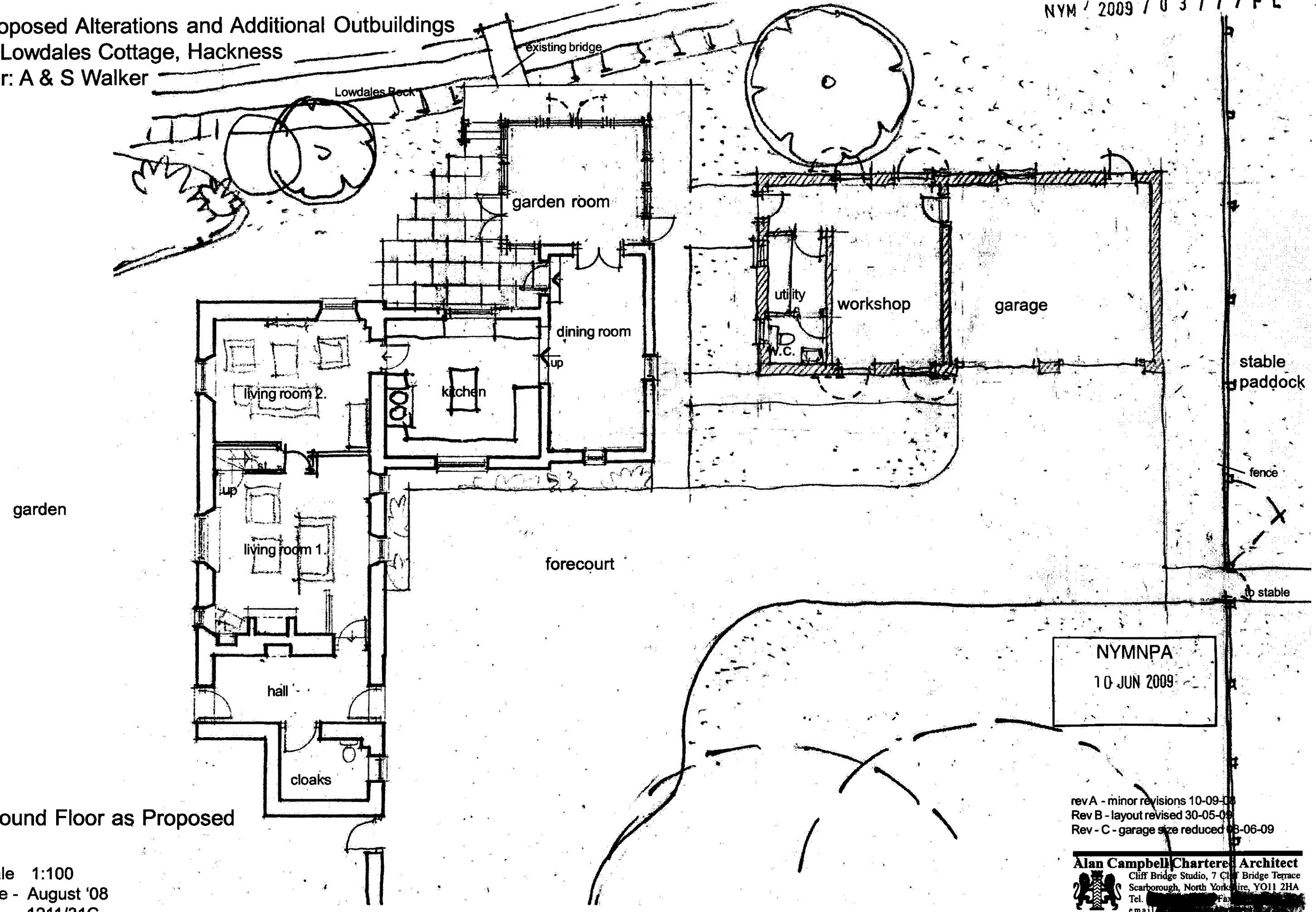


Proposed Alterations and Additional Outbuildings
to Lowdales Cottage, Hackness
For: A & S Walker

NYM / 2009 / 0377 / FL



Ground Floor as Proposed

scale 1:100
date - August '08
ref. 1211/31C

NYMNP
10 JUN 2009

rev A - minor revisions 10-09-08
Rev B - layout revised 30-05-09
Rev - C - garage size reduced 08-06-09

