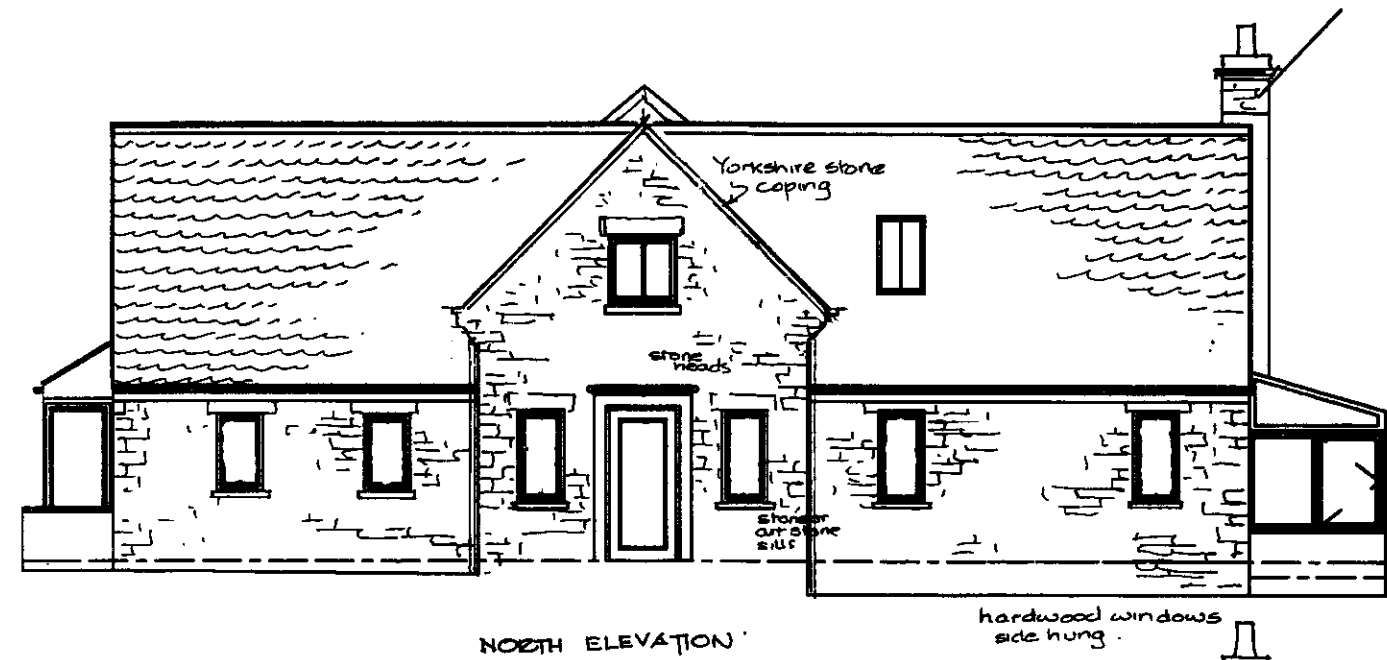


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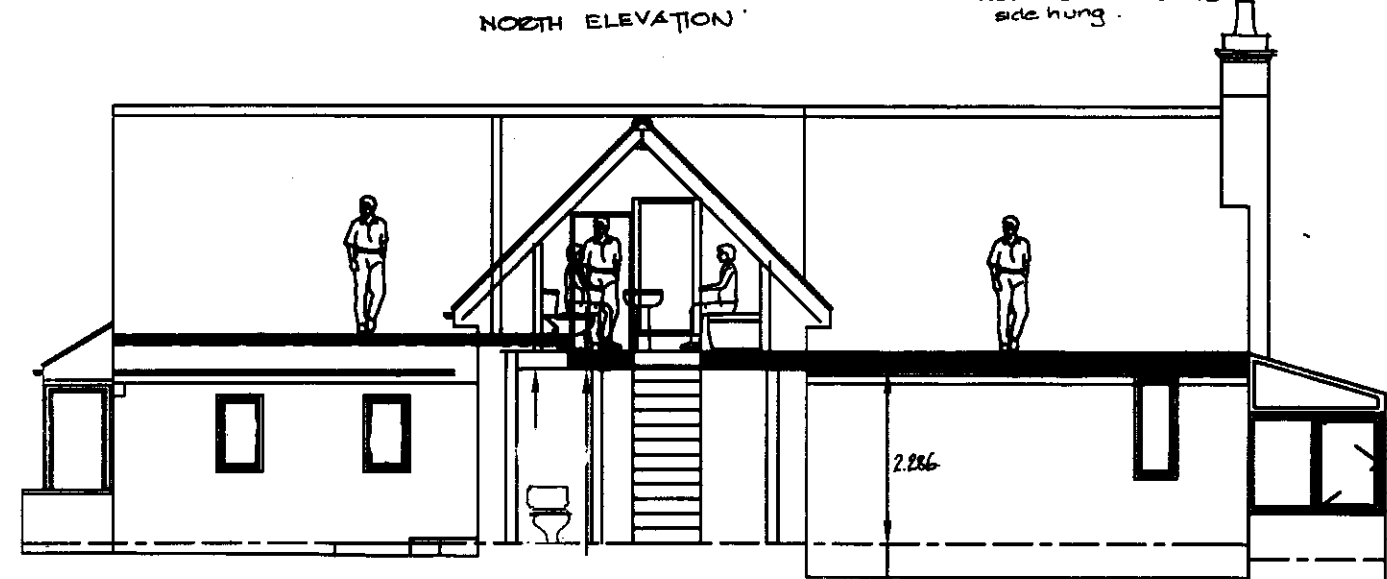
NOORTH ELEVATION

