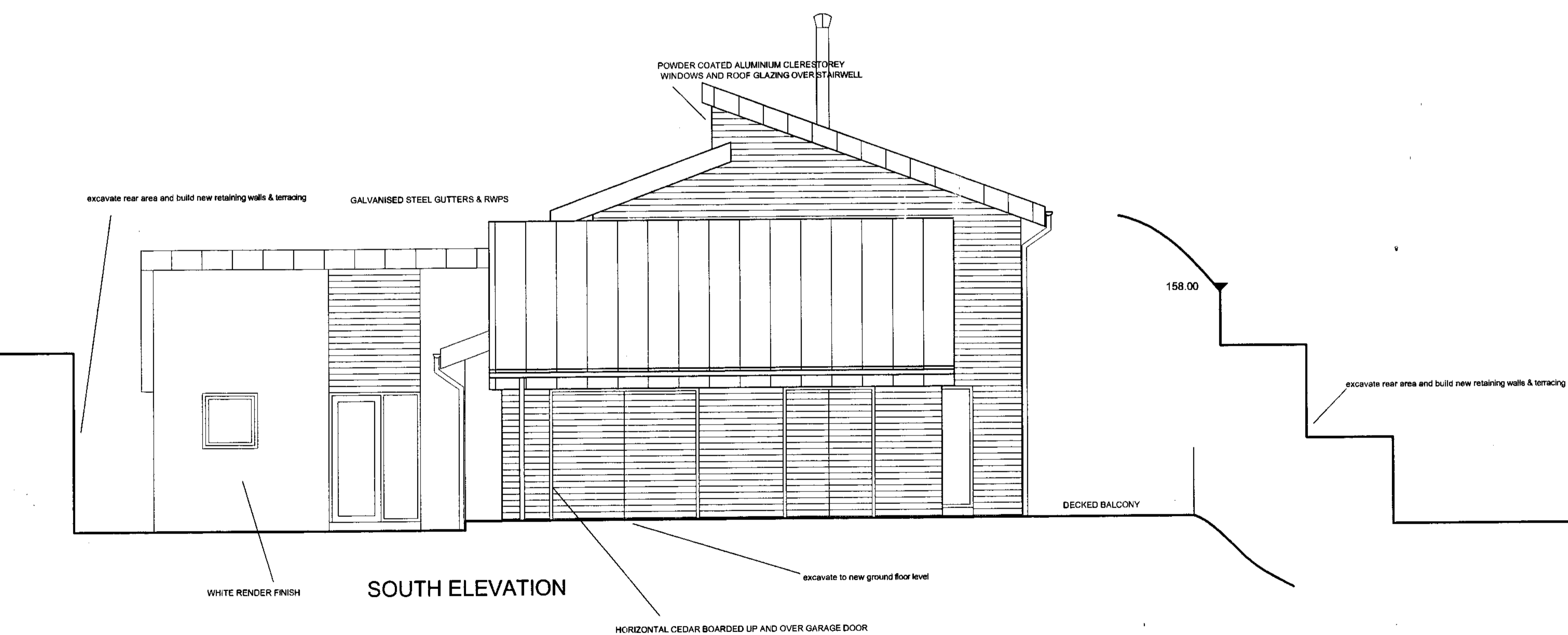
notes
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rev	notes	date
A	Redesigned to clients requirements	08 11 08
B	House redesigned to clients requirements	14 11 08
C	Design amended to clients requirements	22 01 09

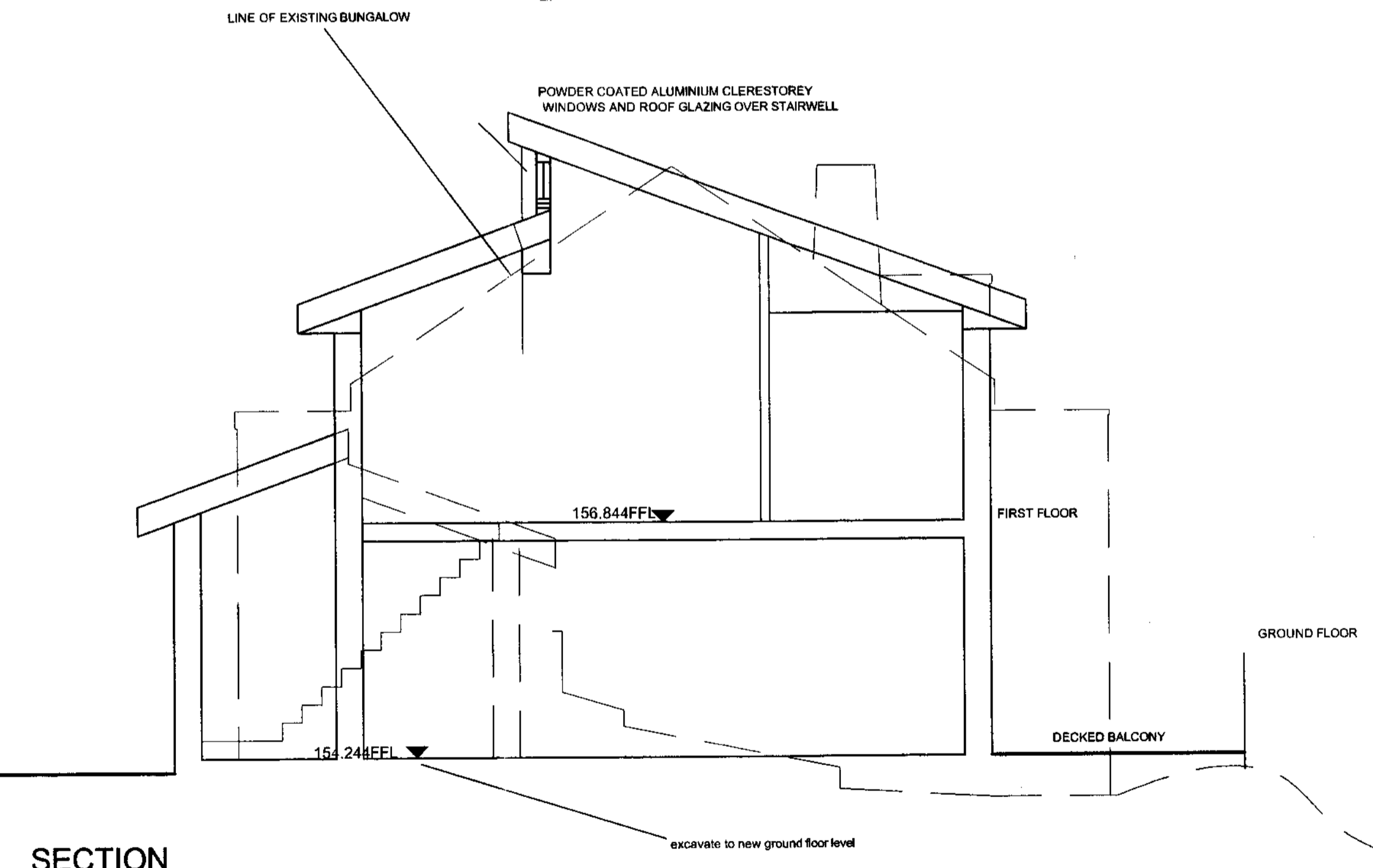
NYMNPA
 10 FEB 2009



EAST ELEVATION



SOUTH ELEVATION



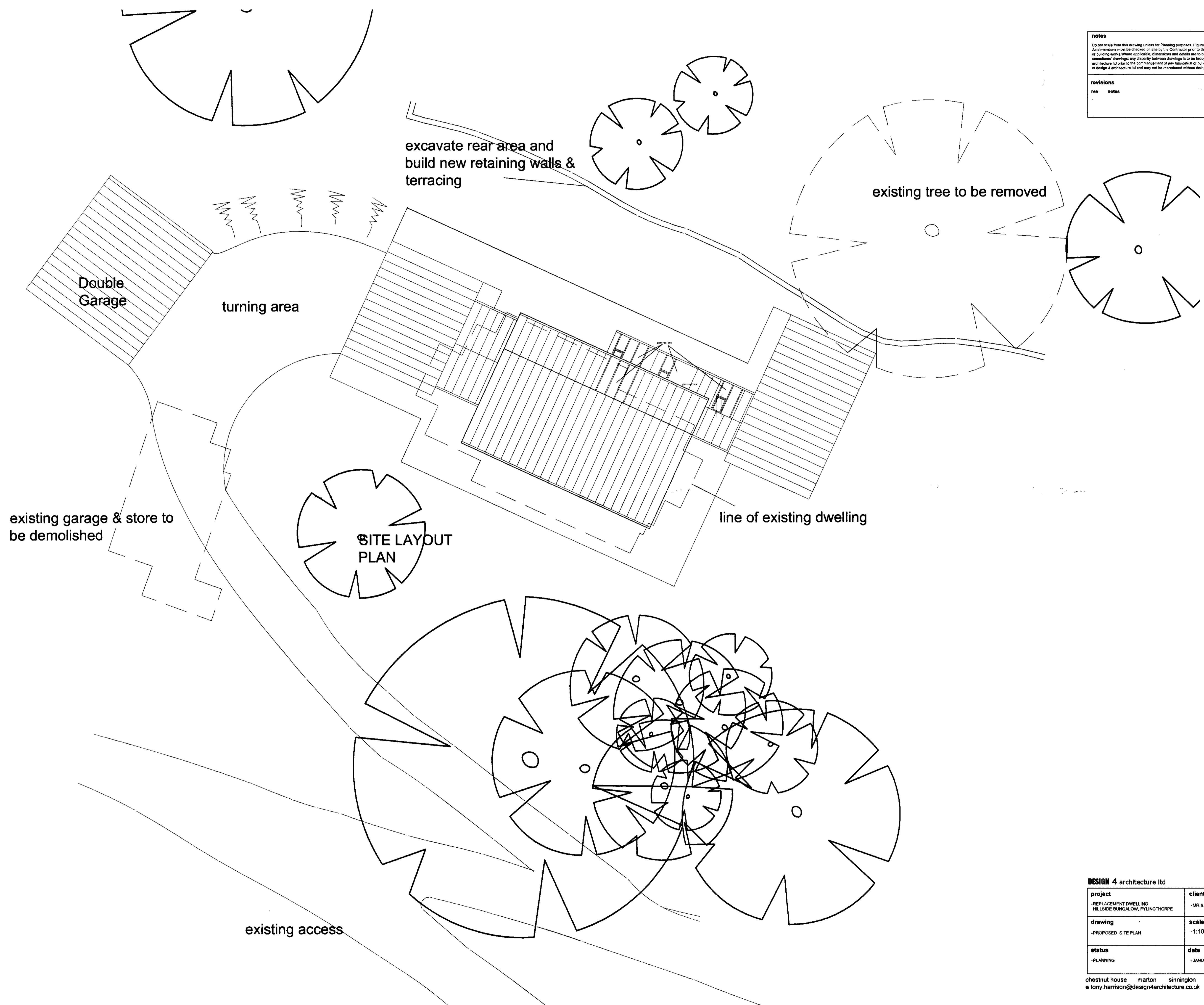
SECTION

DESIGN 4 architecture ltd

project -REPLACEMENT DWELLING -HILLSIDE BUNGALOW, FYLINGTHORPE	client -MR & MRS J GOLLAND		
drawing -PROPOSED SOUTH & EAST ELEVATIONS & SECTION	scale -1:50		number D4080008/08
status -PLANNING	date -SEPTEMBER 2008		revision C
chestnut house marton simington york yo62 6rd tlf 01751 430763 m 07770 858896 e tony.harrison@design4architecture.co.uk w www.design4architecture.com			

notes		
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revisions		date
rev	notes	

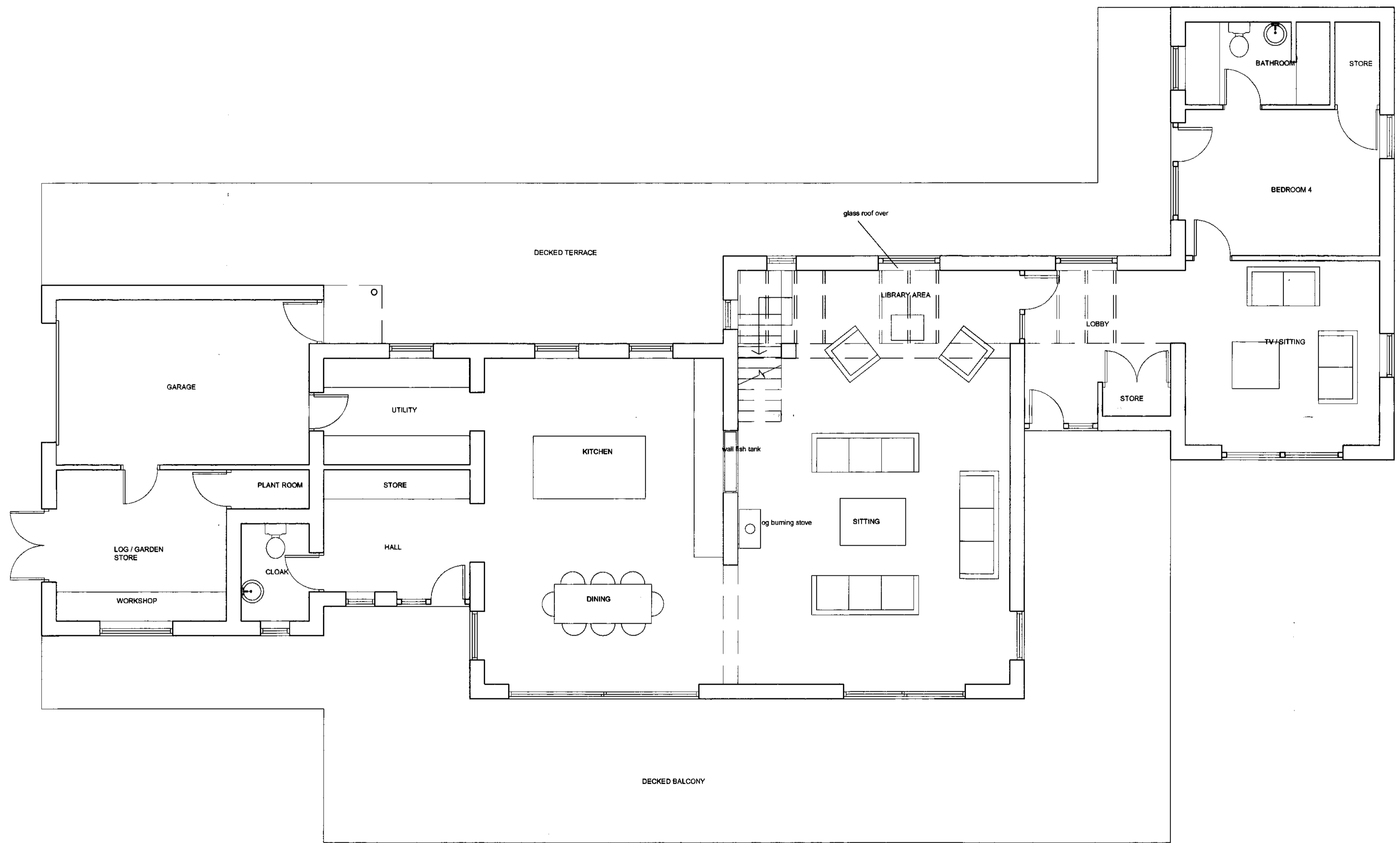
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DESIGN 4 architecture Ltd			
project	client		
-REPLACEMENT DWELLING HILLSIDE BUNGALOW, PYLINGTHORPE	-MR & MRS J GOLLAND		
drawing	scale	number	revision
-PROPOSED SITE PLAN	-1:100	D40800804	-
status	date		
-PLANNING	-JANUARY 2009		

notes		
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revisions		
rev	note	date
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B	House redesigned to clients requirements	14/11/08
C	Layout amended to clients requirements	22/01/09