Alan Campbell Chartered Architect
Cliff Bridge Studio, 7 Cliff Bridge Terrace
Scarborough, North Yorkshire, YO11 2HA
Tel. [redacted] Fax [redacted]
email [redacted]

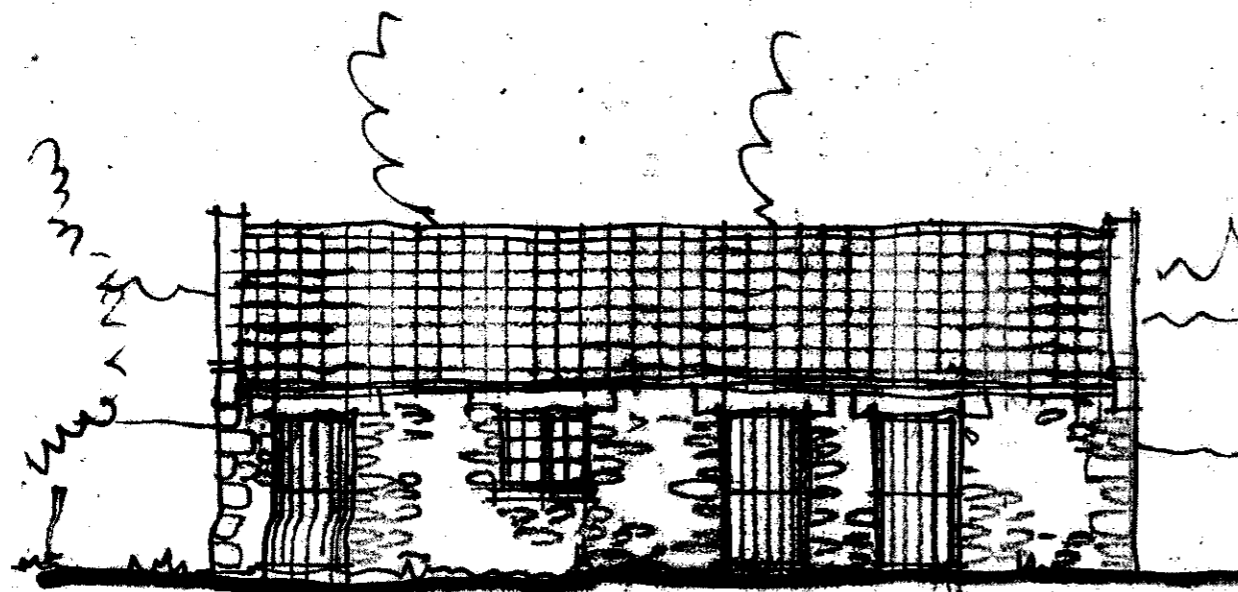
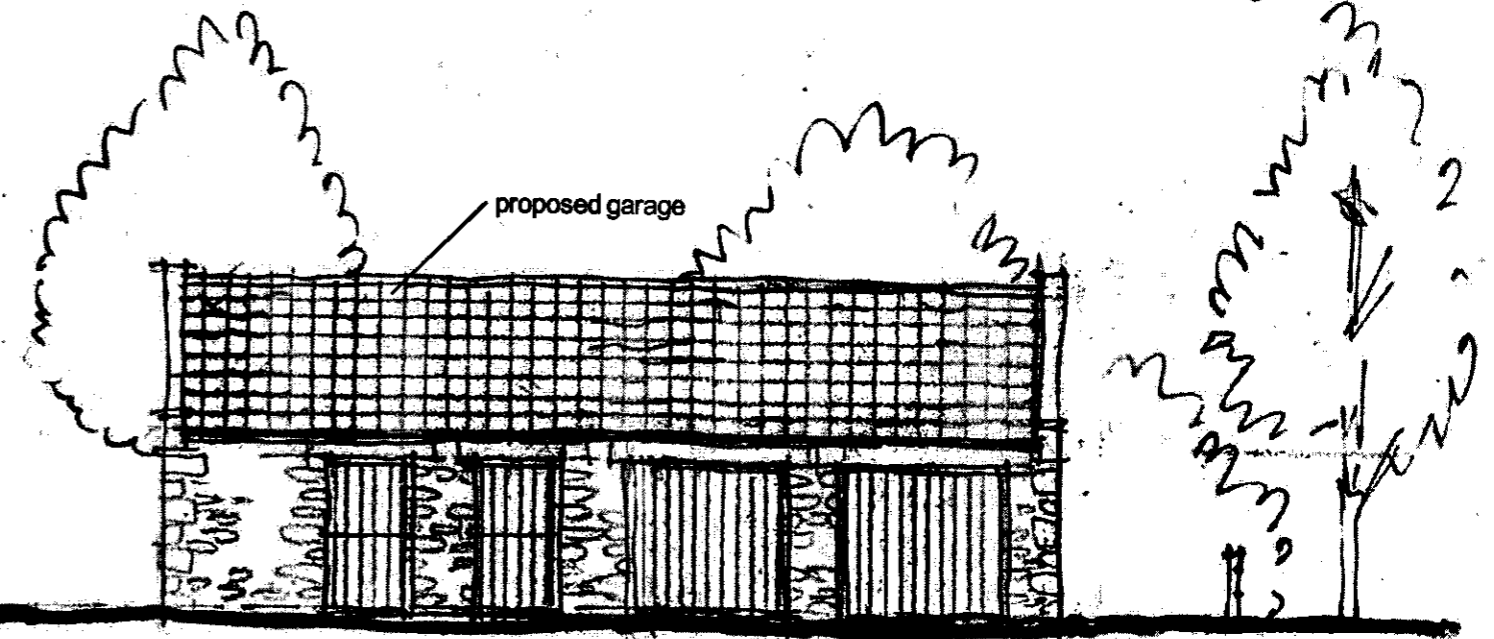
Proposed Alterations and Additional Outbuildings
to Lowdales Cottage, Hackness
For: A & S Walker