LIFT STACK



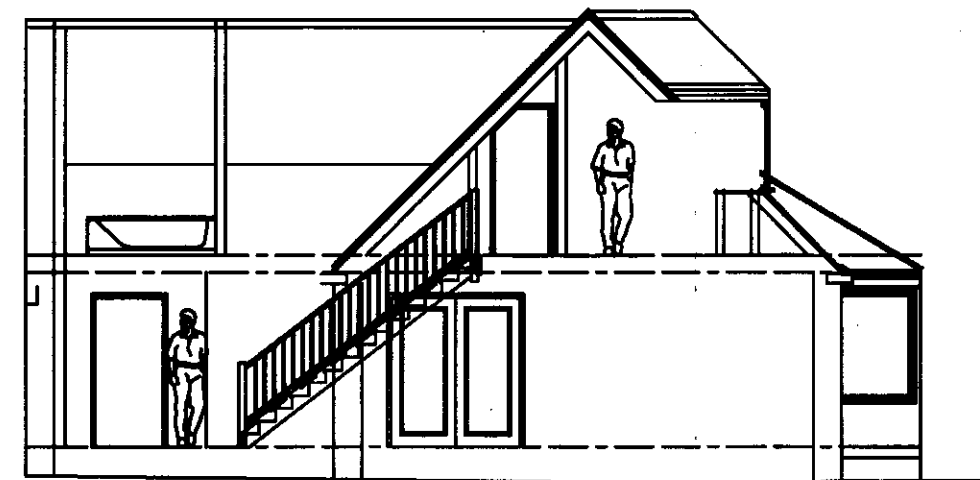
SOUTH ELEVATION

EAST ELEVATION

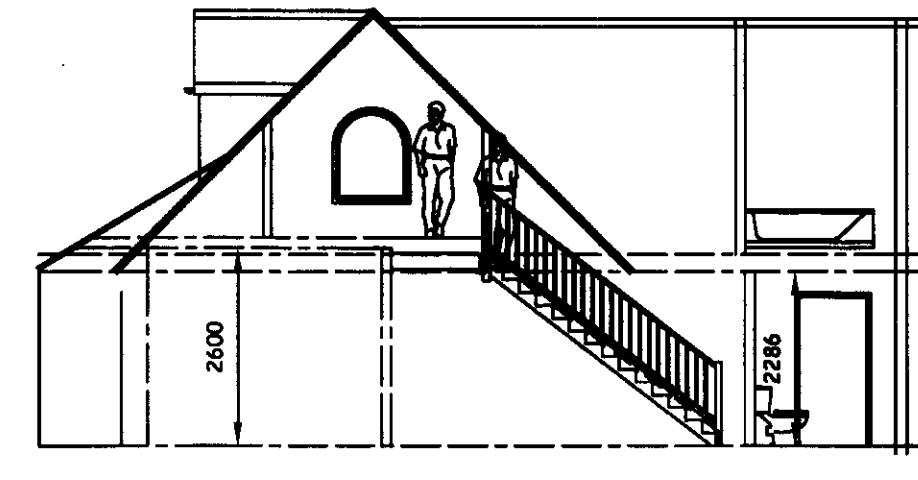


A

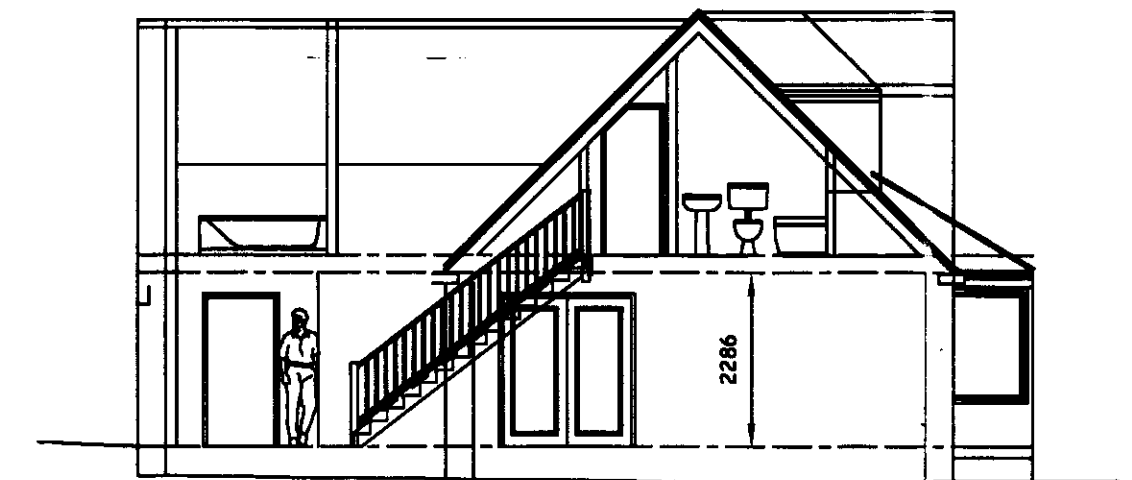
SECTION A



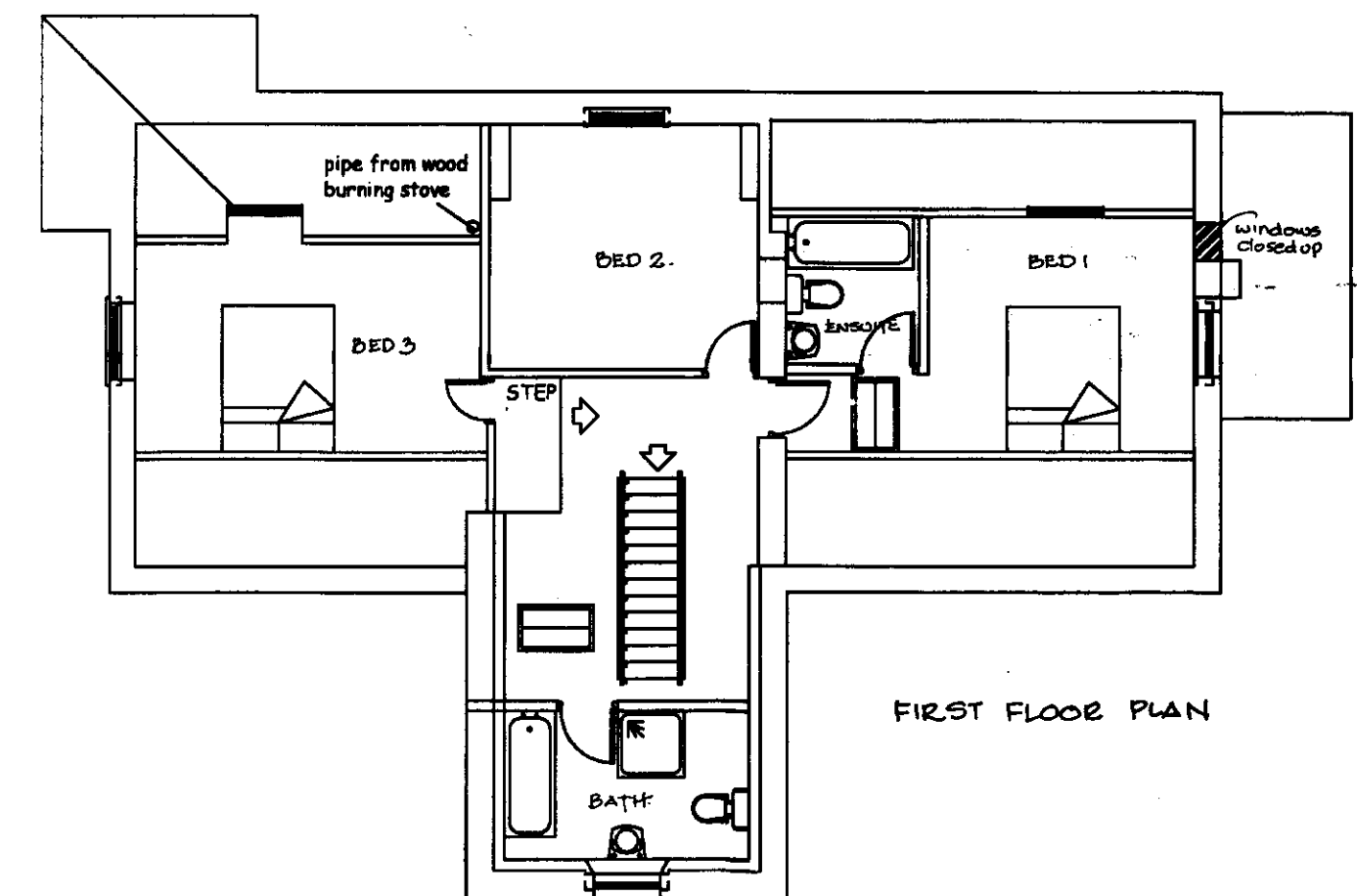
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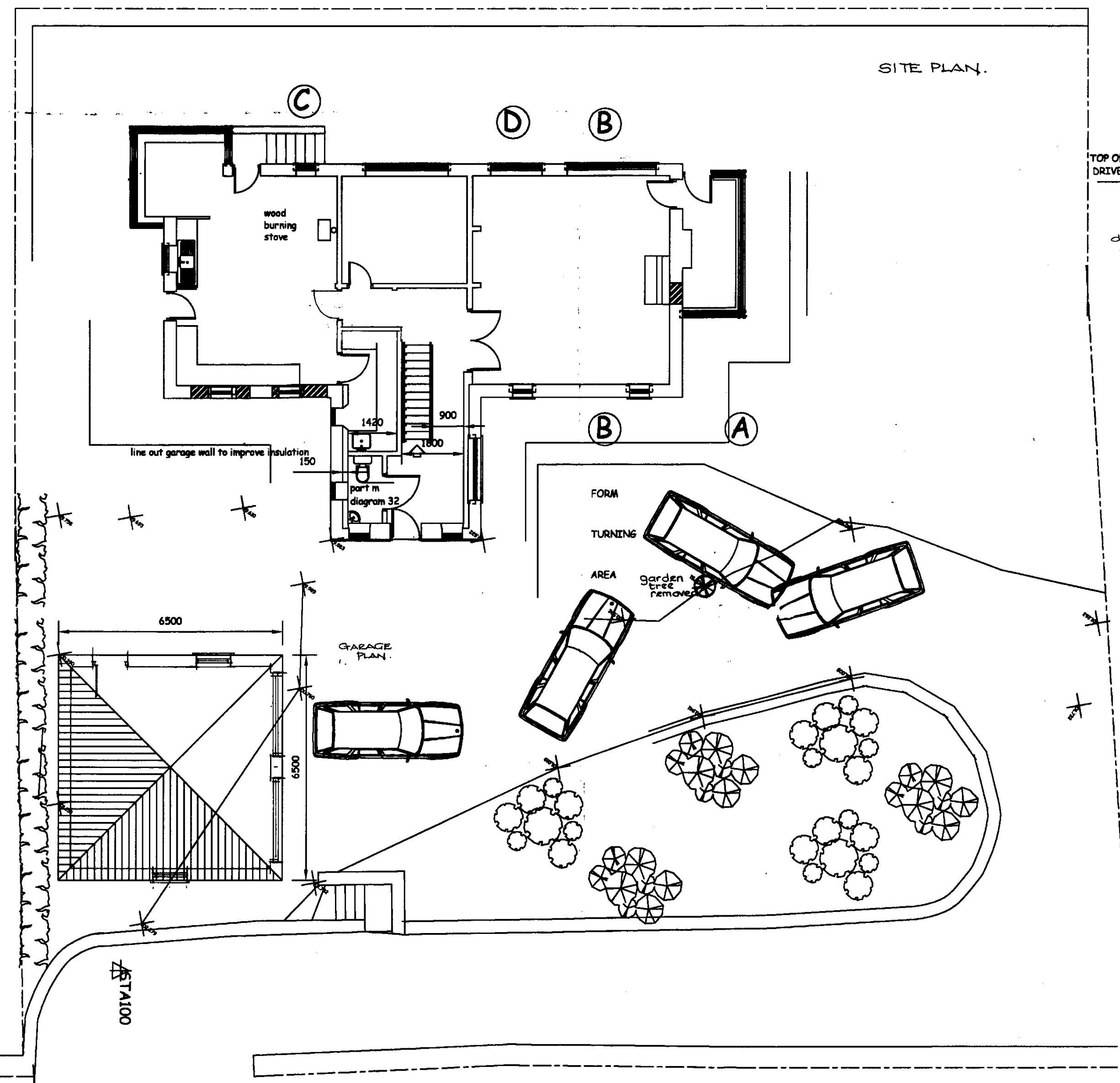
C