REVISION A
10 FEB 2009



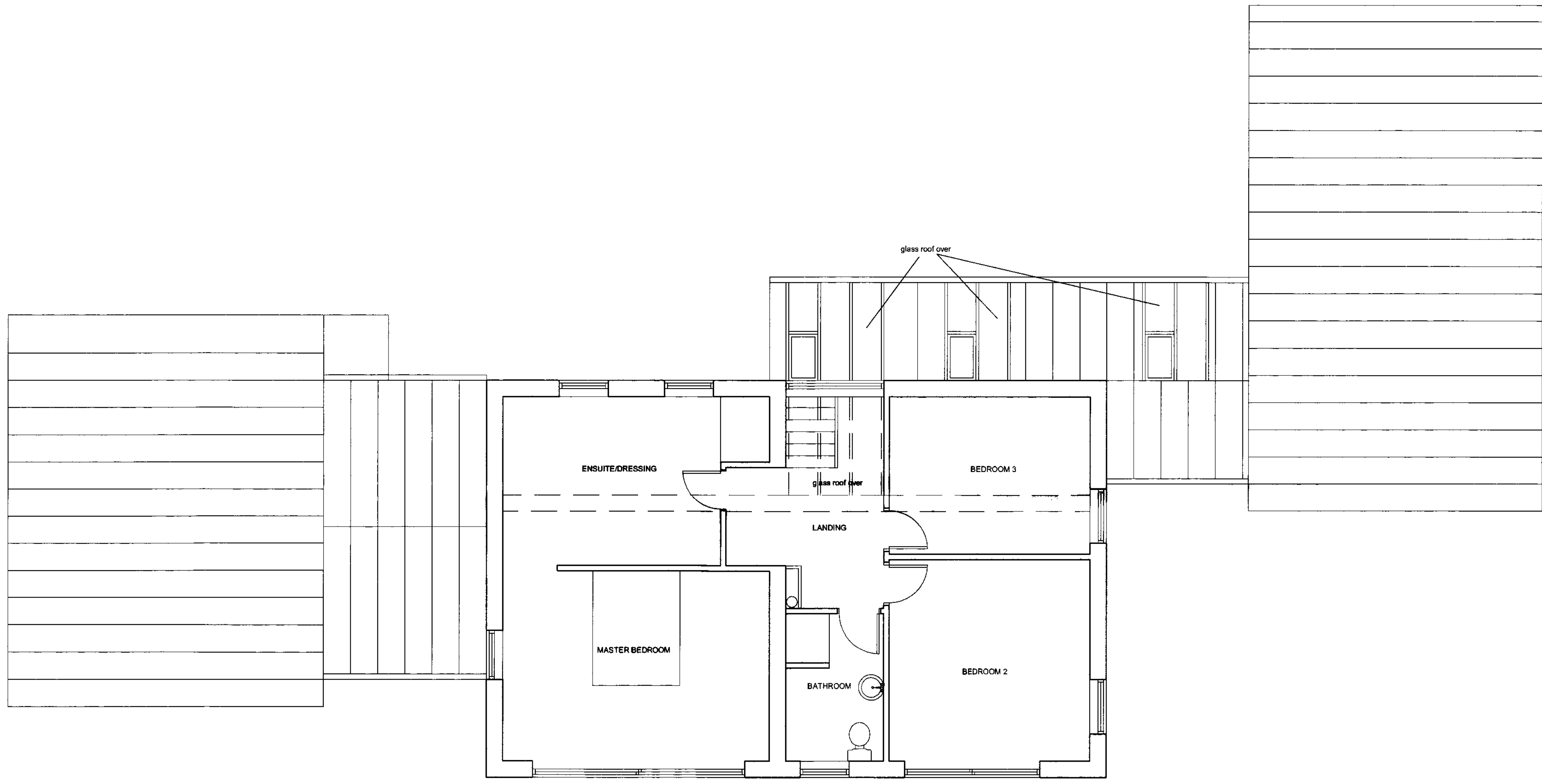
GROUND FLOOR PLAN

DESIGN 4 architecture ltd			
project REPLACEMENT DWELLING HILLSIDE BUNGALOW, FYLINGTHORPE	client MR & MRS J GOLLAND		
drawing PROPOSED GROUND FLOOR PLAN	scale 1:50	number D408006/06	revision C
status PLANNING	date SEPTEMBER 2008		

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e tony.harrison@design4architecture.co.uk w www.design4architecture.com

notes		
Do not scale from this drawing unless for Planning purposes. If ground dimensions only are to be used, all dimensions must be checked on site by the Contractor prior to the commencement of any fabrication or building works. Where applicable, dimensions and details are to be read in conjunction with specialist consultant drawings. Any discrepancy between drawings is to be brought to the attention of design 4 architecture ltd prior to the commencement of any fabrication or building works. This drawing is the property of design 4 architecture ltd and may not be reproduced without their permission.		
rev	notes	date
-	House redesigned to clients requirements	08 11 08
B	House redesigned to clients requirements	14 11 08
C	Layout amended to clients requirements	22 01 09

10 FEB 2009



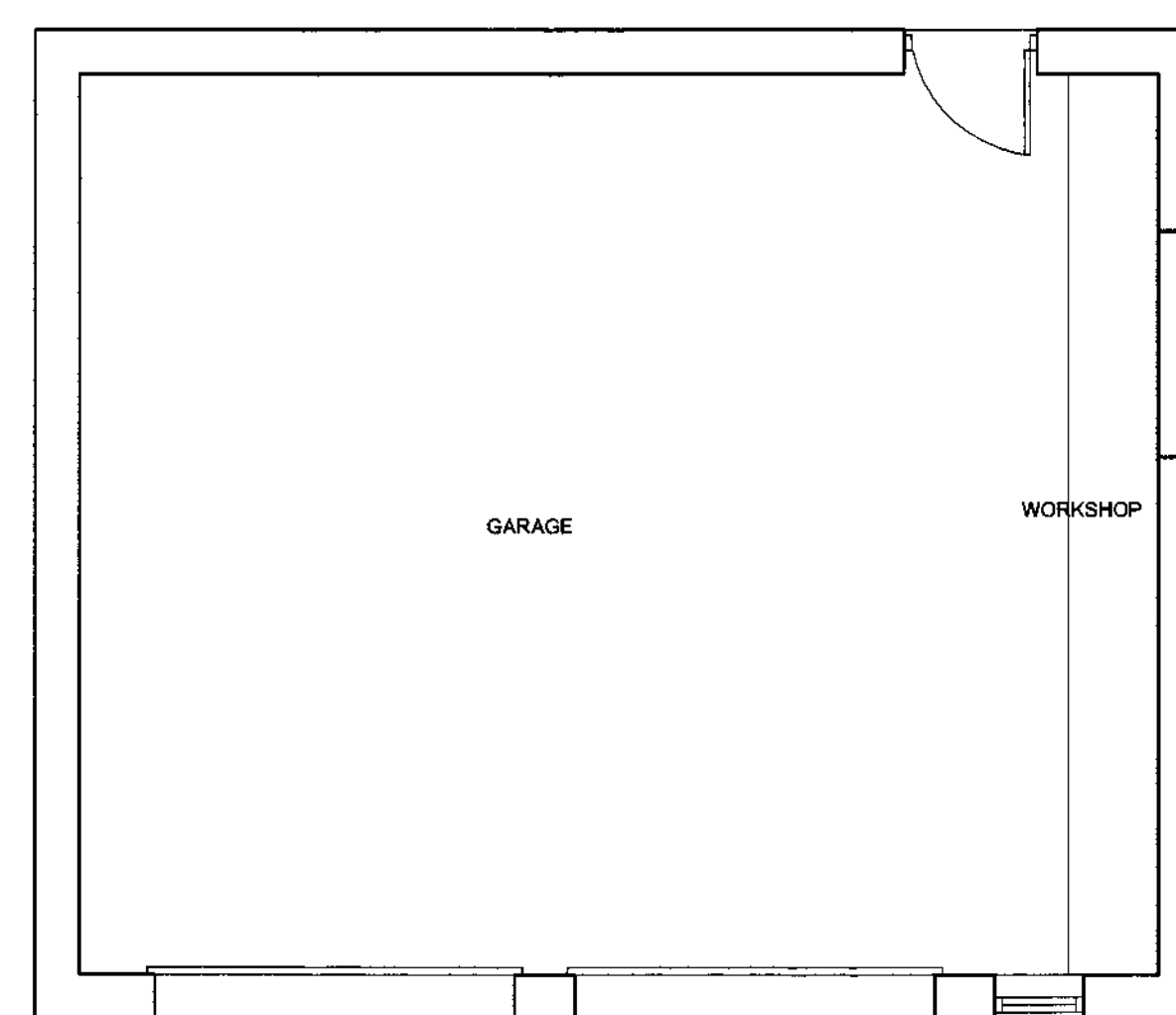
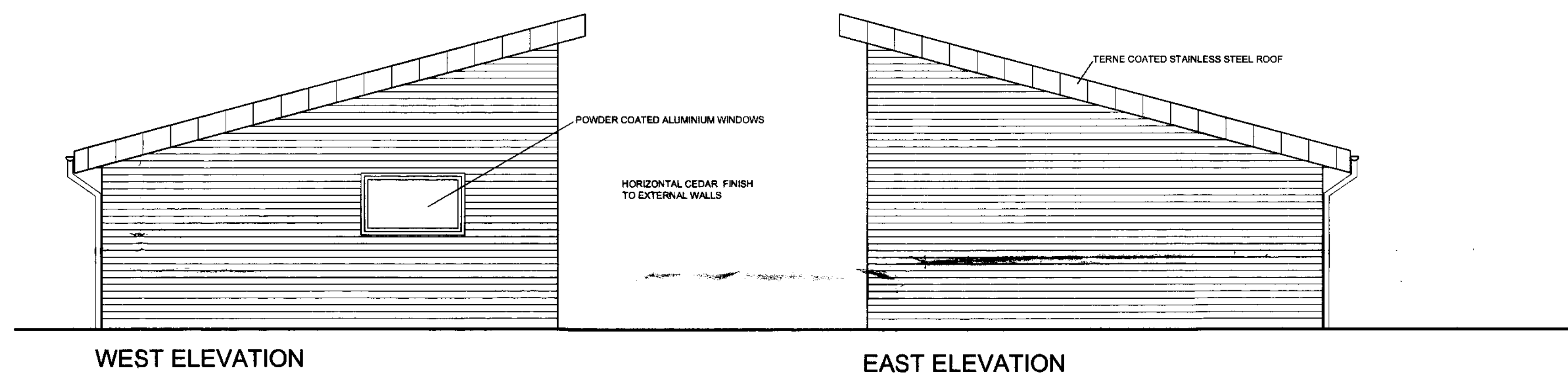
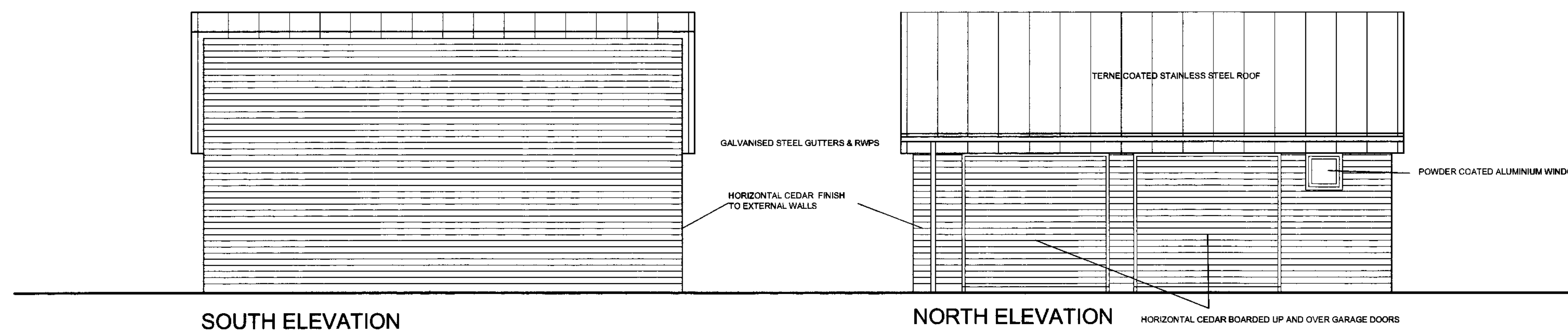
FIRST FLOOR PLAN

DESIGN 4 architecture ltd			
project	client		
REPLACEMENT DWELLING HELLSIDE BUNGALOW, FYLINGTHORPE	MR & MRS J GOLLAND		
drawing	scale	number	revision
PROPOSED FIRST FLOOR PLAN	1:50	D4080008/07	C
status	date		
PLANNING	SEPTEMBER 2008		