NYM / 2009 / 0377 / FL

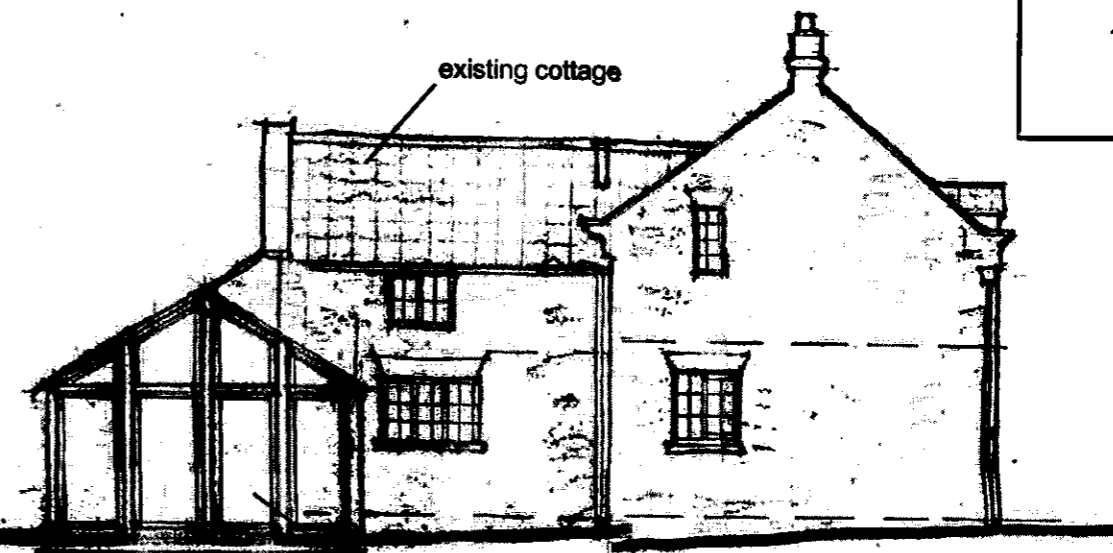
Materials:
natural clay pantiles
natural stone
painted doors and door and window
frames
all to match existing.



East Elevation - view from forecourt
existing cottage unaltered



West Elevation



proposed garden room

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10 JUN 2009

Elevations As proposed 1.