D

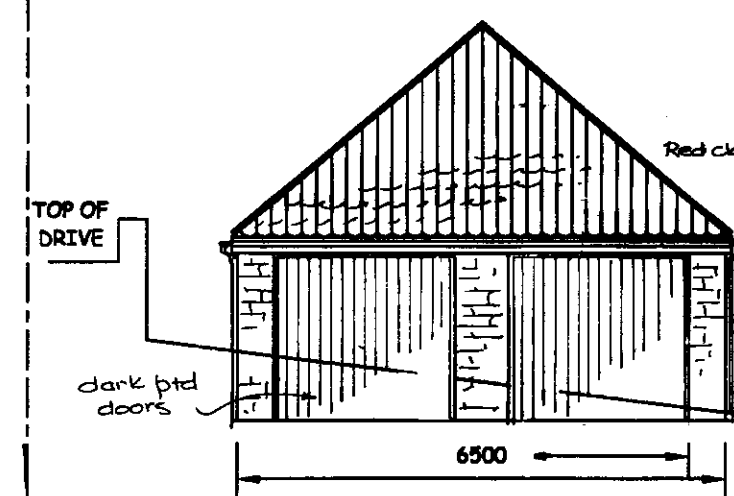


FIRST FLOOR PLAN

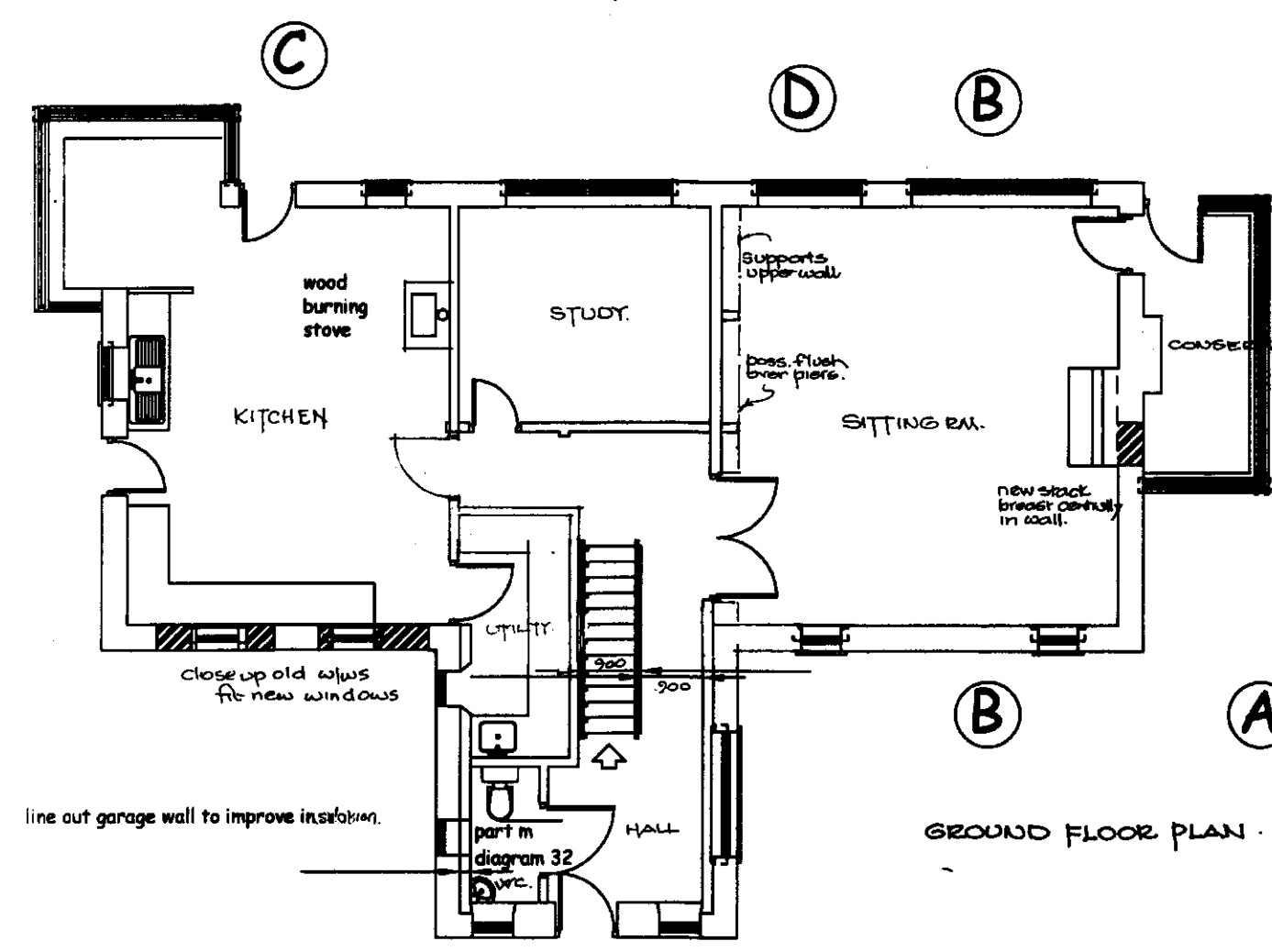


SITE PLAN

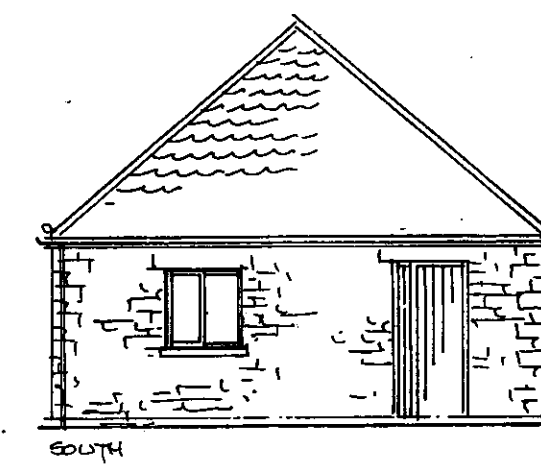