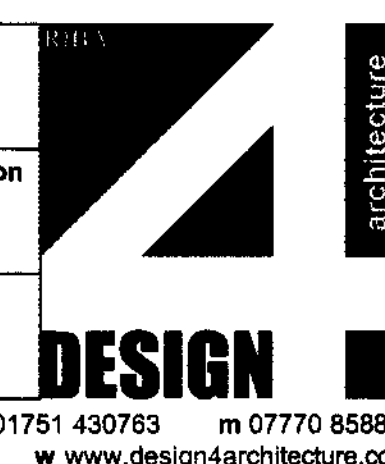


notes		
<small>Do not scale from this drawing unless for Planning purposes. Figured dimensions only are to be used. All dimensions must be checked on site by the Contractor prior to the commencement of any fabrication or building works. Where applicable, dimensions and details are to be read in conjunction with specialist consultants' drawings. Any discrepancy between drawings is to be brought to the attention of Design 4 architecture Ltd prior to the commencement of any fabrication or building works. This drawing is the property of Design 4 architecture Ltd and may not be reproduced without their permission.</small>		
revisions		
rev	notes	date
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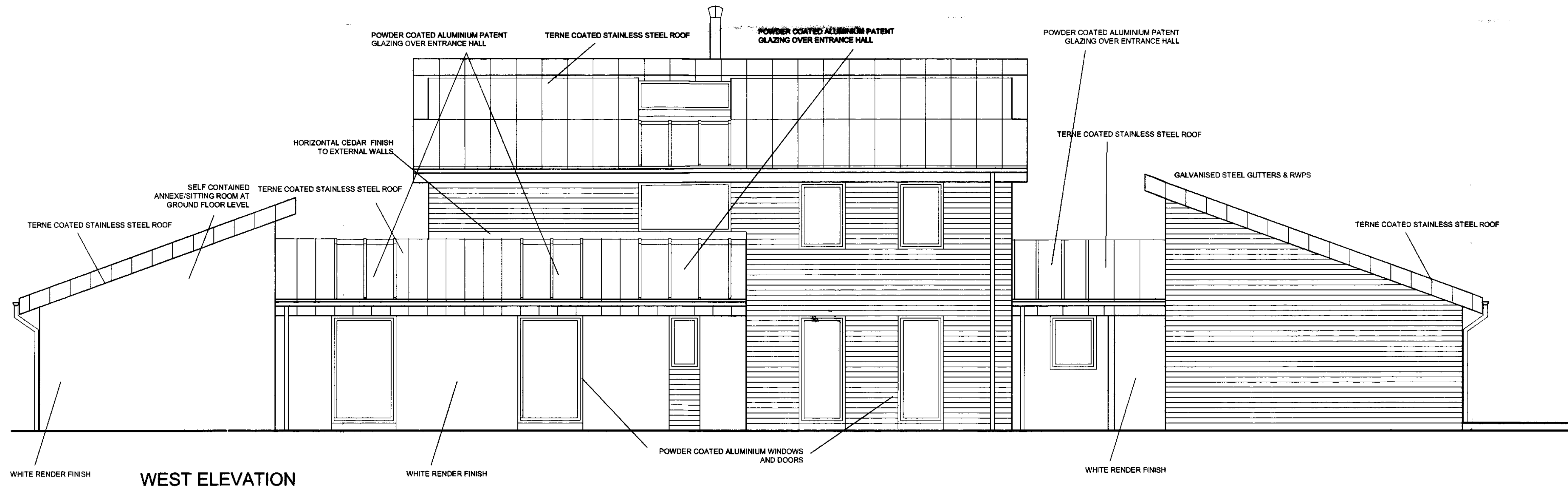
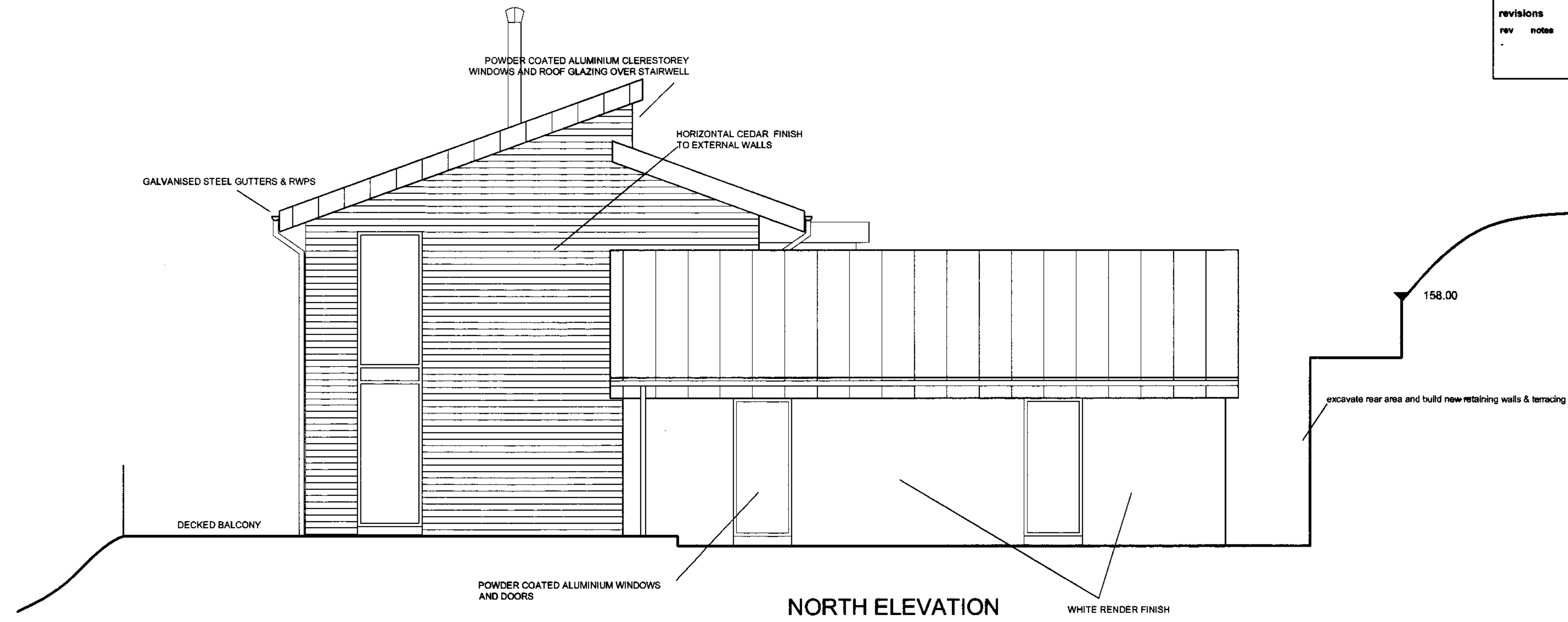


DESIGN 4 architecture ltd			
project	client		
-REPLACEMENT DWELLING HILLSIDE BUNGALOW, PYLINGTONHORPE	-MR & MRS J GOLLAND		
drawing	scale	number	revision
-PROPOSED GARAGE PLAN & ELEVATIONS	-1:50	D4080008/10	-
status	date		
-PLANNING	-SEPTEMBER 2008		



notes		
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revisions		date
rev	notes	
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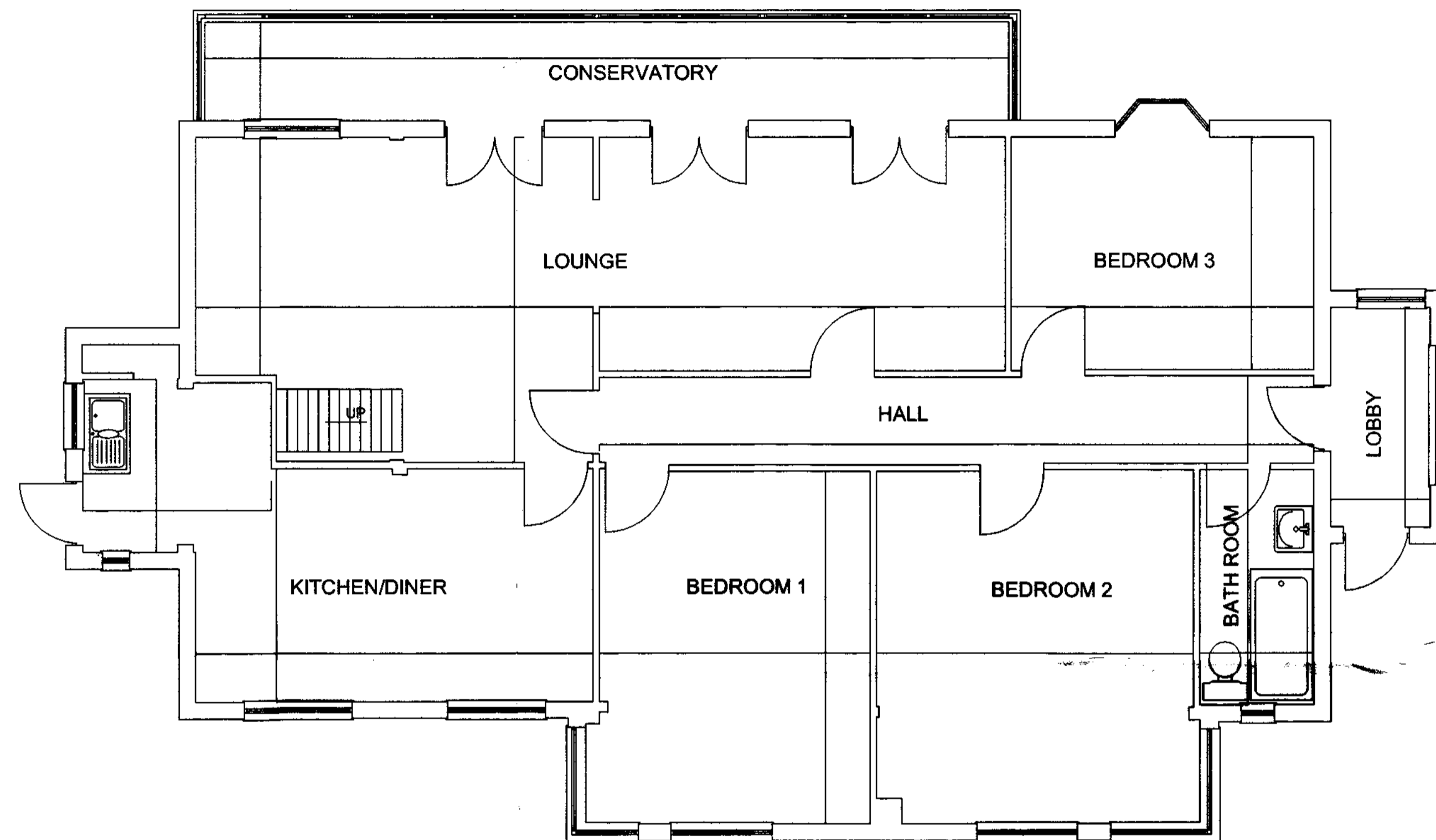


DESIGN 4 architecture ltd			
project	client		
-REPLACEMENT DWELLING HILLSIDE BUNGALOW, PYLINGTHORPE	-MR & MRS J GOLLAND		
drawing	scale	number	revision
-PROPOSED NORTH & WEST ELEVATIONS	-1:50	D4000009	-
status	date		
-PLANNING	-SEPTEMBER 2008		

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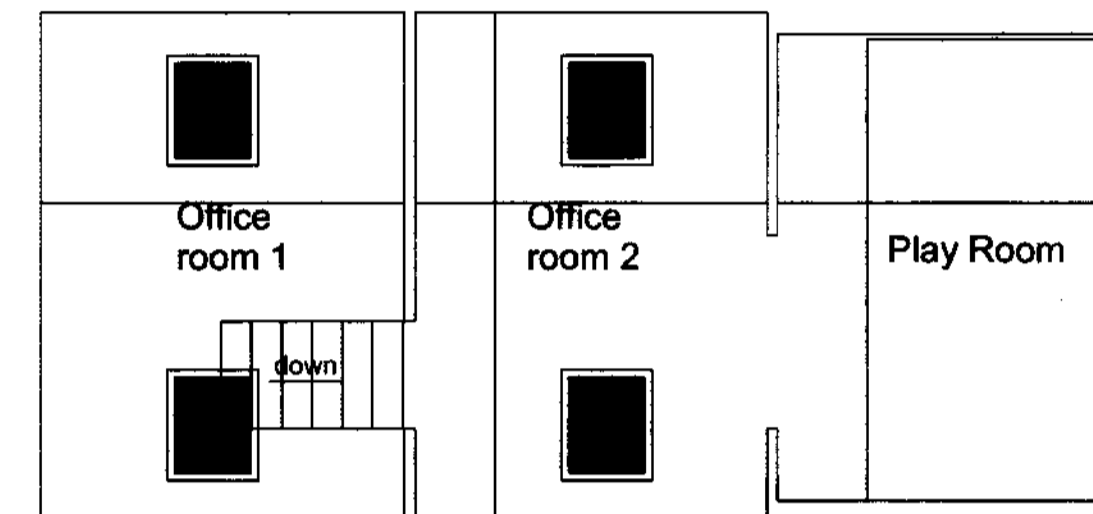
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revisions		
rev	notes	date
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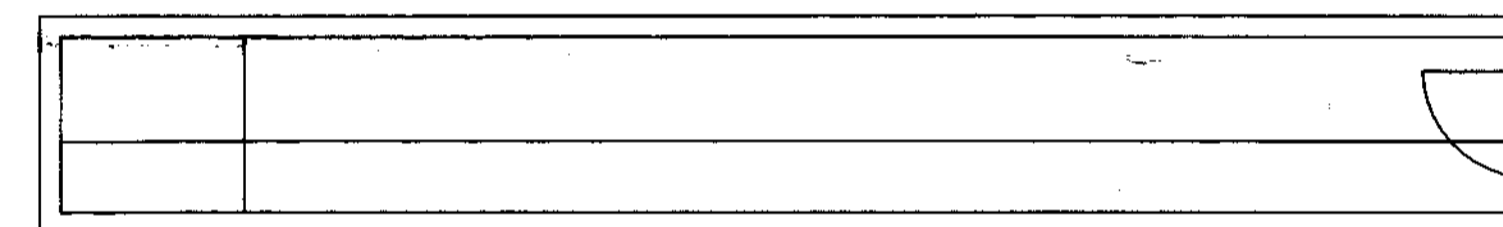


EXISTING GROUND FLOOR PLAN
FLOOR AREA = 1305.5 sq.ft.
scale 1:50

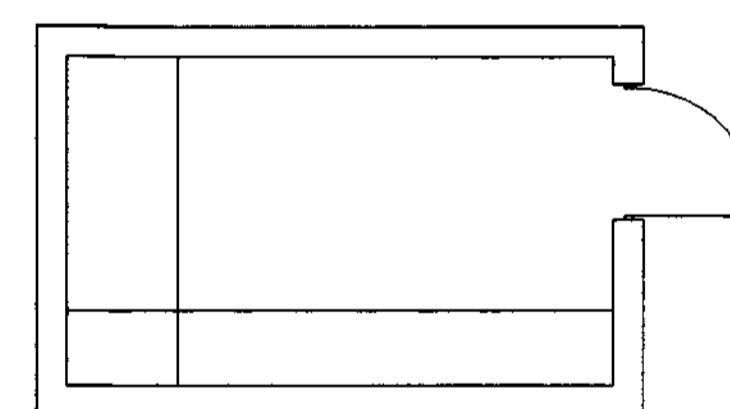
TOTAL FLOOR AREA = 1753.7 sq.ft.