GARAGE WEST ELEVATION



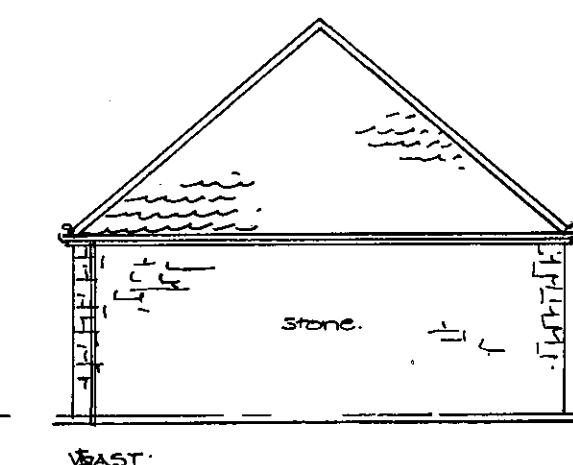
WEST ELEVATION



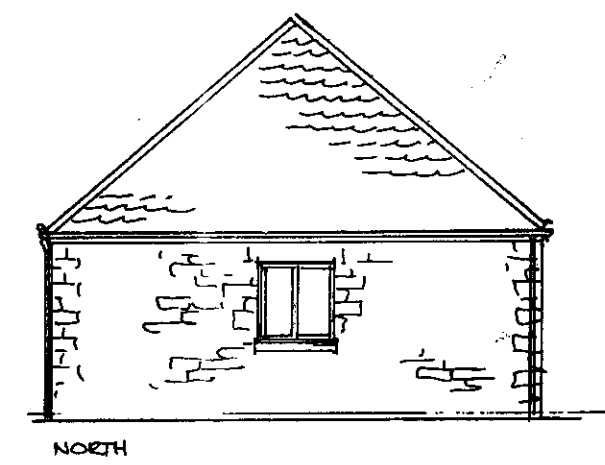
GROUND FLOOR PLAN



SOUTH



EAST

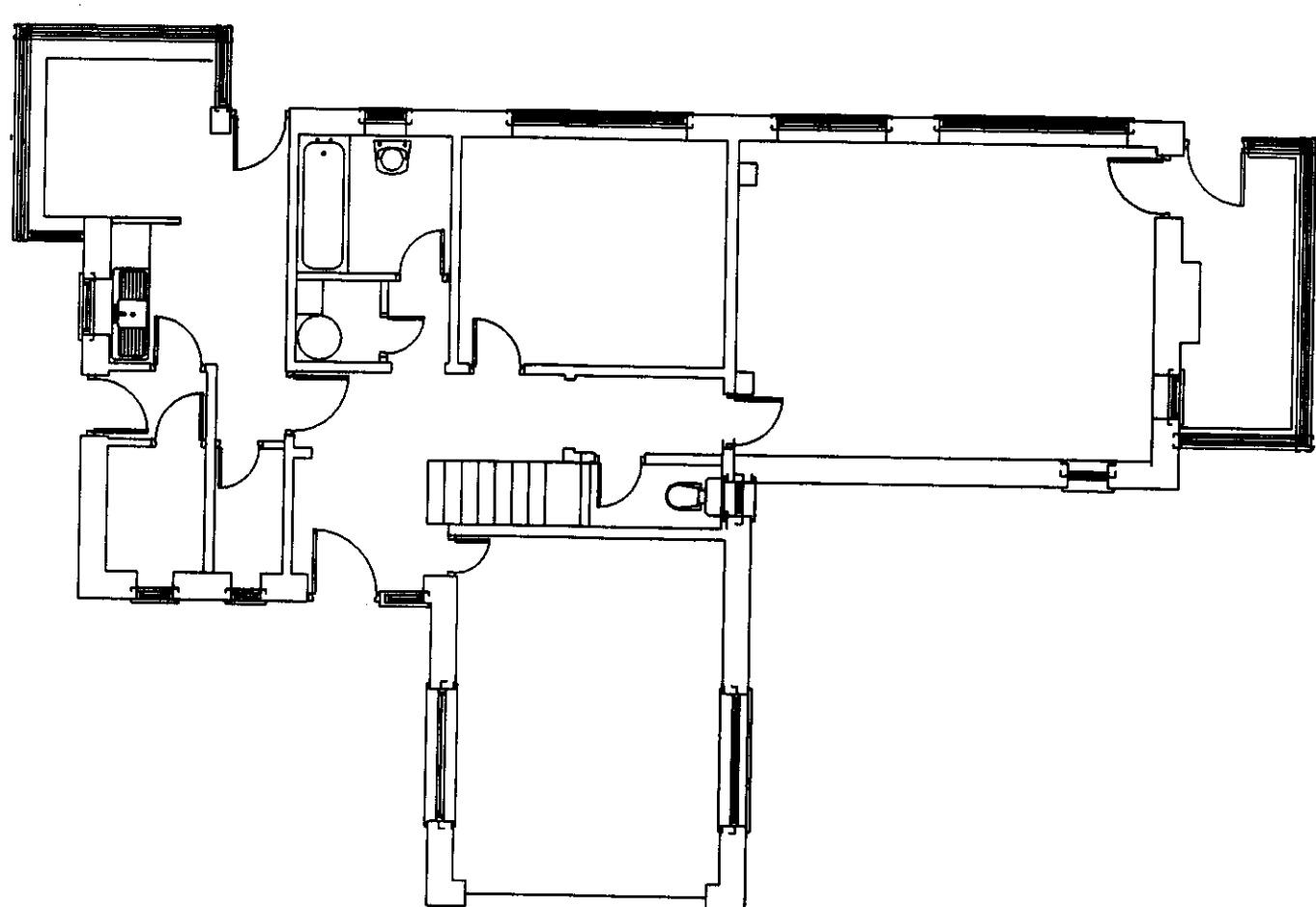
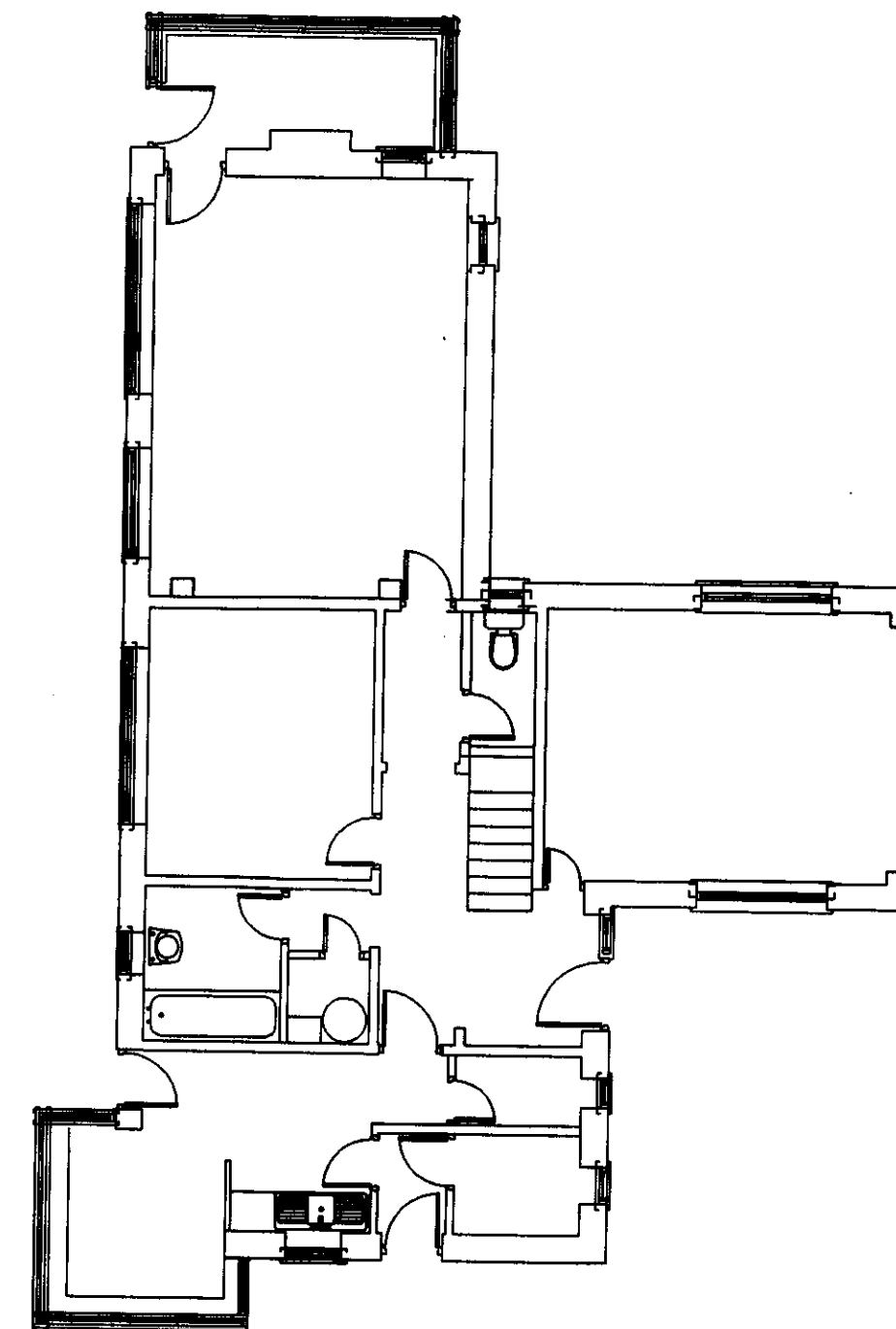
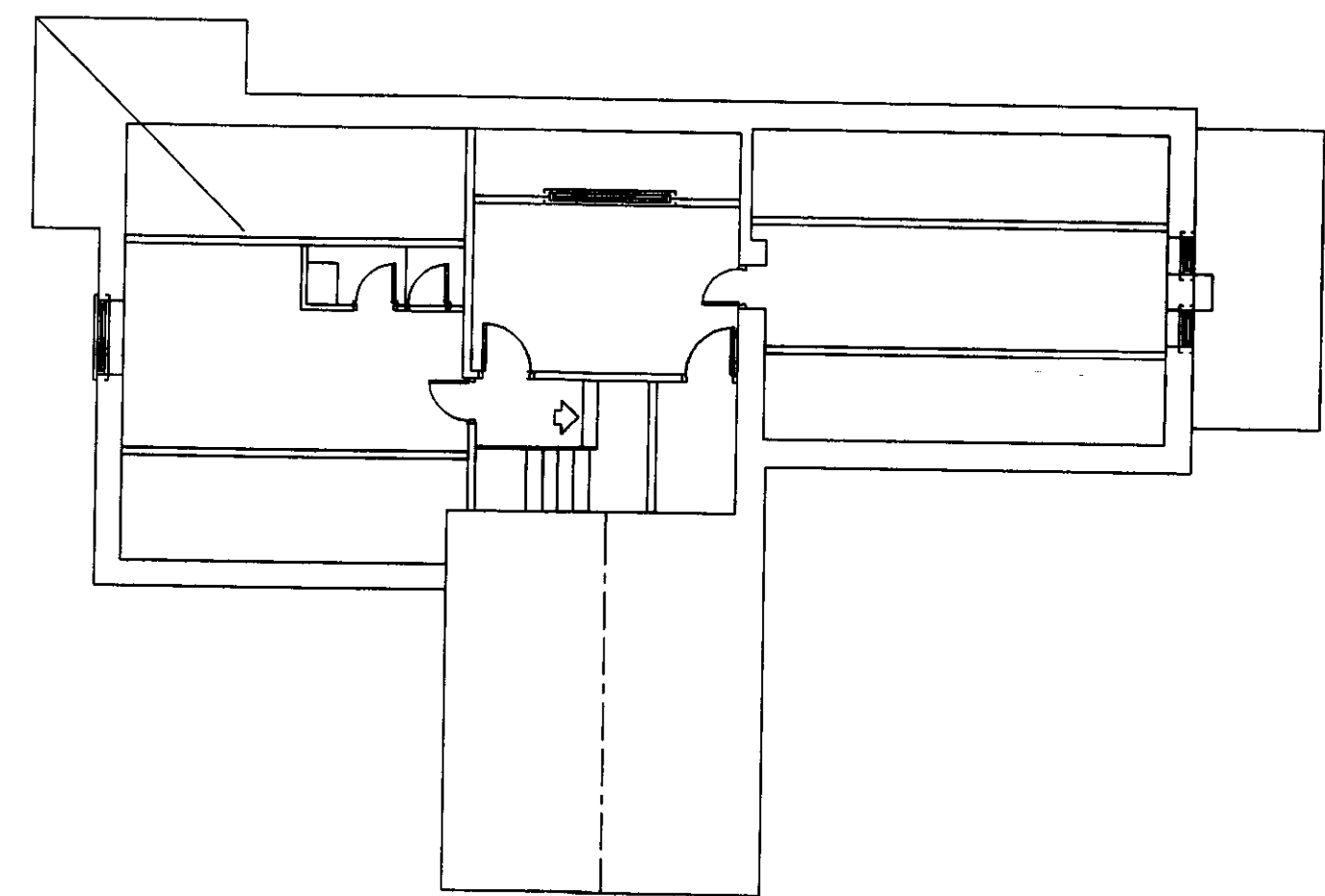
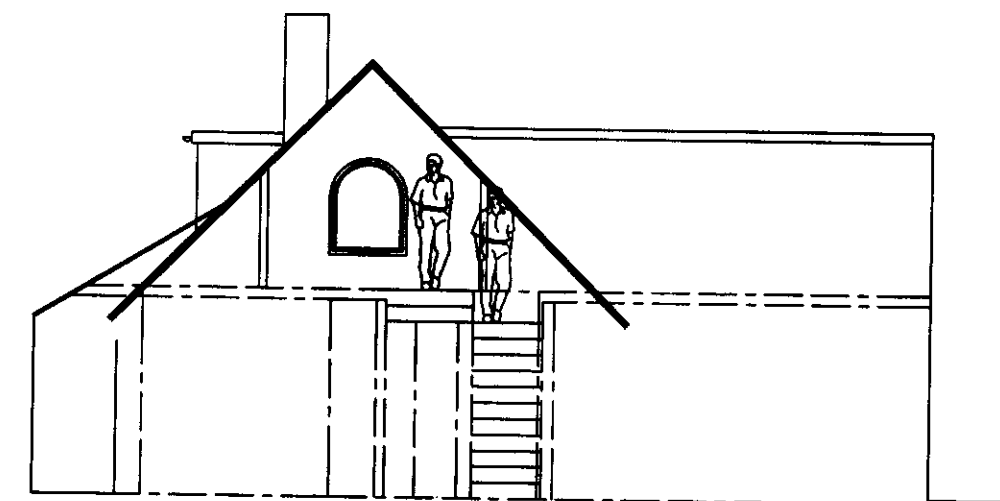