EXISTING FIRST FLOOR PLAN
FLOOR AREA = 252.6 sq.ft.
scale 1:50



EXISTING CELLAR Nr.2 FLOOR PLAN
FLOOR AREA = 110.76 sq.ft.
scale 1:50



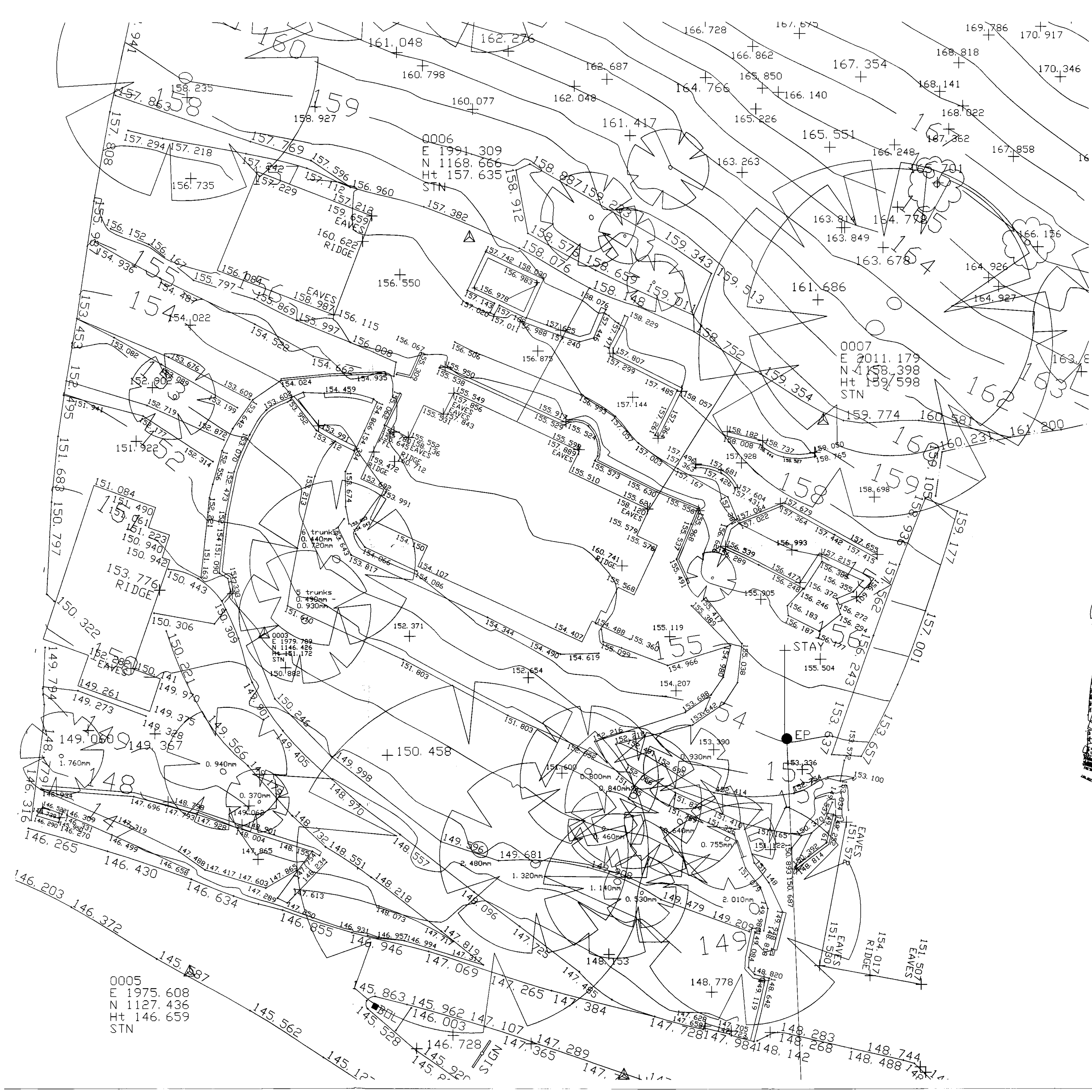
EXISTING CELLAR Nr.1 FLOOR PLAN
FLOOR AREA = 84.8 sq.ft.
scale 1:50

DESIGN 4 architecture ltd			
project	client		
- REPLACEMENT DWELLING HILLSIDE BUNGALOW, FYLINGTHORPE	- MR & MRS J GOLLAND		
drawing	scale	number	revision
- EXISTING FLOOR PLANS	- 1:50	D40000003	-
status	date		
- SURVEY	- JANUARY 2009		

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notes		
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revisions		date
rev	notes	

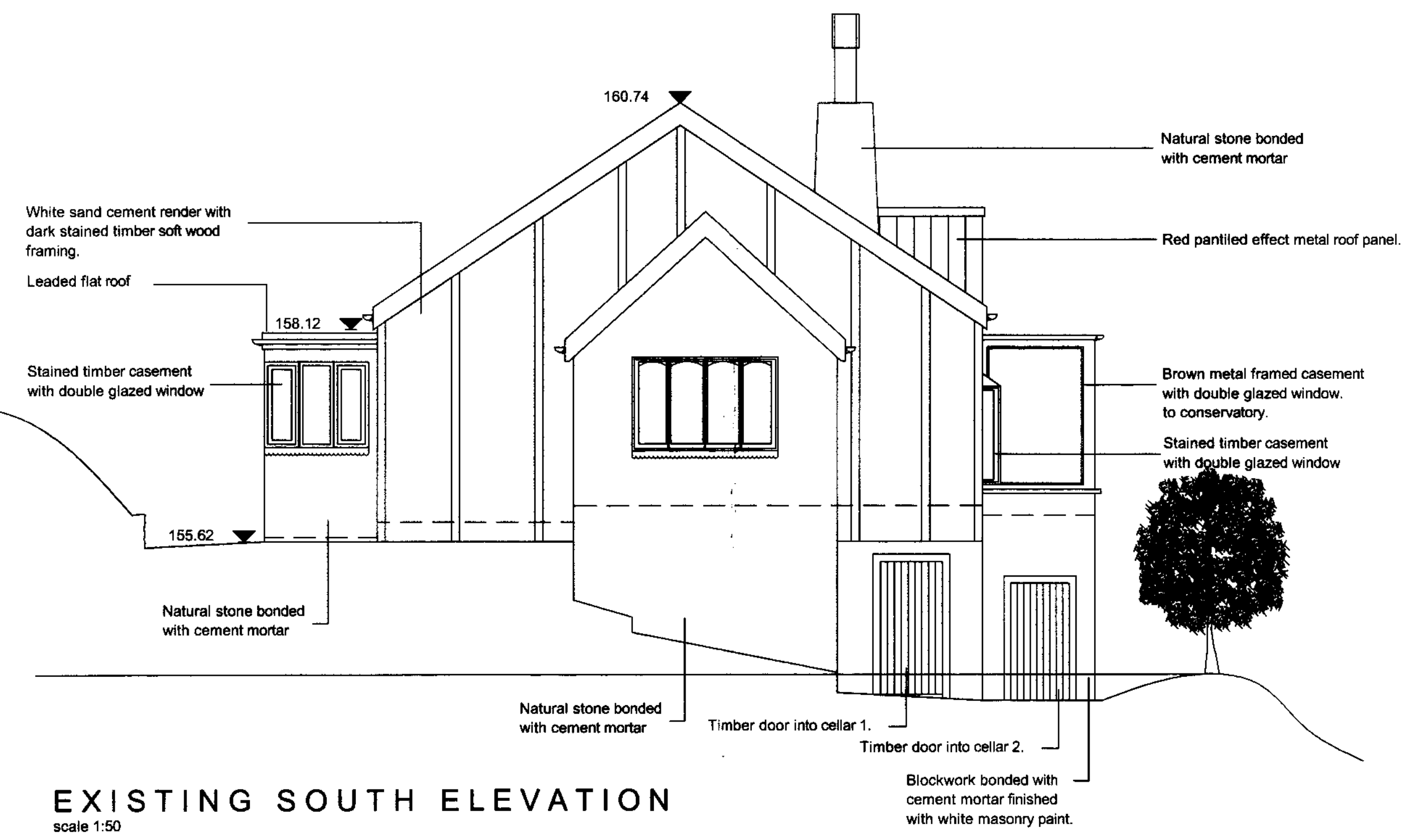
NYM/NPA
10 FEB 2009



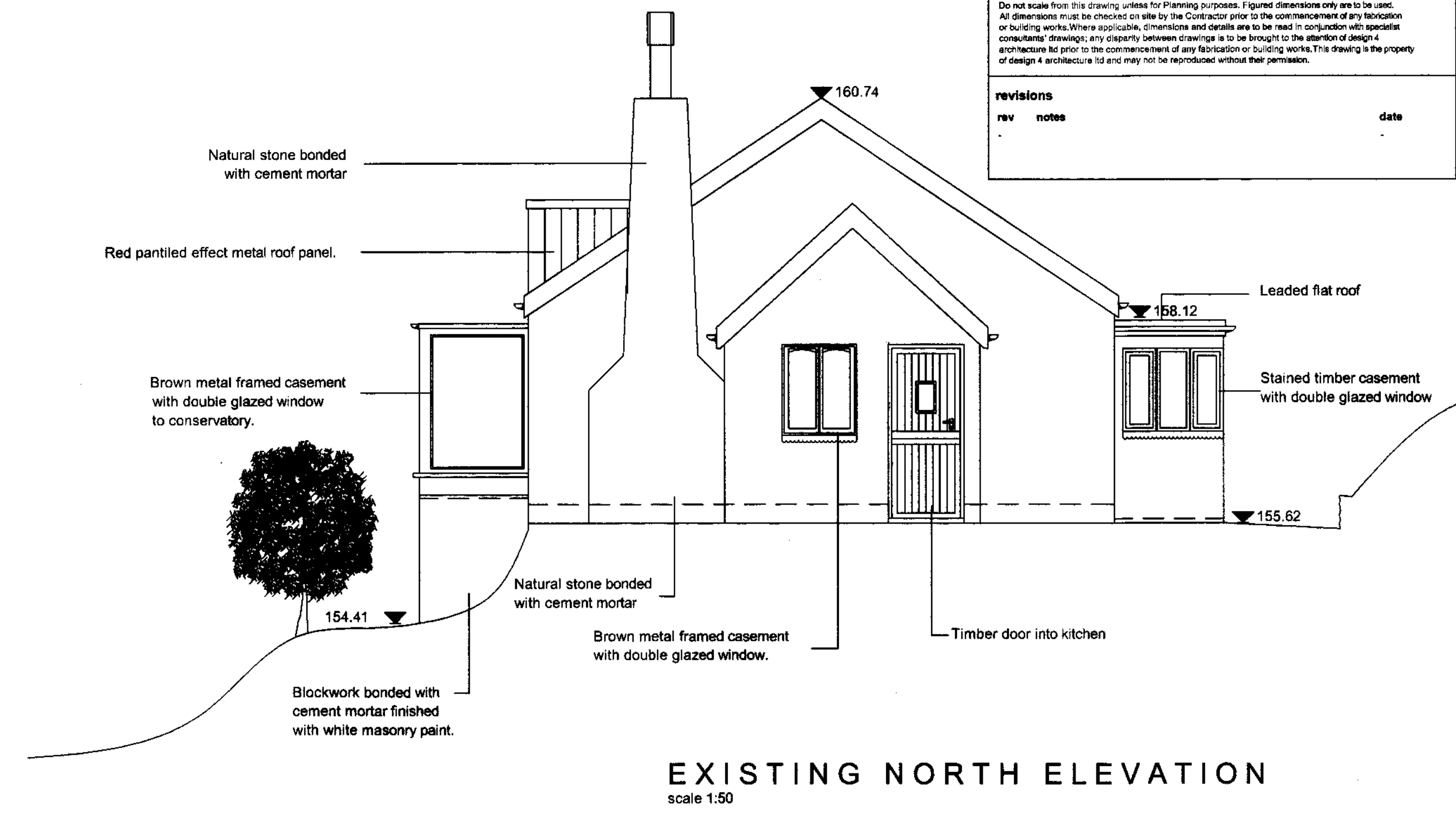
DESIGN 4 architecture Ltd			
project	client		
-REPLACEMENT DWELLING HILLSIDE BUNGALOW, PYLINGTONHORPE	-MR & MRS J GOLLAND		
drawing	scale	number	revision
-EXISTING SITE PLAN	-1:100 1:500	D408008/01	-
status	date		
-SURVEY	-JANUARY 2009		



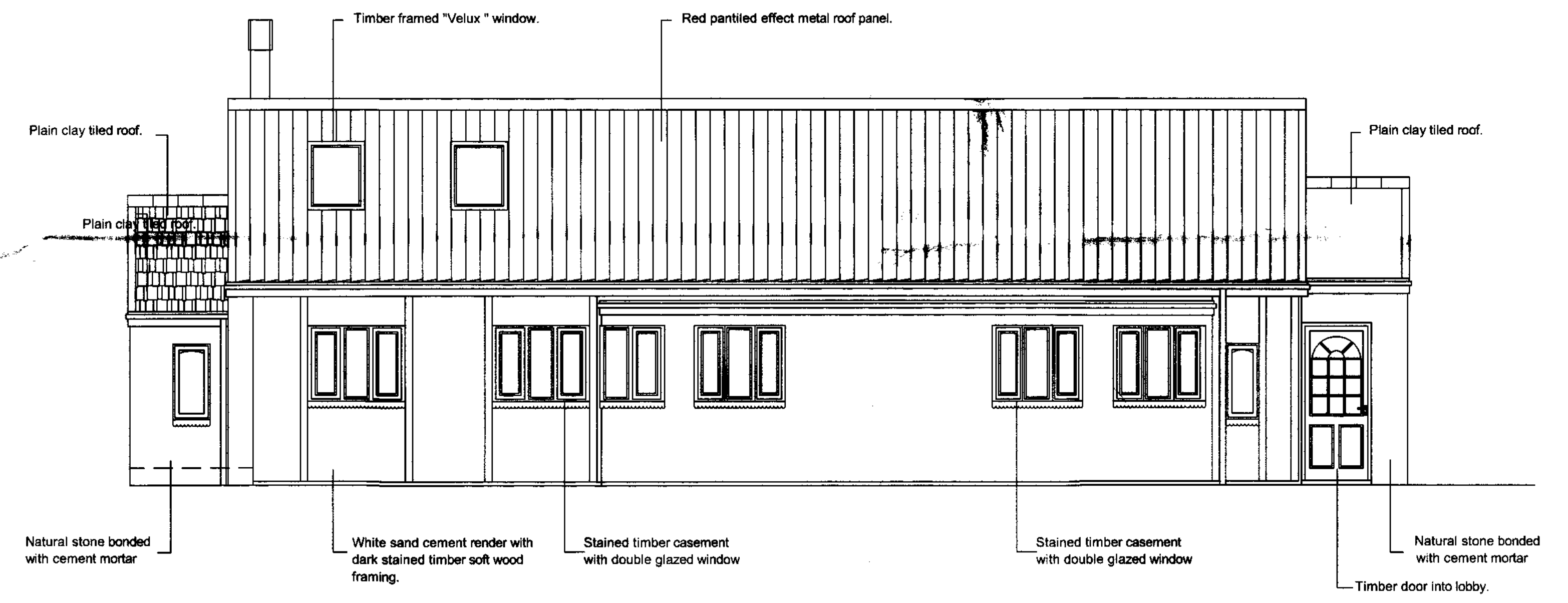
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Do not scale from this drawing, unless for planning purposes. If figured dimensions only are to be used, all dimensions must be checked on site by the Contractor prior to the commencement of any fabrication or building works. Where applicable, dimensions and details are to be read in conjunction with specialist consultants' drawings; any discrepancy between drawings is to be brought to the attention of Design 4 Architecture Ltd prior to the commencement of any fabrication or building works. This drawing is the property of Design 4 Architecture Ltd and may not be reproduced without their permission.		
revisions		
rev	notes	date
-	-	-



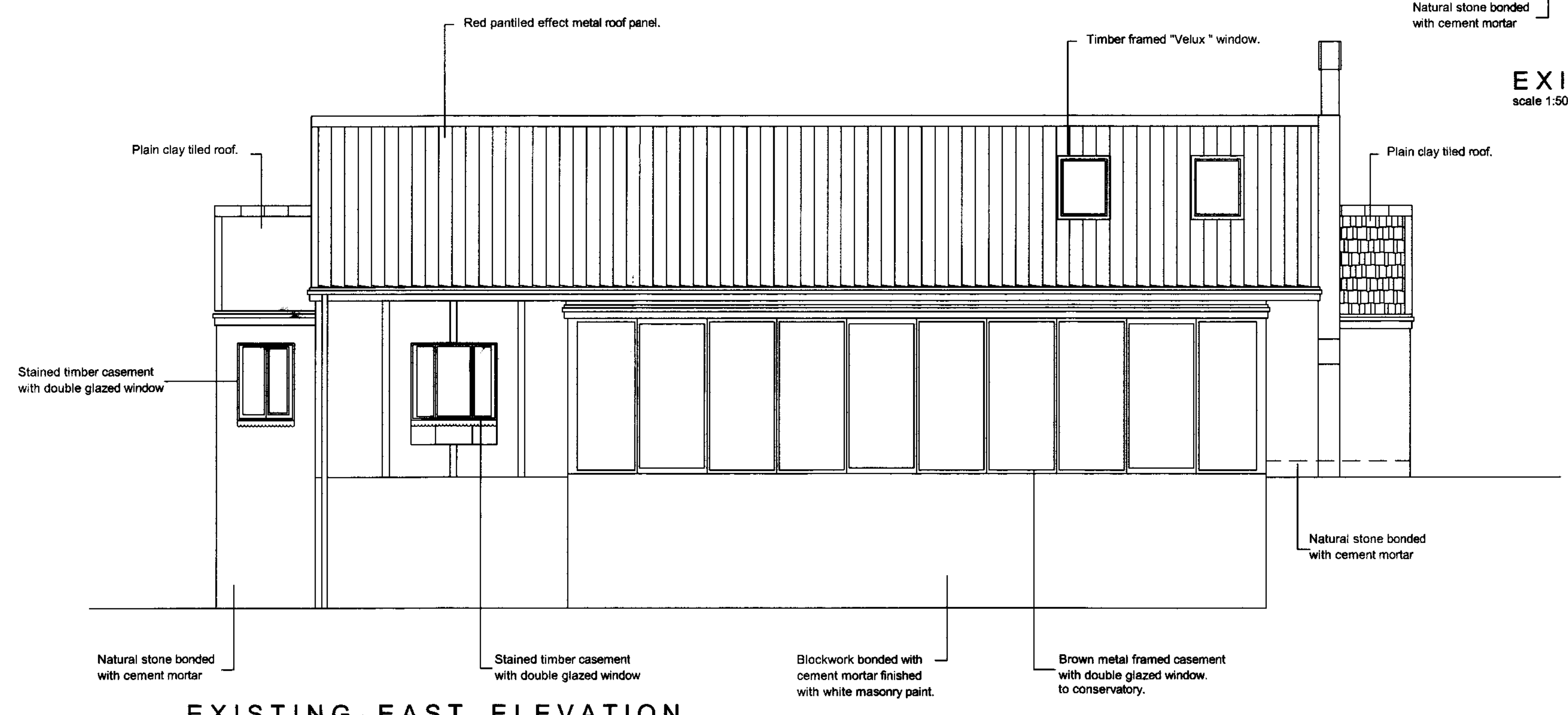
EXISTING SOUTH ELEVATION
scale 1:50



EXISTING NORTH ELEVATION
scale 1:50



EXISTING WEST ELEVATION
scale 1:50



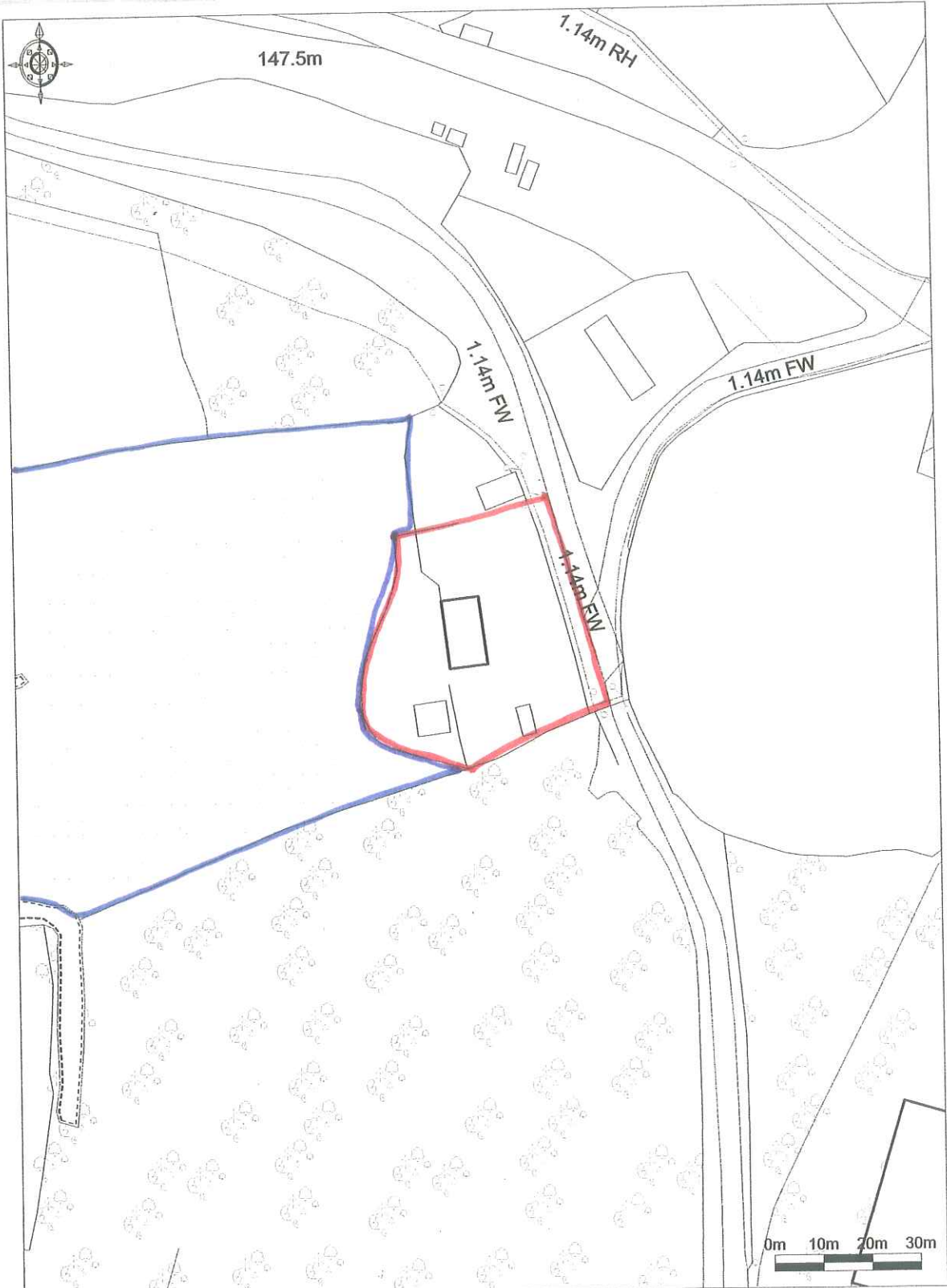
EXISTING EAST ELEVATION
scale 1:50

DESIGN 4 architecture ltd					
project	REPLACEMENT DWELLING HILLSIDE BUNGALOW, FILINGTHORPE		client	MR & MRS J GOLLAND	
drawing	EXISTING ELEVATIONS	scale	1:50	number	0408000802
status	SURVEY	date	JANUARY 2009	revision	
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6002 874 01
NYMNPV

Hillside Bungalow FYlingthorpe, Whitby 1:1250 Location Plan

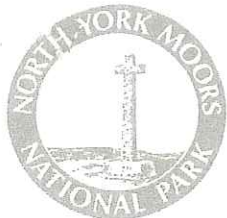
2009 / 0 0 8 7 / FL - 1 1



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DESIGN 4 architecture



NYM / 2009 / 0087 / FL

09/87

Application for Planning Permission. Town and Country Planning Act 1990

Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

NZ 93622 04495

1. Applicant Name and Address

Title: First name:

Last name:

Company (optional):

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Country:

Postcode:

2. Agent Name and Address

Title: First name:

Last name:

Company (optional):

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Country:

Postcode:

3. Description of Proposed Works

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Has building or works already been carried out or use of land already started? Yes No

If Yes, please state the date when building works or use were started (DD/MM/YYYY): (date must be pre-application submission)

Have the works been completed or change of use already occurred? Yes No

If Yes, please state when the works were completed or use occurred (DD/MM/YYYY): (date must be pre-application submission)

4. Site Address Details

Please provide the full postal address of the application site.

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Postcode (optional):

Description of location or a grid reference. (must be completed if postcode is not known):

Easting: Northing:

Description:

5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much as possible:

Officer name:

Reference:

Date (DD/MM/YYYY): (must be pre-application submission)

Details of pre-application advice received?

6. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No Unknown

Is a new or altered pedestrian access proposed to or from the public highway? Yes No Unknown

Are there any new public roads to be provided within the site? Yes No Unknown

Are there any new public rights of way to be provided within or adjacent to the site? Yes No Unknown

Do the proposals require any diversions /extinguishments and/or creation of rights of way? Yes No Unknown

If you answered Yes to any of the above questions, please show details on your plans/drawings and state the reference of the plan (s)/drawings(s)

7. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste? Yes No Unknown

If Yes, please provide details:

Have arrangements been made for the separate storage and collection of recyclable waste? Yes No Unknown

If Yes, please provide details:

8. Neighbour and Community Consultation

Have you consulted your neighbours or the local community about the proposal? Yes No

If Yes please provide details:

9. Council Employee / Member




Is the applicant or applicant's spouse any member of staff or elected member of the Council? Yes No

If Yes, please provide details:

10. Materials

If applicable, please state what materials are to be used externally. Include type, colour and name for each material:

NYM / 2009 / 0087 / FL

	Existing (where applicable)	Proposed	Not applicable	Don't Know	Drawing references if applicable
Walls		WHITE RENDER / CEDAR CLADDING	<input type="checkbox"/>	<input type="checkbox"/>	
Roof		TERNE STEEL	<input type="checkbox"/>	<input type="checkbox"/>	
Windows		POWDER COATED ALUMINIUM.	<input type="checkbox"/>	<input type="checkbox"/>	
Doors		POWDER COATED AL / CEDAR BOARDED	<input type="checkbox"/>	<input type="checkbox"/>	
Boundary treatments (e.g. fences, walls)			<input type="checkbox"/>	<input type="checkbox"/>	
Vehicle access and hard-standing		GRAVEL	<input type="checkbox"/>	<input type="checkbox"/>	
Lighting			<input type="checkbox"/>	<input type="checkbox"/>	
Others (please specify)			<input type="checkbox"/>	<input type="checkbox"/>	

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

Yes

No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

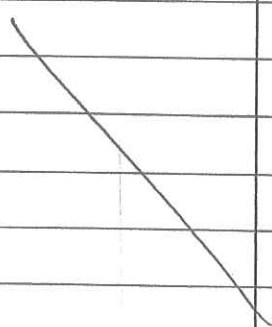
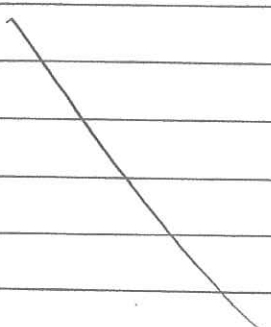

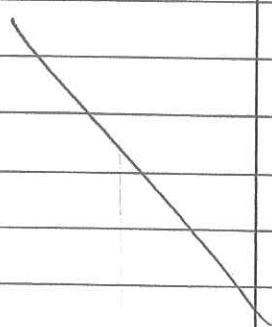
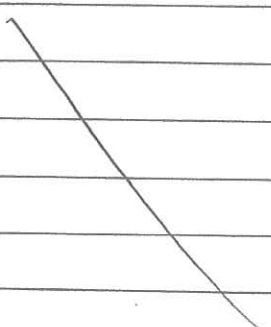

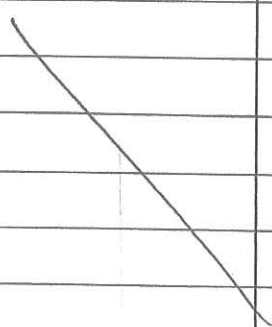
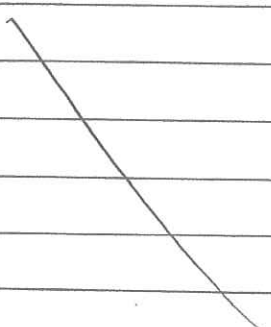

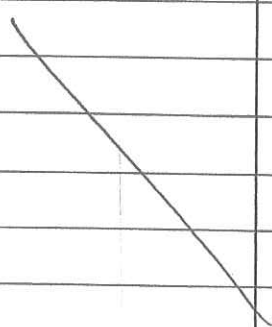
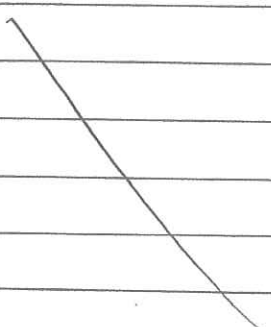

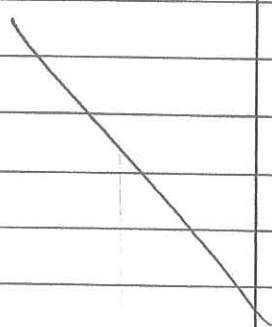
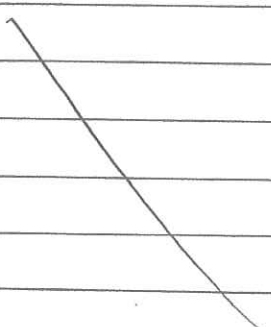

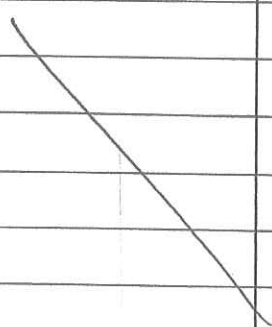
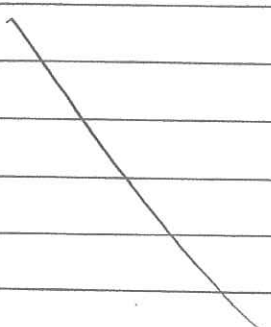

PROPOSED PLANS & ELEVATIONS.

NYMNPA

10 FEB 2009

11. Vehicle Parking

Please provide information on the existing and proposed number of on-site parking spaces:

Type of Vehicle	Total Existing	Total proposed (including spaces retained)	Difference in spaces
Cars	3	3	0
Light goods vehicles/ public carrier vehicles			
Motorcycles			
Disability spaces			
Cycle spaces			
Other (e.g. Bus)			
Other (e.g. Bus)			

12. Foul Sewage

Please state how foul sewage is to be disposed of:

- | | |
|---|-----------------------------------|
| <input type="checkbox"/> Mains sewer | <input type="checkbox"/> Cess pit |
| <input type="checkbox"/> Septic tank | <input type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Package treatment plant | <input type="checkbox"/> Unknown |

Are you proposing to connect to the existing drainage system? Yes No

If Yes, please include the details of the existing system on the application drawings and state references for the plan(s)/drawing(s):

14. Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

a) Protected and priority species:

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

b) Designated sites, important habitats or other biodiversity features:

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

c) Features of geological conservation importance:

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

16. Trees and Hedges

Are there trees or hedges on the proposed development site? Yes No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character? Yes No

If Yes to either or both of the above, you will need to provide a full Tree Survey, with accompanying plan before your application can be determined. Your Local Planning Authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to construction - Recommendations'.

13. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.)

Yes No

If Yes, you will need to submit a Flood Risk Assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)? Yes No

Will the proposal increase the flood risk elsewhere? Yes No Unknown

How will surface water be disposed of?

- | | |
|--|---|
| <input type="checkbox"/> Sustainable drainage system | <input type="checkbox"/> Existing watercourse |
| <input checked="" type="checkbox"/> Soakaway | <input type="checkbox"/> Pond/lake |
| <input type="checkbox"/> Main sewer | <input type="checkbox"/> Unknown |

15. Existing Use

Please describe the current use of the site:

EXISTING DWELLING

Is the site currently vacant? Yes No

If Yes, please describe the last use of the site:

RESIDENTIAL.

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When did this use end (if known)?
DD/MM/YYYY (date where known may be approximate)

2008.

Does the proposal involve any of the following:

Land which is known to be contaminated? Yes No

Land where contamination is suspected for all or part of the site? Yes No

A proposed use that would be particularly vulnerable to the presence of contamination? Yes No

If you have answered Yes to any of the above, you will need to submit an appropriate contamination assessment.

17. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or waste? Yes No

If Yes, please describe the nature, volume and means of disposal of trade effluents or waste

18. Residential Units (Including Conversion)

Does your proposal include the gain, loss or change of use of residential units? Yes No
 If Yes please complete details of the changes in the tables below:

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Proposed Housing							
Market Housing	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>	✓			✓		1
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Existing Housing							
Market Housing	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>	✓			✓		1
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Social Rented							
Social Rented	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Social Rented							
Social Rented	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Intermediate							
Intermediate	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Intermediate							
Intermediate	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Key worker							
Key worker	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Key worker							
Key worker	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

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Total existing residential units
(A+B+C+D) =

Total proposed residential units
(E+F+G+H) =

Total net gain / loss of residential units 0

19. All Types of Development: Non-residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace? Yes No

If you have answered Yes to the question above please add details in the following table:

Use class/type of use		Not appl	Existing gross internal floorspace (square metres)	Gross internal floorspace to be lost by change of use or demolition (square metres)	Total gross internal floorspace proposed (including change of use)(square metres)	Net additional gross internal floorspace following development (square metres)
A1	Shops	<input type="checkbox"/>				
	Net tradable area:	<input type="checkbox"/>				
A2	Financial and professional services	<input type="checkbox"/>				
A3	Restaurants and cafes	<input type="checkbox"/>				
A4	Drinking establishments	<input type="checkbox"/>				
A5	Hot food takeaways	<input type="checkbox"/>				
B1 (a)	Office (other than A2)	<input type="checkbox"/>				
B1 (b)	Research and development	<input type="checkbox"/>				
B1 (c)	Light industrial	<input type="checkbox"/>				
B2	General industrial	<input type="checkbox"/>				
B8	Storage or distribution	<input type="checkbox"/>				
C1	Hotels and halls of residence	<input type="checkbox"/>				
C2	Residential institutions	<input type="checkbox"/>				
D1	Non-residential institutions	<input type="checkbox"/>				
D2	Assembly and leisure	<input type="checkbox"/>				
OTHER	Please specify	<input type="checkbox"/>				
		<input type="checkbox"/>				
Total						

In addition, for hotels, residential institutions and hostels, please additionally indicate the loss or gain of rooms

Use class	Type of use	Not applicable	Existing rooms to be lost by change of use or demolition	Total rooms proposed (including changes of use)	Net additional rooms
C1	Hotels	<input type="checkbox"/>			
C2	Residential Institutions	<input type="checkbox"/>			
Other	Hostels	<input type="checkbox"/>			

20. Employment

Please complete the following information regarding employees:

	Full-time	Part-time	Total full-time equivalent	Not known
Existing employees				
Proposed employees				

21. Hours of Opening

Please state the hours of opening for each non-residential use proposed:

Use	Monday to Friday	Saturday	Sunday and Bank Holidays	Not known

22. Site Area

Please state the site area in hectares (ha)

0.8

23. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

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Is the proposal a waste management development? Yes No

If the answer is Yes, Please complete the following table:

	Not applicable	The total capacity of the void in cubic metres, including engineering surcharge and making no allowance for cover or restoration material (or tonnes if solid waste or litres if liquid waste)	Please provide the maximum annual operational throughput of the following waste streams:
Inert landfill	<input type="checkbox"/>		
Non-hazardous landfill	<input type="checkbox"/>		
Hazardous landfill	<input type="checkbox"/>		
Energy from waste incineration	<input type="checkbox"/>		
Other incineration	<input type="checkbox"/>		
Landfill gas generation plant	<input type="checkbox"/>		
Pyrolysis/gasification	<input type="checkbox"/>		
Metal recycling site	<input type="checkbox"/>		
Transfer stations	<input type="checkbox"/>		
Material recovery/recycling facilities (MRFs)	<input type="checkbox"/>		
Household civic amenity sites	<input type="checkbox"/>		
Open windrow composting	<input type="checkbox"/>		
In-vessel composting	<input type="checkbox"/>		
Anaerobic digestion	<input type="checkbox"/>		
Any combined mechanical, biological and/or thermal treatment (MBT)	<input type="checkbox"/>		
Sewage treatment works	<input type="checkbox"/>		
Other treatment	<input type="checkbox"/>		
Recycling facilities construction, demolition and excavation waste	<input type="checkbox"/>		
Storage of waste	<input type="checkbox"/>		
Other waste management	<input type="checkbox"/>		
Other developments	<input type="checkbox"/>		

Please provide the maximum annual operational throughput of the following waste streams:

Municipal	
Construction, demolition and excavation	
Commercial and industrial	
Hazardous	

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If this is a landfill application you will need to provide further information before your application can be determined. Your waste planning authority should make clear what information it requires on its website.

24. Hazardous Substances

Does the proposal involve the use or storage of any of the following materials in the quantities stated below? Yes No Not applicable

If Yes, please provide the amount of each substance that is involved:

Acrylonitrile (tonnes) <input type="text"/>	Ethylene oxide (tonnes) <input type="text"/>	Phosgene (tonnes) <input type="text"/>
Ammonia (tonnes) <input type="text"/>	Hydrogen cyanide (tonnes) <input type="text"/>	Sulphur dioxide (tonnes) <input type="text"/>
Bromine (tonnes) <input type="text"/>	Liquid oxygen (tonnes) <input type="text"/>	Flour (tonnes) <input type="text"/>
Chlorine (tonnes) <input type="text"/>	Liquid petroleum gas (tonnes) <input type="text"/>	Refined white sugar (tonnes) <input type="text"/>

Other:

Other:

Amount (kilograms):

Amount (kilograms):

25. Certificates (continued)

CERTIFICATE OF OWNERSHIP - CERTIFICATE D

2009 / 008 / 7 PL

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

The steps taken were:

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

AGRICULTURAL HOLDINGS CERTIFICATE

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of, an agricultural holding.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

02.02.09

B) I have/ The applicant has given the requisite notice to every person other than myself/ the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Name of Tenant	Address	Date Notice Served

NYMPPA
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Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

26. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

- | | | | |
|--|-------------------------------------|---|-------------------------------------|
| 3 copies of a completed and dated application form: | <input checked="" type="checkbox"/> | The correct fee: | <input checked="" type="checkbox"/> |
| 3 copies of the plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North: | <input checked="" type="checkbox"/> | 3 copies of a design and access statement: | <input checked="" type="checkbox"/> |
| 3 copies of other plans and drawings or information necessary to describe the subject of the application: | <input checked="" type="checkbox"/> | 3 copies of the completed, dated Article 7 Certificate (Agricultural Holdings): | <input checked="" type="checkbox"/> |
| | | 3 copies of the completed, dated Ownership Certificate (A, B, C, or D - as applicable): | <input checked="" type="checkbox"/> |

27. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

02.02.09 (date cannot be pre-application)

28. Applicant Contact Details

Telephone numbers

Country code: National number: Extension number:

--	--	--

Country code: Mobile number (optional):

--	--

Country code: Fax number (optional):

--	--

Email address (optional):

--

29. Agent Contact Details

Telephone numbers

Country code: National number: Extension number:

--	--	--

Country code: Mobile number (optional):

--	--

Country code: Fax number (optional):

--	--

Email address (optional):

--

30. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes

No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

Agent

Applicant

Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name:

--

Telephone number:

--

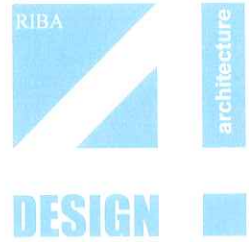
Email address:

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DESIGN AND ACCESS STATEMENT
 FOR
 THE PROPOSED REPLACEMENT DWELLING
 HILLSIDE BUNGALOW
 FYLINGTHORPE

 FOR
 MR & MRS J GOLLAND

FEBRUARY 2009



**PROPOSED REPLACEMENT DWELLING, HILLSIDE
BUNGALOW, FYLINGTHORPE
SPAUNTON**

DESIGN

The proposed application is for a replacement detached four bedroom dwelling with garaging at Hillside Bungalow, Fylingthorpe. The owners, who currently live in Robin Hoods Bay, have purchased the site which contains an existing poorly constructed 1970's bungalow and a number of timber outbuildings.

The bungalow is situated on an exposed, elevated and steeply sloping site above Fylingthorpe and has a backdrop on the higher ground of a significant number of mature trees.

The site lies outside the development area and has no residential properties adjacent. The property is situated in approximately 2 acres of woodland and disused quarry to the West and is accessed via an existing drive to the East.

The existing bungalow was inhabited until very recently, but is generally in a very poor condition. The attached photographic schedule highlights some of the problems with the property which include structural movement, inadequate and poor quality materials and general non compliance with building regulations. It is also believed that the internal walls are dry lined with asbestos sheets.

In addition to the above, the property is also of a poor design quality and does not sit well in this exposed and very prominent site.

The bungalow has been constructed with a lower floor/cellar which is currently used as a workshop and a cramped first floor bedroom area which is accessed from an unsafe ladder/staircase. Including the attic bedroom there are 4 bedrooms.

The total floor area of the building including the detached guest accommodation in the garden which is to be demolished amounts to approx 220m². This excludes a detached garage and workshop building which amounts to approx 48m².

The proposal will involve the removal of all of the existing buildings on site and the creation of a two storey dwelling which will be excavated and set into the bank at the same level as the existing cellar. This will enable a full 2 storeys to be achieved whilst keeping the roof height of the new building only 500mm higher than the existing ridge. This will also involve the creation of some terracing which will provide a vital flat area of private garden behind the dwelling to carry out yet conceal domestic activities such as hanging out washing etc.

The existing detached garage building will be replaced with a new garage and workshop building measuring 43m² and will be located in roughly the same position.

The existing driveway will be retained and re used so as to minimise disturbance to the existing trees.



The replacement dwelling has an internal floor area of approx 225m² and includes an attached garage and a self contained annexe which will be used to house a dependant relative. This space also provides the fourth bedroom.

Pre application discussions have taken place with Hilary Saunders from the NYMNP planning department regarding the design of the proposed dwelling.

The approach in terms of design has been to create a contemporary and well designed dwelling that will serve to enhance the existing highly visible setting, yet through the careful choice of materials, blend with the extensive woodland backdrop.

The design of the dwelling has been broken down into 3 separate sections, with the main 2 storey section being flanked on each side by single storey elements that contain the single garage and self contained annexe respectively. This fragmentation serves to reduce the bulk of the proposed dwelling and also creates external recesses or rooms which help to integrate the building with the landscape.

A high degree of glazing has been suggested for the East elevation to take advantage of the far reaching views to the sea, and a slightly elevated decked terrace is located along the front of the building to provide a useable level external area to the East given that the land to this side falls away dramatically.

The form of the building has been kept very simple and the roof height has been kept as low as possible by a combination of a low pitch and a stepped ridge line. This allows the scale of the building to be kept lower than a traditional steeper pitched roof with a symmetric pitch. It also allows for a discreet area of roof glazing on the West elevation which serves to compensate for the loss of daylight generally caused by the trees.

The proposed materials for the external treatment have been carefully considered to both blend with the surrounding, yet create a subtle contrast to the heavily wooded area. The external walls are to be clad in a combination of horizontal cedar boarding and a white render finish. The boarding will compliment and blend with the trees and the render will introduce small and controlled contrasting elements that will give the building a more visible identity.

Similarly the roofing material of Terne coated stainless steel has been chosen to withstand the frequent windy and extreme weather conditions and at the same time provide a subtle yet distinctive roof finish that will contrast with both the timber boarding and the woodland background.

Grey powder coated aluminium windows and doors and galvanised steel guttering will complete the palette of materials, all of which will weather in a relatively short period of time to create a distinctive yet subtle new building that will enhance the existing setting.

In terms of environmental impact, the new building has been sited largely on the footprint of the existing building and the terracing will only involve the removal of one tree which is currently very close to the dwelling and causes a potential hazard.

Sustainable energy sources will be explored, particularly the use of timber burning appliances and a wood chip boiler for the general heating given the ample supply of

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timber that will be available through the future management of the woodland. Maximum insulation levels will be achieved and rainwater harvesting will also be explored.

The use of high levels of glazing to harness the potential solar energy will also be used and the overall combined effect will serve reduce the carbon footprint of the dwelling.

The policy against which the house should be considered is H10. With this policy in mind, the following design criteria have been considered.

The scale and size of the new dwelling is not significantly greater than the dwelling it is to replace.

The design and materials will be harmonious to the surrounding landscape.

Use of the original dwelling has not been abandoned.

The future occupiers of the dwelling satisfy the local occupancy restrictions.

The dwelling would not have a material adverse effect upon the amenities of neighbouring properties.

All existing structures will be demolished prior to building works commencing.

For the above reasons we therefore feel that the proposal would be an appropriate addition in this location.

ACCESS

There is very little to say in terms of access, except that the new dwelling will be designed to achieve level access and comply fully with part M of the building regulations.



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Photographic Schedule of Condition – Hillside Bungalow, Fylingthorpe

Photo 1&6 View of existing outbuilding in generally poor condition. This is currently used as guest accommodation.

Photo 2-4 Views of existing bungalow showing the profiled metal roofing, applied mock timber frame and render and rear random stone extension.

Photos 5 Views of existing garaging and outbuildings.

Photo 7 View of the front of the bungalow showing the poor quality lean-to conservatory, exposed block work to cellar area and the general mixture of poor quality materials.

Photo 8 The gable window to the East.

Photo 9 View showing cracking and movement in the block work of the cellar area.

Photo 10 & 12 Views showing the uninsulated floors above the cellar area and high levels of dampness

Photo 11 View to the rear of the property showing the existing outbuilding.

Photo 13-14 Further views of un insulated ground floor area.

Photo 15&25 View of the staircase leading to the first floor. The staircase does not comply with building regulations and is generally not safe.

Photo 16 Large areas of block work walling are missing within the cellar which has contributed to the movement of the structure.

Photo 17 Internal view within the lean-to conservatory. This structure is moving away from the main dwelling and the roof leaks in a number of places.

Photo 18 Un insulated first floor construction which is undersized for habitable rooms above.

Photo 19&22 All electrical wiring is surface fixed and should be condemned.

Photo 20-21 The first floor space is very cramped with little usable headroom. No roof insulation is present in the construction.

Photo 23 Leaking conservatory roof.



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Photo 24&27 Movement in the conservatory structure caused by poor foundations below.

Photo 26 View showing the rainwater pipe discharging at the front of the building.