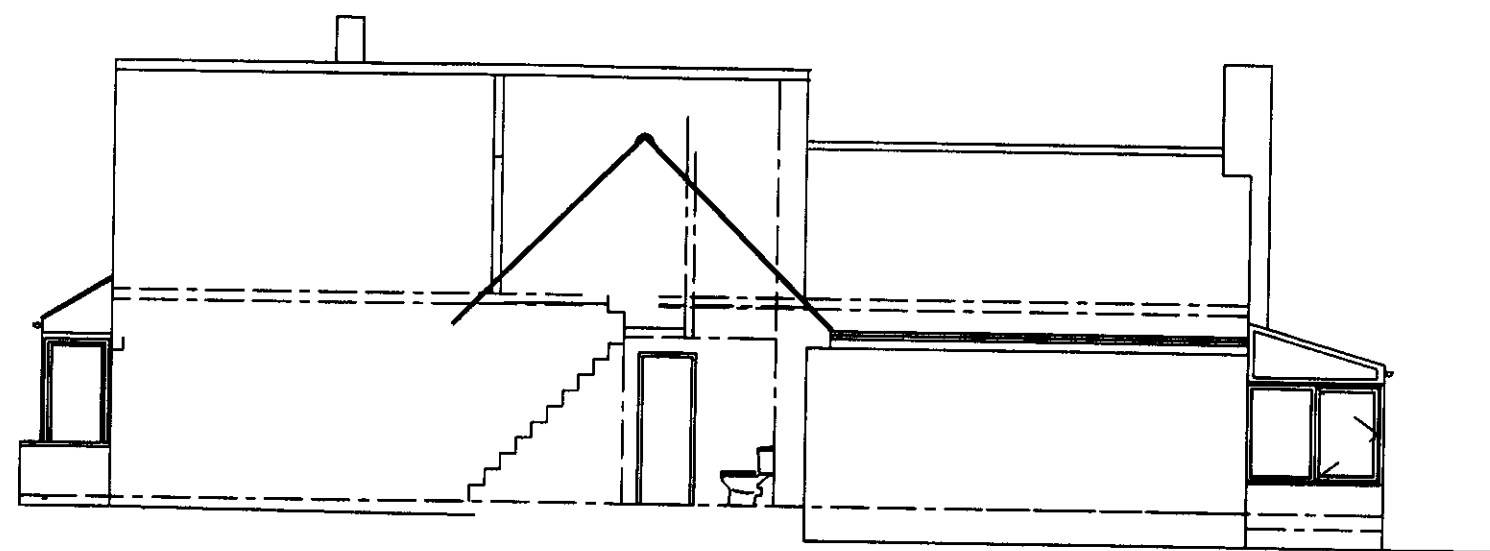
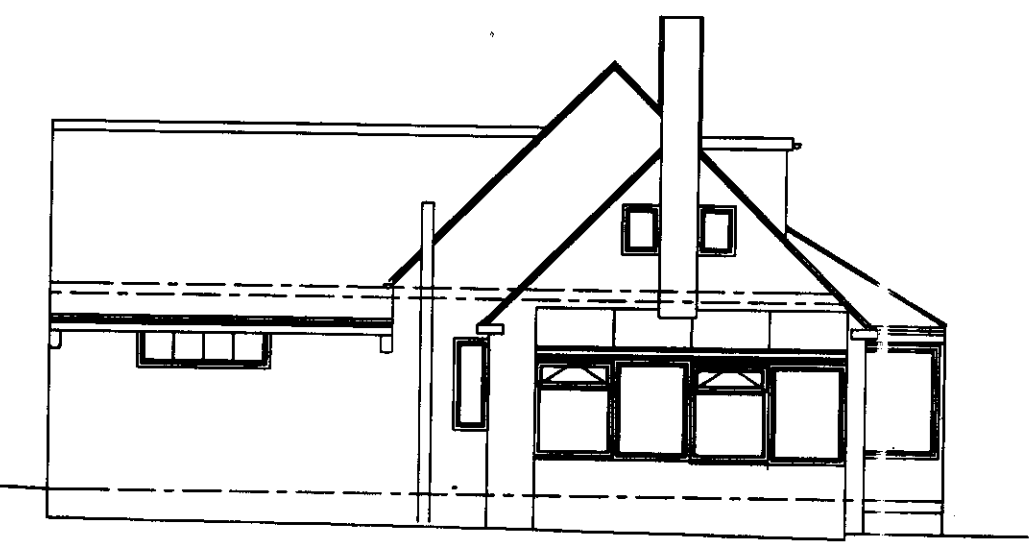
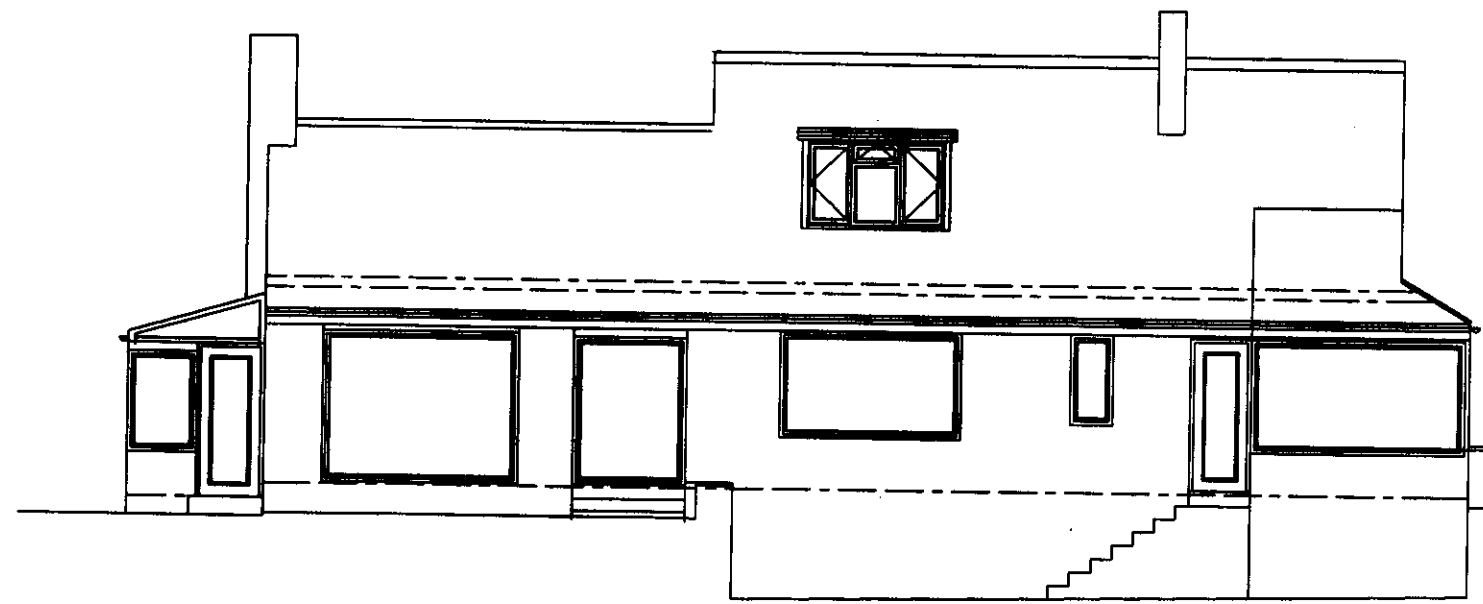
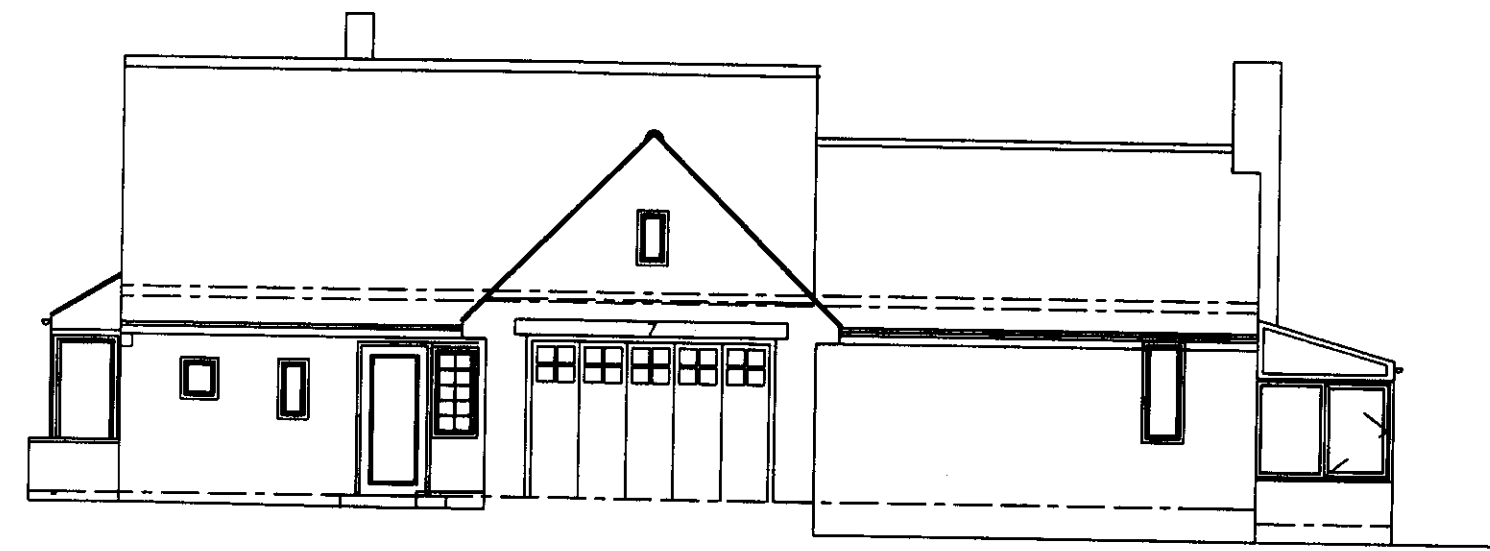