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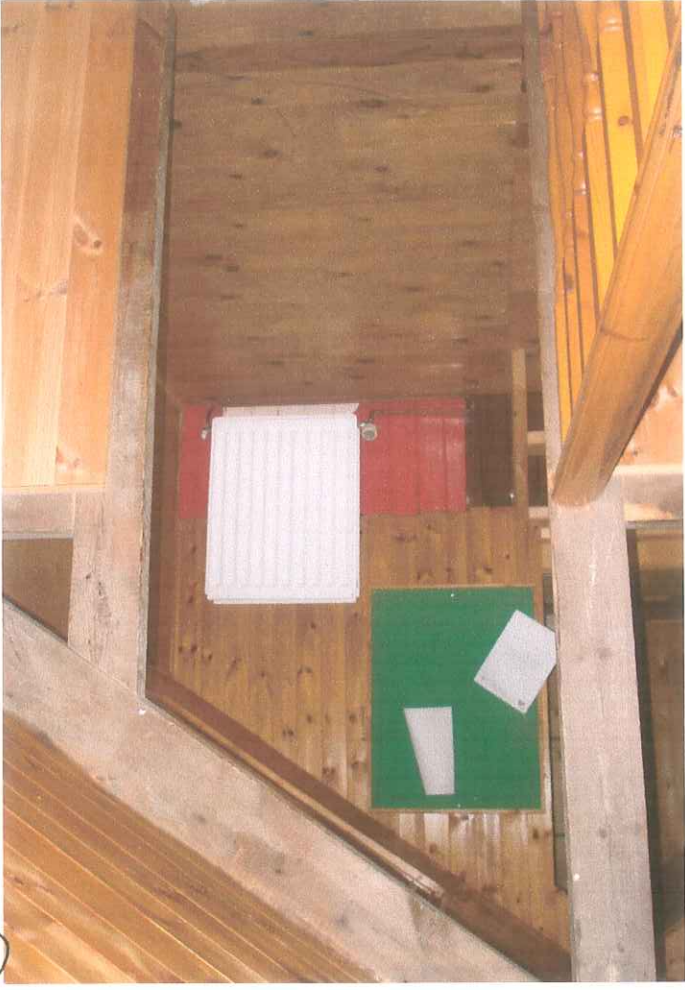


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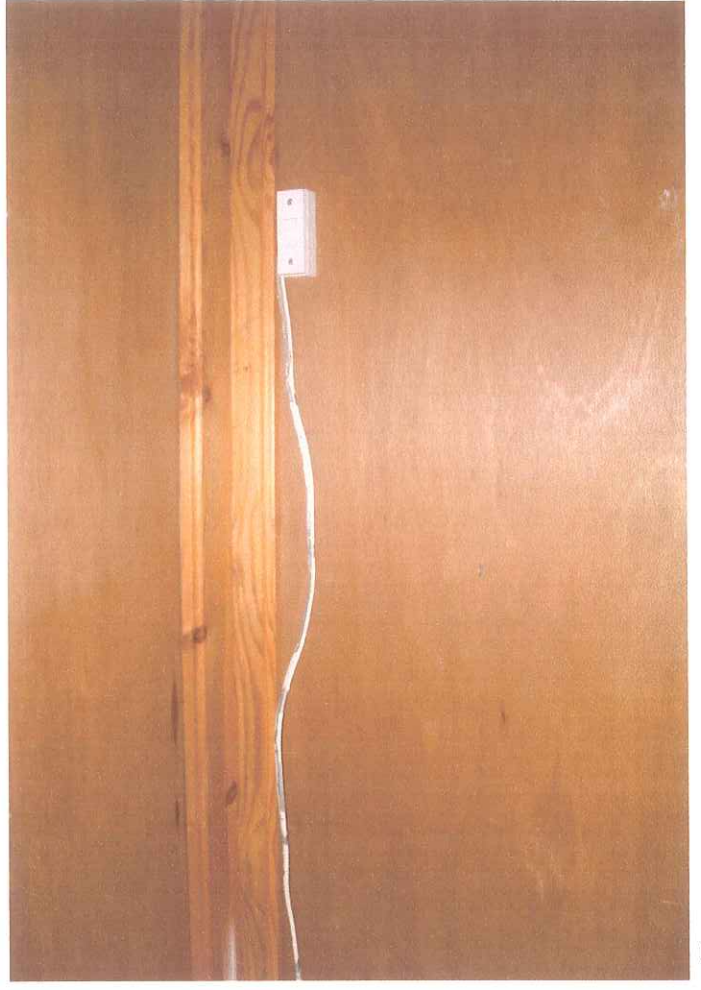


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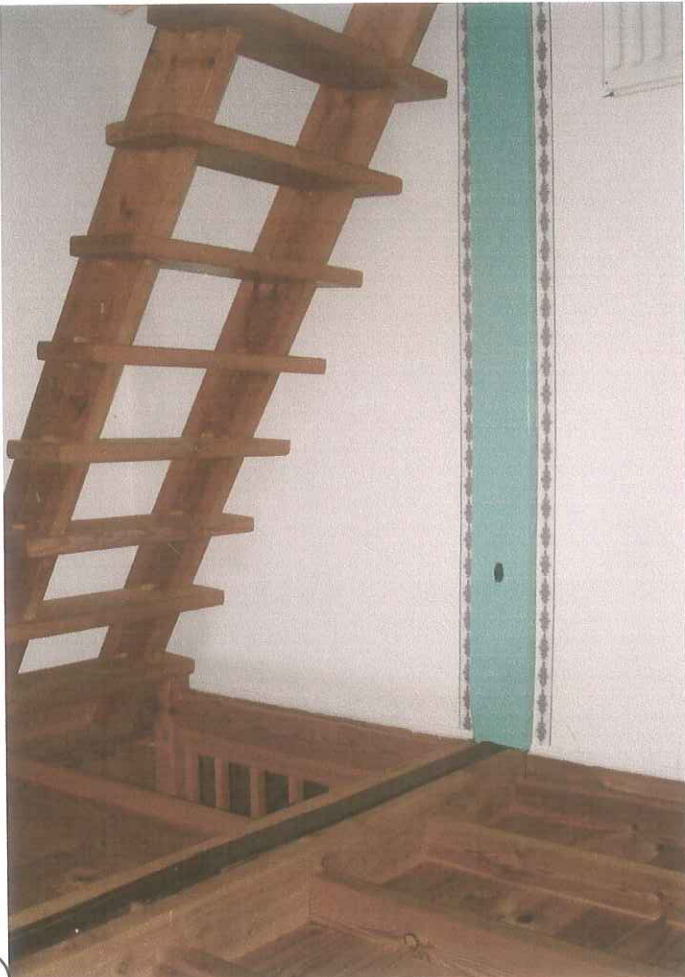
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0087/F John Drewett
Ecology

Bat scoping survey report

Hillside Bungalow, Sledgates, Fylingthorpe, Whitby,
YO22 4QD



March 2009

19 MAR 2009

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Record of report and revisions

Date	Details	Issued by
10 March 2009	Original report	John Drewett

10 March 2009

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1 Summary

- 1.1.1 A bat scoping survey of Hillside Bungalow, Fylingthorpe was commissioned in February 2009 by Design 4 Architecture on behalf of the owner, John Golland.
- 1.1.2 The survey was carried out on 2 March 2009.
- 1.1.3 Some bat droppings were found on a rear window ledge immediately below a small gap in the pointing of the flat-roofed rear extension of the bungalow.
- 1.1.4 Due to its location, surrounding habitats and structural features the bungalow has a high risk of supporting roosting bats, primarily between the inner and outer skins of the roof. There is also some potential for supporting bats in the roof.
- 1.1.5 If bats are present, the disturbance of the building would undoubtedly lead to the loss of any roosts.
- 1.1.6 If bats are present mitigation will be required. This is likely to involve restrictions on the timing of demolition and the incorporation of bat access features into any new building. This will need to be determined after the identification of the species and type of roost.
- 1.1.7 Bat activity surveys will be required after mid May to confirm the presence or absence of bats, identify any bats present and determine the type of roost.
- 1.1.8 If a bat roost is confirmed then an EPS licence will be required after planning permission has been granted and before work starts.

2 Introduction

2.1 Site Description

Site name and address:	Hillside Bungalow, Sledgates, Fylingthorpe, Whitby, YO22 4QD		
OS Grid Ref.	NZ936045	Altitude	162m
Local Planning Authority:	North York Moors National Park		
Features on site and adjacent to site			
Feature	On site	Adjacent	Comments
Buildings (more or less complete)	✓	✓	
Bridges, culverts, tunnels		✓	Bridge over Ramsdale Beck 800m to SE
Trees with visible cavities	✓	✓	Site is located in large wooded garden on edge of woodland
Other trees	✓	✓	Site is located in large wooded garden on edge of woodland
Rivers or streams bordered by trees		✓	Ramsdale Beck 800m to SE
Continuous hedgerows		✓	Network of hedgerows around local fields
Gardens	✓		Site is within large overgrown wooded garden
Improved grassland	✓	✓	
Unimproved / semi-improved grassland	✓	✓	

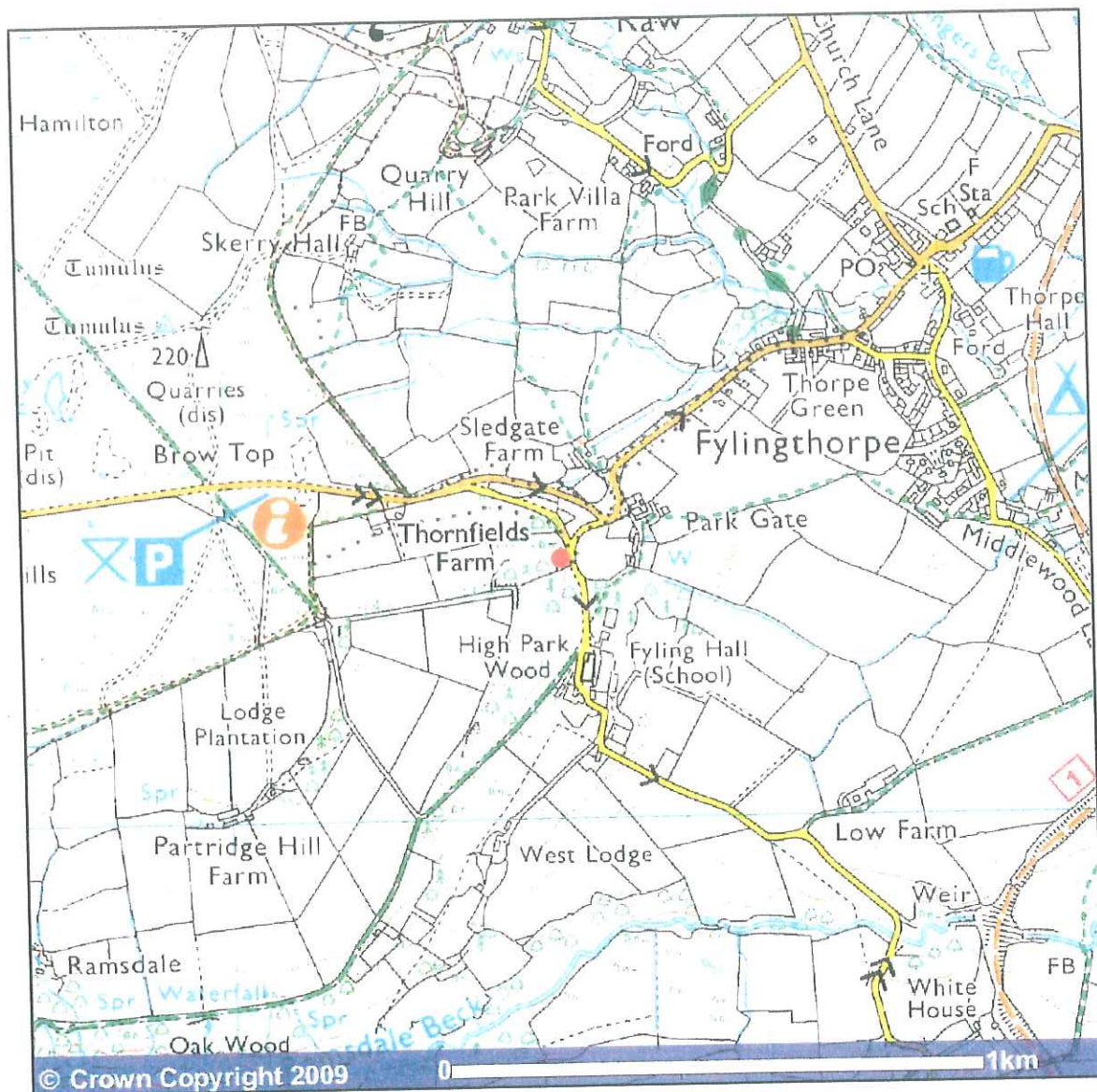


Fig. 1 Site location plan

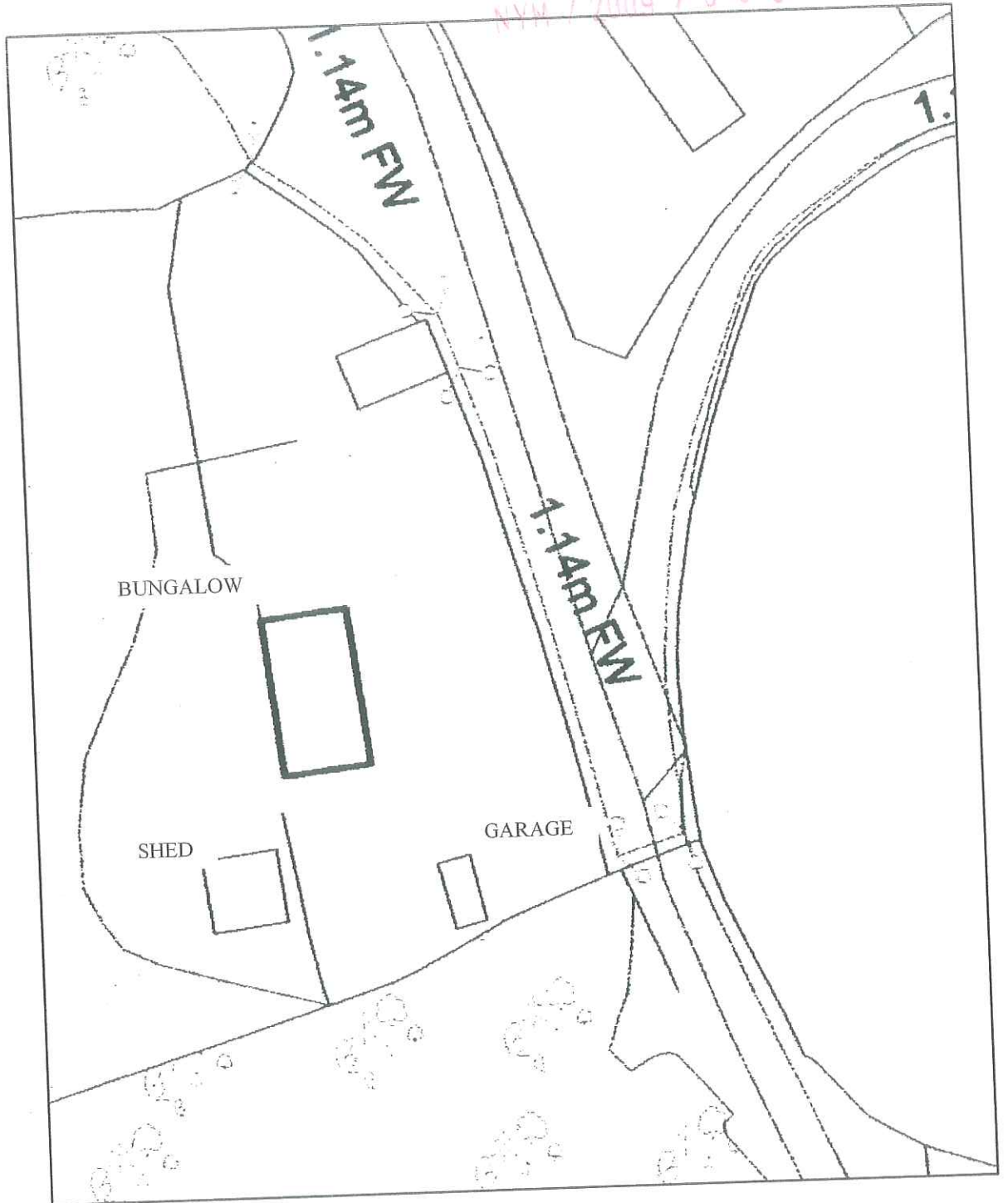


Fig. 2 Site plan

2.2 Proposed works

- 2.2.1 The proposal is to demolish the existing bungalow and garage and to construct a new dwelling on the site. At this stage it is intended to retain the shed.