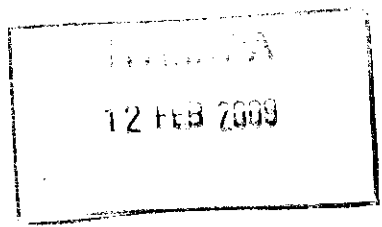
NORTH

NYM/PA
12 FEB 2009

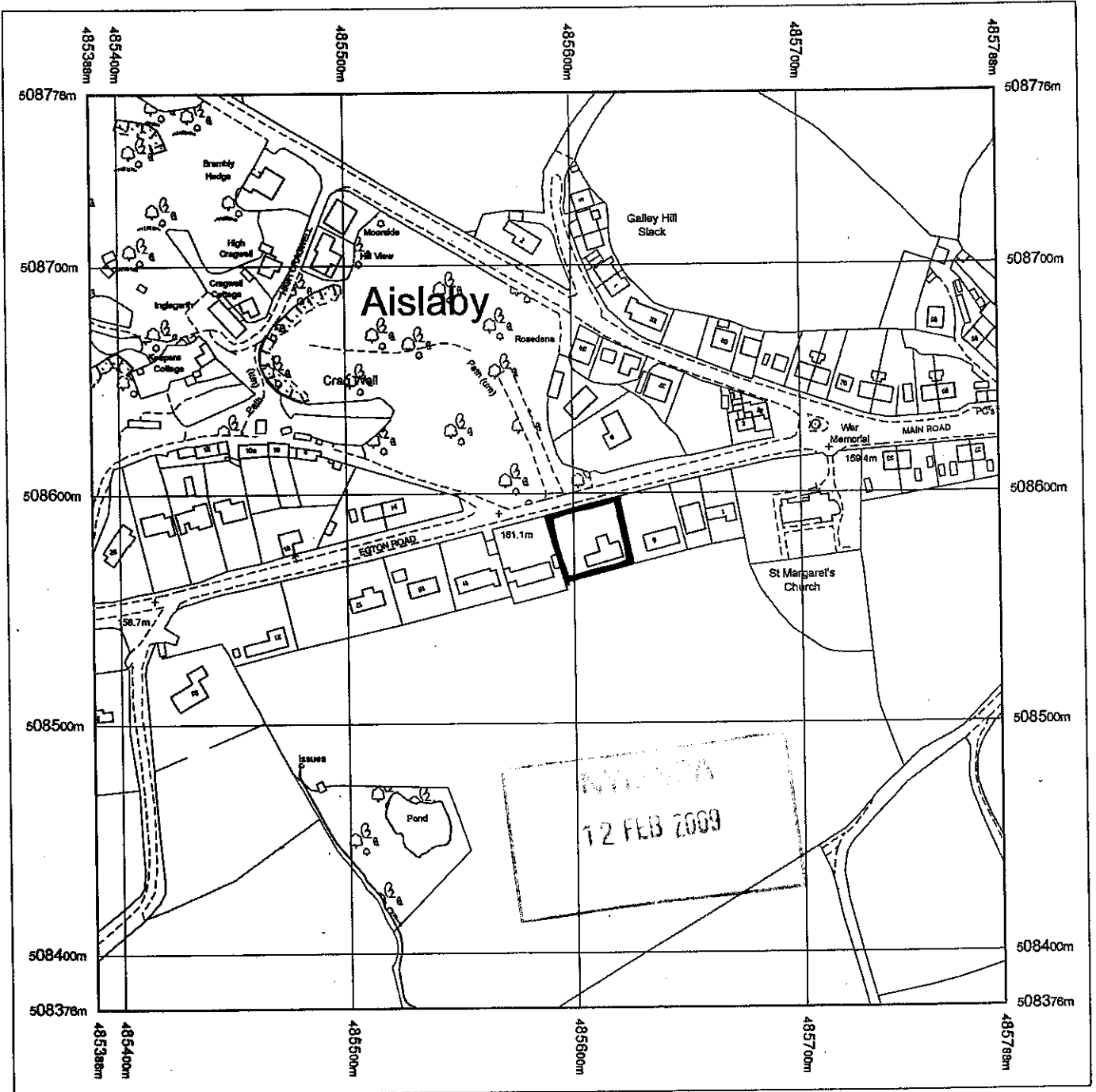
Drawing Proposed EXTENSIONS + ALTERATIONS TO DWELLING	
date JAN 09	drawing no. 2
scale 1:100 apx	project no. W066/1
draw P.A.	revision
checked	

Malcolm Tempest Ltd
Architecture, Planning & Design
HIGH PARKS, NEWTON-LE-WILLOWS
BEDALE, NORTH YORKSHIRE, DL6 1TP
Telephone: [REDACTED]



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Notes	
	
Project HOUSE EXTENSIONS	
Location 7 EGTON ROAD, AISLABY	
Client DR T WARD	
Drawing EXISTING DWELLING	
date JAN 09	drawing no. 1
scale 1:100 ADP	project no. W066/1
drawn PA	revision
checked	

Malcolm Tempest Ltd.
 Architecture, Planning & Design
 HIGH PARKS, NEWTON-LE-WILLOWS
 BEDALE, NORTH YORKSHIRE, DL8 1TP
 Telephone: 01937 546111



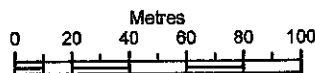
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The representation of a road, track or path is no evidence of a right of way.

The representation of features as lines is no evidence of a property boundary.



Scale 1:2500

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 Serial number: 00014600
 Centre coordinates: 485588 508578

Further information can be found on the OS Sitemap Information leaflet or the Ordnance Survey web site:
www.ordnancesurvey.co.uk



PTT

North York Moors National Park Authority
 The Old Vicarage
 Bonisgate
 Helmsley
 York
 YO62 5BP

Telephone: 01430 770667
 Email: do@northyorkmoors-npa.gov.uk
 Website: www.moors.nk.net

**Householder Application for Planning Permission for works or extension to a dwelling.
 Town and Country Planning Act 1990**

09/95

Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

Title: DR First name: TOM

Last name: WARD

Company (optional):

Unit: House number: 7 House suffix:

House name: EGTON ROAD

Address 1: AISLABY

Address 2:

Address 3:

Town: WHITBY

County: NORTH YORKSHIRE

Country: ENGLAND

Postcode: YO21 1SU

Title: First name:

Last name:

Company (optional): MALCOLM TEMPEST LTD

Unit: House number: House suffix:

House name: HIGH PARKS

Address 1: NEWTON LE WILLOWS

Address 2:

Address 3:

Town: BEDALE

County: NORTH YORKSHIRE

Country: ENGLAND

Postcode: DL8 1TP

Please describe the proposed works:

PROPOSED HOUSE EXTENSION
 + ALTERATIONS

NYM/NPA
 12 FEB 2009

Has the work already been started without planning permission?

Yes No

If Yes, please state when the works were started (DD/MM/YYYY):

(date must be pre-application submission)

Has the work already been completed without planning permission?

Yes No

If Yes, please state when the works were completed (DD/MM/YYYY):

(date must be pre-application submission)

Please provide the full postal address of the application site.

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Postcode (optional):

Is a new or altered vehicle access proposed to or from the public highway?

Yes No

Is a new or altered pedestrian access proposed to or from the public highway?

Yes No

Do the proposals require any diversions, extinguishments and/or creation of public rights of way?

Yes No

If Yes to any questions, please show details on your plans or drawings and state the reference number(s) of the plan(s)/drawing(s):

Has assistance or prior advice been sought from the local authority about this application?

Yes No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much possible:

Officer name:

Reference:

Date (DD MM YYYY): (must be pre-application submission)

Advice given:

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your boundary?

Yes No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

Yes No

If Yes, please show on your plans, indicating the scale, which trees by giving them numbers e.g. T1, T2 etc. and state the reference number of any plans or drawings:

Will the proposed works affect existing car parking arrangements?

Yes No

If Yes, please describe:

Is the applicant or agent related to any member of staff or elected member of the Council?

Yes No

If Yes, please provide details:

If applicable, please state what materials are to be used externally. Include type, colour and name for each material:

	Existing (where applicable)	Proposed	Not applicable	Don't Know	Drawing references if applicable
Walls	STONE	STONE	<input type="checkbox"/>	<input type="checkbox"/>	
Roof	RED CLAY PANTILE	RED CLAY PANTILE	<input type="checkbox"/>	<input type="checkbox"/>	
Windows		HARDWOOD TIMBER	<input type="checkbox"/>	<input type="checkbox"/>	
Doors		HARDWOOD TIMBER	<input type="checkbox"/>	<input type="checkbox"/>	
Boundary treatments (e.g. fences, walls)		AS EXISTING	<input type="checkbox"/>	<input type="checkbox"/>	
Vehicle access and hard-standing		TARMAC OR SETTS	<input type="checkbox"/>	<input type="checkbox"/>	
Lighting		NYM/NPA 12 FEB 2009	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Others (please specify)			<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement? Yes No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

LOCATION PLAN, EXISTING + PROPOSED ARTIST IMPRESSIONS
EXISTING HOUSE DETAILS,
PROPOSED HOUSE DETAILS /

CERTIFICATE OF OWNERSHIP - CERTIFICATE B
Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

The steps taken were:

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant: _____ Or signed - Agent: _____ Date (DD/MM/YYYY): _____

AGRICULTURAL HOLDINGS CERTIFICATE
Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

Agricultural Land Declaration - You Must Complete Either A or B
 (A) None of the land to which the application relates is, or is part of, an agricultural holding. ✓

Signed - Applicant: _____ Or signed - Agent: _____ Date (DD/MM/YYYY): 11/02/2009

B) I have/ The applicant has given the requisite notice to every person other than himself/ the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Name of Tenant	Address	Date Notice Served
NO TENANCIES		

12 FEB 2009

Signed - Applicant: _____ Or signed - Agent: _____ Date (DD/MM/YYYY): _____

Additional Requirements Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

3 copies of a completed and dated application form: <input checked="" type="checkbox"/>	3 copies of a design and access statement where proposed works fall within one of the following designated areas: <input checked="" type="checkbox"/> <ul style="list-style-type: none"> • National Park • Site of special scientific interest • Conservation area • Area of outstanding natural beauty • World Heritage Site • The Broads 	The correct fee: £150.00 <input checked="" type="checkbox"/>
3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North: <input checked="" type="checkbox"/>	3 copies of the completed, dated Article 7 Certificate (Agricultural Holdings): <input checked="" type="checkbox"/>	3 copies of the completed, dated Ownership Certificate (A, B, C or D - as applicable): <input checked="" type="checkbox"/>
3 copies of other plans and drawings or information necessary to describe the subject of the application: <input checked="" type="checkbox"/>		

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant: _____ Or signed - Agent: _____ Date (DD/MM/YYYY): 11/02/2009 (date cannot be pre-application)

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one) Agent Applicant Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name: Telephone number:

Email address:

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted. The correct fee: The original and 3 copies of the following documents:

<input checked="" type="checkbox"/> The completed and dated application form	<input checked="" type="checkbox"/> The completed, dated Article 7 Certificate (Agricultural Holdings)	<input checked="" type="checkbox"/> A design and access statement where proposed works fall within one of the following designated areas:
<input checked="" type="checkbox"/> A plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of north	<input checked="" type="checkbox"/> The completed, dated Ownership Certificate (A, B, C or D - as applicable)	<input checked="" type="checkbox"/> <ul style="list-style-type: none"> • National Park • Site of special scientific interest • Conservation area • Area of outstanding natural beauty • World Heritage Site • The Broads
<input checked="" type="checkbox"/> Other plans and drawings or information necessary to describe the subject of the application		

12 FEB 2009

Design & Access Statement
Proposed House Extension & Alterations
7 Egton Road, Aislaby – Dr Tom Ward

This application is for house alterations and extensions where a full design and access statement is not normally required but the following notes may be helpful.

Physical

Modern stone built house under a tiled roof. 2storey with 1st floor rooms in the roof. Integral garage faces the road. Building set well below the road with a hairpin bend drive down. Picture windows at the rear where there are extensive views over the valley. The house is not well suited to modern living in that the kitchen is very small with out offices portioned off. The sitting room is cold and narrow and the bedrooms restricted in usable area due to layout and roof slopes. The staircase is awkward and restricted.

The proposal is to make larger rooms and a more convenient layout, principally, by moving the staircase into the present garage space, which forms the new hall, is logical because it presents a front door to the drive and road at the front of the house. This roof is raised to accommodate the stair rising and a bathroom. The west wing is widened giving a better proportioned living room and the space above is much more usable, at present there is only a crawl access.

Design

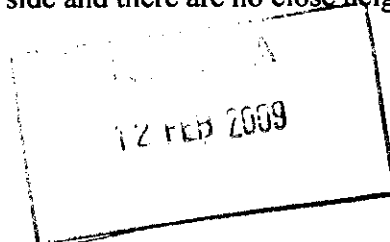
None of the extensions roofs extend above the original main roof and the basic design of the property is maintained as an L shape buildings with rooms in the roof, however all the above design requirements are met. A detached garage is provided at the end of the drive, square with stone walls and pyramidal red clay pantile roof.

Appearance

Still basically a stone house with red clay pantile roof accommodating rooms. The south elevation retains its picture windows through with different joinery. A new gable over the study/dining room adds interest and structure to this elevation, with dormer windows helping balance it. This is of course only seen at a distance. Artist impressions have been prepared to show the subtle differences envisaged to the north and west.

Consultations

Neighbours have not been consulted since they are unaffected, overlooking etc, is not affected to neighbours either side and there are no close neighbours affected north or south.



Access

This is unchanged; by the present drive with turning available at lower level. The building will comply with building regulations for inclusive access.

Use

Single dwelling as existing.

Amount

Footprint unchanged, except for widening of sitting room to the main house, new gable dormers and raised roof lines and new double garage.

Landscaping

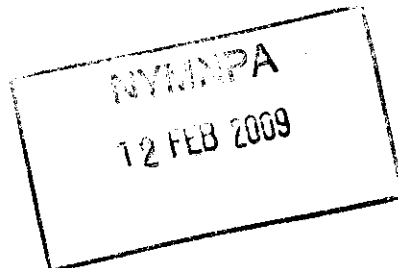
Hard landscape drive in tarmac or setts. The present setting is of a mature domestic garden which will remain as such, therefore no dedicated specific landscaping is deemed appropriate.

Planning

Normal house extension parameters.

General

Care has been taken to achieve accommodation without significantly altering the building which will maintain its present form and setting.



Malcolm Tempest Ltd
February 2009

NYMNPA

11 JUN 2009

Tree Appraisal
Proposed House Extensions & Alterations
7 Egton Road, Aislaby, Whitby

This is a very small planning application for alterations and extensions, and provision of a garage to a house on a 'suburban' type plot, with neighbouring properties on each side. Good daylighting needs to be preserved and created into the house, which already lies well below street level. There are no significant trees on the site, but there is some scope to assist the street scene and achieve some practical benefits from planting toward the south of the site.

No works are proposed close to existing trees on site or close to boundaries which might affect significant neighbouring trees. Consequently a brief appraisal and proposal is considered adequate to identify constraints and opportunities in this very limited situation.

The site was surveyed in April 2009 and the trees existing on the site were recorded and are shown on the coloured site layout plan.

There were found to be no significant trees on the site. Small garden trees and shrubs were recorded, but these are by way of garden ornament and make no significant contribution to the landscape generally.

The site is a suburban garden, and had clearly suffered neglect over a number of years. Even the extant trees had no management, with dead, partially dead and deformed examples. None were large mainly within 4m of height. Those which can will however probably be maintained now as part of the gardening. Stumps of cupressus remained, presumably removed because these trees had got out of hand. There is a laurel bush and an ornamental conifer near the house on the north side which can remain and a high cupressus leylandii near the bend of the old drive which is tall and narrow and can be removed. There is therefore no need to categorise remaining trees further.

However this survey has focussed attention on the garden and its future planning, including the provision of trees. Fundamentally the vehicular access to the property is to change. The garage is now planned to be nearer road level with a short drive/parking and turning area and the old hairpin (and very difficult) sloping drive is to be removed. Whilst a path will no doubt remain to avoid steps most of the hard standing will revert to soil and garden.

This offers an opportunity to plant new trees. The street scene in Egton Road was considered and trees to play a role in its character on both sides. On the relevant south side these are mainly garden species but do none then less make a contribution in softening the view.

Trees in the area would be on the north side of the house and not therefore obscure sunlight too much. They may offer shelter from the north winds.

There is no amount of ground to the south of the house, east or west which would support trees neither are they considered necessary here. Indeed they would shade this and adjacent properties.

The bank side to the south could accommodate 2 trees and the owner prefers

One Holm Oak

One Hornbeam

These are shown on the plan.

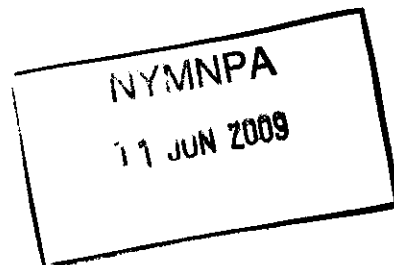
The garages foundations will need to take account of the proposed trees and extra depth achieved. Otherwise these positions are thought to be least harmful to the built environment.

The strip next to the southern boundary can accept small trees and shrubs; this will assist shelter, privacy (as the footpath looks down into the house windows) and again assist the street scene.

The owner envisages; - for example some Yew and Hollies. These kept to be seen as n 'understory' seen against the higher crowns of the 2 trees behind.

Protection

Care will be taken to prevent excavation or storage of materials in areas which might be detrimental to adjoining trees (mainly the beech to the east).



Malcolm Tempest
Malcolm Tempest Ltd
June 2009

300 dead or dying bush.

SECONDARY GROWTH FROM DEAD MAIN STEM

NYM / 2009 / 0095 / FL

SITE PL

225

200

3 X LABURNUM (remain)

300

Laurels next door.

possible protective piling during works.

beech (neighbouring property)

OVERHEAD WIRES

line out garage wall to improve insulation 150

NYMNPA
11 JUN 2009

6500

GARAGE PLAN

6500

additional steps as reqd.

NEW EVERGREEN OAK PLANTED AS STANDARD & PROTECTED NEAR PRESENT STUMP (TO BE REMOVED)

HORNBEAM PLANTED AS STANDARDS

EXISTING CUPRESSUS MULTISTRATA CAN BE KEPT

EXISTING HOLLIES

STAIRS

6m

turning space.

YEW AND OTHER LARGER SHRUBS.

FORMER DRIVE TO & PATHWAY ONLY KNOWN TO HOUSE

YEW AND LARGER

existing access & crossing.