2.3 Aims of survey

- 2.3.1 The survey was carried out to establish the following:
- Likelihood of particular buildings, structures, trees or other features to support bats

- Bat behaviour that may be affected by the proposed activity or development in terms of emergence, foraging, commuting or mating

3 Methodology

3.1 Desk study

- 3.1.1 Information concerning designated sites was obtained from www.magic.gov.uk.
- 3.1.2 Information regarding bats previously recorded at the site or within 2km was obtained from North Yorkshire Bat Group.

3.2 Field survey

3.2.1 The following personnel took part in this survey:

Surveyor	Natural England Licence No. or status
John Drewett BSc. (Hons.), MIEEM	20081159 (Conservation & scientific)

3.2.2 The following activities were carried out during this survey:

- An examination and assessment of the site and habitats present within 300m
- An examination of each building to record its main structural features and condition and to identify features that may be suitable for roosting bats
- The making of a photographic record of the site, its features and any evidence of bats to illustrate the findings in this report
- A detailed check of the interior and exterior of buildings to look for bat droppings; feeding remains such as moth & butterfly wings; live bats; dead bats; stains and marks on surfaces indicating regular use by bats

3.2.3 The following equipment was used in conducting this survey:

- Digital camera
- Powerful torch

4 Results

4.1 Desk study

4.1.1 The map below shows the location of statutory sites designated for their nature conservation interest within the vicinity of the site. None of the sites were specifically designated for their bat interest.

4.1.2 The sites marked are:

- North York Moors Special Protection Area (SPA)
- North York Moors Special Area of Conservation (SAC)
- Beast Cliff – Whitby (Robin Hood's Bay) SAC
- Robin Hood's Bay Maw Wyke – Beast Cliff Site of Special Scientific Interest (SSSI)
- North York Moors SSSI

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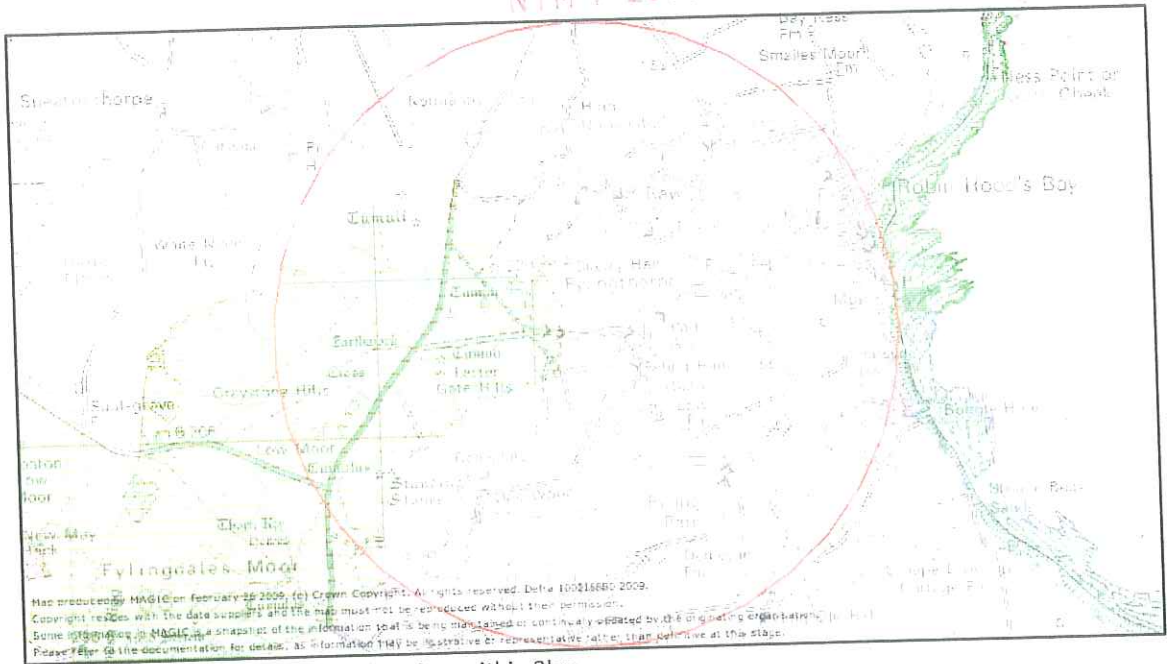


Fig. 3 Statutory nature conservation sites within 2km

4.1.3 The following records of bats previously recorded within 2km of the site were supplied by North Yorkshire Bat Group.

Species	Site	Grid ref.	Date	Comment
Unknown	Thorpe Hall, Fylingthorpe	NZ9304	28 Aug 2002	Bat in house
Unknown	Fylinghall School	NZ937043	04 Jul 2003	80 + bats in roost
Pipistrelle species	Brook Cottage, Raw, Robin Hood's Bay	NZ940061	13 Sep 2006	Bat inside holiday home.
Unknown	Station House, Fylinghall, Fylingdales	NZ9402	08 Sep 1999	
Unknown	Fylingthorpe Church	NZ943049	1992	Roost
Whiskered Bat	Fylingthorpe Hall, Robin Hood's Bay	NZ944049	29 Apr 2004	Bat found in sink.
Pipistrelle species	Fylingthorpe School	NZ944052	30 Jul 2004	Summer roost

4.2 Field survey

4.2.1 The layout of buildings on the site is shown in fig. 2.

4.2.2 Descriptions of each building are given below along with information about any evidence of bats found within and potential for roosting bats.

Building	Wall	Roof	Evidence of bats	Bat roost potential	Comments
Bungalow	Varied materials. Small gaps at eaves, especially at rear.	Metal tile-effect sheeting underdrawn with timber. Enclosed loft space over half upper floor. Rest converted into living space.	Bat droppings on rear window ledge below small hole in pointing under eaves.	High. Possible roost at rear. Considerable potential between outer and inner skins of roof and beneath various areas of lead flashing.	

Hillside Bungalow

MAY 2009

Building	Wall	Roof	Evidence of bats	Bat roost potential	Comments
Shed	Wood	? Artificial slates.	None.	None in eastern section.	Only eastern part accessed. Western section believed to have enclosed roof space.
Garage	Concrete blocks.	Artificial slates over underfelt. In good condition.	None.	Low.	



Fig. 4 Bungalow, front



Fig. 5 Bungalow, rear

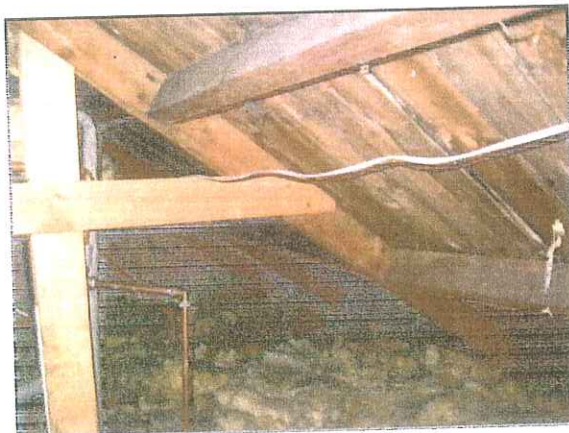


Fig. 6 Bungalow roof interior



Fig. 7 Small gap at eaves at rear of bungalow



Fig. 8 Bat droppings on window ledge below gap



Fig. 9 Shed, north end

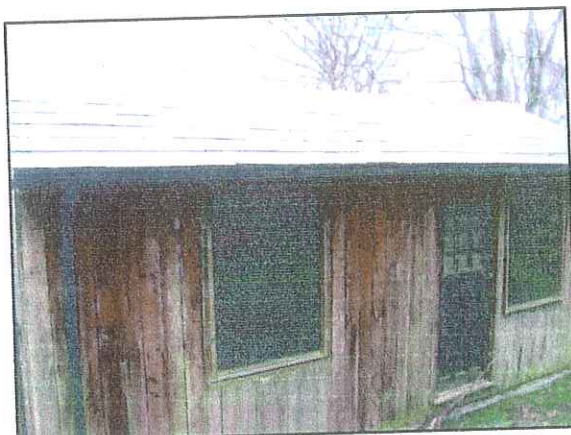


Fig. 10 Shed, west elevation



Fig. 11 Shed, interior east section



Fig. 12 Garage



Fig. 13 Interior of garage roof

5 Assessment

5.1 Summary and evaluation of findings

- 5.1.1 The survey site is located on an east-facing, steeply sloping hillside, about 2km from the North Sea at Robin Hood's Bay. The site is well wooded with a number of mature trees and rough grassland. It is adjacent to an extensive block of mixed woodland which connects to other woodlands and stream valleys in the vicinity. As such the site has high bat roost potential.

5.1.2 The buildings on site are of unconventional construction. The bungalow has recently been occupied and is in a reasonable, if run-down condition. Although no evidence of bats was found in the roof space, the underdrawn nature of the roof provides ample opportunities for roosting bats. In addition, the flat-roofed extension at the rear has gaps in the pointing providing ready access to the underside of the lead roof. Bat droppings on the windowsill below one of these gaps suggests that a roost might be present. Other areas of lead roofing and flashing also hold scope for roosting bats.

5.1.3 The location and relatively undisturbed nature of the shed do offer some possibilities for roosting bats, but these are probably not high. The garage appears to have little or no potential for bats.

5.2 Constraints on survey information

5.2.1 As the survey was carried out in winter it was not possible to conduct any bat activity surveys. Given the surrounding habitat and range of crevices available in the building it is considered that this could well have caused the presence of bat roosts to have been overlooked.

5.3 Legislation and policy guidance

5.3.1 Bats receive protection under the Wildlife and Countryside Act, 1981 (as amended) and under the Conservation (Natural Habitats &c.) Regulations, 1994 (as amended).

5.3.2 It is an offence to:-

- Deliberately capture (or take), injure or kill a bat
- Intentionally or recklessly disturb bats where the disturbance is likely to significantly affect the ability of that species to survive, breed, rear or nurture their young or; to hibernate or migrate or; to affect significantly the local distribution or abundance of the species to which they belong
- Damage or destroy the breeding or resting place (roost) of a bat
- Possess a bat (alive or dead), or any part of a bat
- Intentionally or recklessly obstruct access to a bat roost
- Sell (or offer for sale) or exchange bats (alive or dead), or parts of bats

5.3.3 The Convention on Biological Diversity, signed in Rio de Janeiro, Brazil in 1992, requires states to develop national strategies and to undertake a range of actions aimed at maintaining or restoring biodiversity. The UK Biodiversity Strategy was produced in response to the Convention.

5.3.4 Individual Species Action Plans (SAPs) have been developed to address the causes of decline for those species that have been identified as priorities for UK conservation action. Country-level lists contain species considered of national importance in biodiversity strategies. The current list includes Bechstein's Bat, Greater Horseshoe Bat, Lesser Horseshoe Bat, Barbastelle, Noctule, Soprano Pipistrelle and Brown long-eared bat. At a more local level there are Local Biodiversity Action Plans for smaller geographical areas which may cover a greater or lesser range of bat species.

5.3.5 In England & Wales, the Natural Environment and Rural Communities (NERC) Act, 2006 imposes a duty on all public bodies, including local authorities and statutory bodies, in exercising their functions, "to have due regard, as far as is consistent with the proper exercise of those functions, to the purpose of conserving biodiversity". It notes that "conserving biodiversity includes restoring or enhancing a population or habitat".

5.3.6 Where it is proposed to carry out works which will have an adverse impact on bats or on a bat roost, a European Protected Species (EPS) licence must first be obtained from Natural England, even if no bats are expected to be present when the work is carried out.

5.3.7 An EPS licence application requires details of the proposed works, the bats which may be affected and the mitigation proposed to maintain the favourable status of bats in the region. The

application is usually drawn up on behalf of the client by a specialist ecological consultant. The consultant is likely to be required to check that work is proceeding in accordance with the method statement and to also carry out monitoring of the impact on bats for sometime after completion of the works.

- 5.3.8 When considering an application, the Natural England licensing section may consult with the local planning authority and specialist conservation staff. This process may take a considerable length of time. Natural England presently states that it aims to make a decision on an application within 30 working days of receipt. There is no guarantee that a licence will be granted and no fast track process to obtaining a licence. Applications can only be made once planning permission has been granted (where appropriate).
- 5.3.9 EPS licences can only be issued if Natural England is satisfied that there is no satisfactory alternative to the development and that the action authorised will not be detrimental to the maintenance of the population of the species at a favourable conservation status in their natural range.
- 5.3.10 PPS9: Biodiversity and Geological Conservation is the relevant national planning statement in relation to protected species. It provides guidance on how the Government's policies on nature conservation should be implemented through the land use planning system. PPS9 states that "the aim of planning decisions should be to prevent harm to biodiversity and geological conservation interests. Where granting planning permission would result in significant harm to those interests, local planning authorities will need to be satisfied that the development cannot reasonably be located on any alternative sites that would result in less or no harm. In the absence of any such alternatives, local planning authorities should ensure that... adequate mitigation measures are put in place... If that significant harm cannot be prevented, adequately mitigated against, or compensated for, then planning permission should be refused.

6 Recommendations and mitigation

6.1 Further survey

- 6.1.1 Bat activity surveys are needed after mid-May to confirm or deny the presence of roosting bats, determine the origins of bat droppings found at the rear of the bungalow and identify any bats present. The survey should also check for bats entering or leaving the shed.

7 Brief summary of bat biology

- 7.1.1 Bats are the only mammals to have developed powered flight. They are the second largest group of mammals in the world, with almost 1000 different species. In Britain 17 species occur, with the variety generally declining northwards. All British bats feed solely on invertebrates.
- 7.1.2 British bats live in crevices in trees, caves, buildings, bridges, tunnels and other structures. They are long-lived animals which use roost sites to which they return in subsequent years. In summer females are generally colonial, each species gathering together in warm maternity roosts to give birth to their single young. Males often spend the summer singly or in smaller groups. Bats may use several different roosts over a summer, moving between sites depending on prevailing weather and other conditions.
- 7.1.3 In winter bats hibernate. During hibernation their body temperature falls close to the ambient temperature of their chosen hibernaculum and their heart rate and metabolism drop dramatically. In this state they use little energy, allowing them to survive until spring on their fat reserves. They are very sensitive to temperature changes which cause them to wake, a process which uses considerable energy. Repeated arousal in winter can threaten their survival. Many species hibernate in cool, stable underground sites such as caves and tunnels.

- 7.1.4 For more than 50 years bats have undergone a major decline in numbers. The reasons for these declines are many and varied, but include destruction of roost sites, a reduction in insect prey and direct and indirect poisoning from toxic chemicals. Even our commonest species, the Pipistrelle bats, have declined by more than 60% in recent years.
- 7.1.5 The survival of a colony of bats depends on there being a range of suitable summer roost sites, hibernation sites and feeding areas within a reasonable distance. For most species, these various sites must be linked by a more or less continuous network of linear features such as rivers, woodland edges and hedgerows, along which the bats commute from place to place (Limpens & Kapteyn 1991).

8 References

- Anon (2005) *Planning Policy Statement 9: Biodiversity & Geological Conservation*, Office of the Deputy Prime Minister
- Bat Conservation Trust (2007) *Bat Surveys – Good Practice Guidelines*, Bat Conservation Trust, London
- Mitchell-Jones A J (2004) *Bat mitigation guidelines*, English Nature.
- Mitchell-Jones A J & McLeish A P (2004) *Bat Workers' Manual*, JNCC.