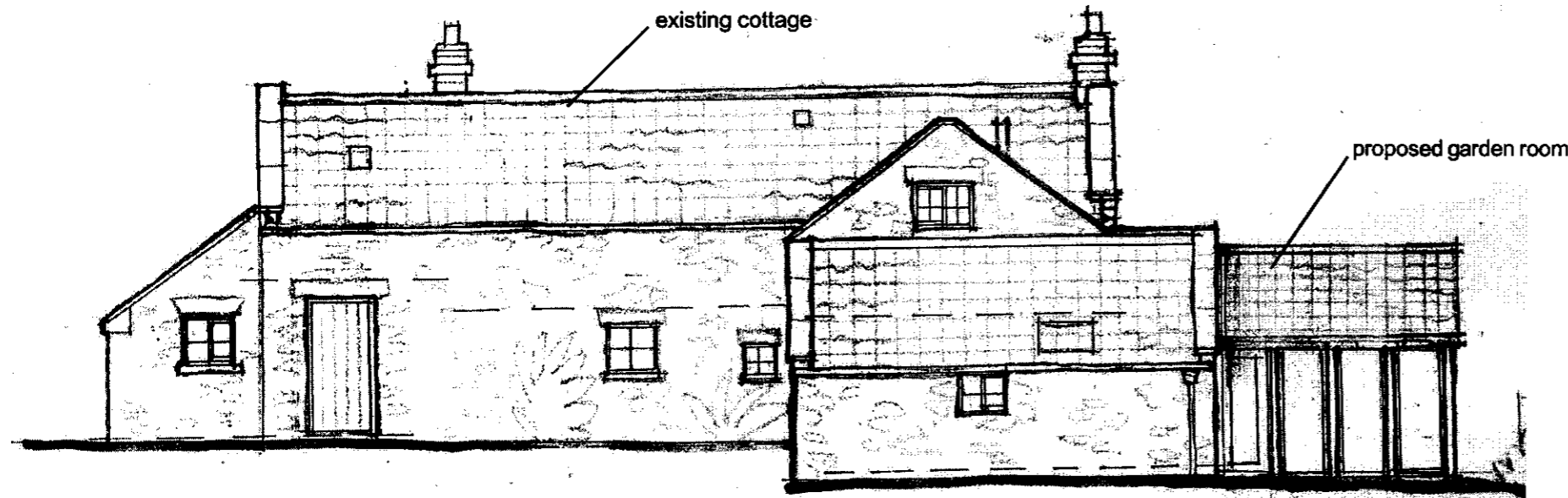
scale 1:100
date - August '08
ref. 1211/32C

rev A - minor revisions 10-09-08
Rev B - layout revised 30-05-09
Rev - C - garage size reduced 08-06-09

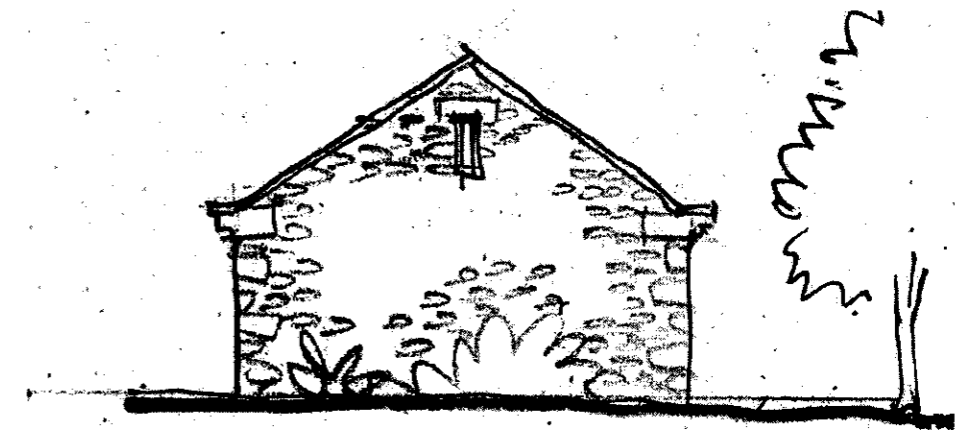
Alan Campbell Chartered Architect
Cliff Bridge Studio, 7 Cliff Bridge Terrace
Scarborough, North Yorkshire, YO11 2HA
Tel: [redacted] Fax: [redacted]
email: [redacted]

Proposed Alterations and Additional Outbuildings
to Lowdales Cottage, Hackness
For: A & S Walker

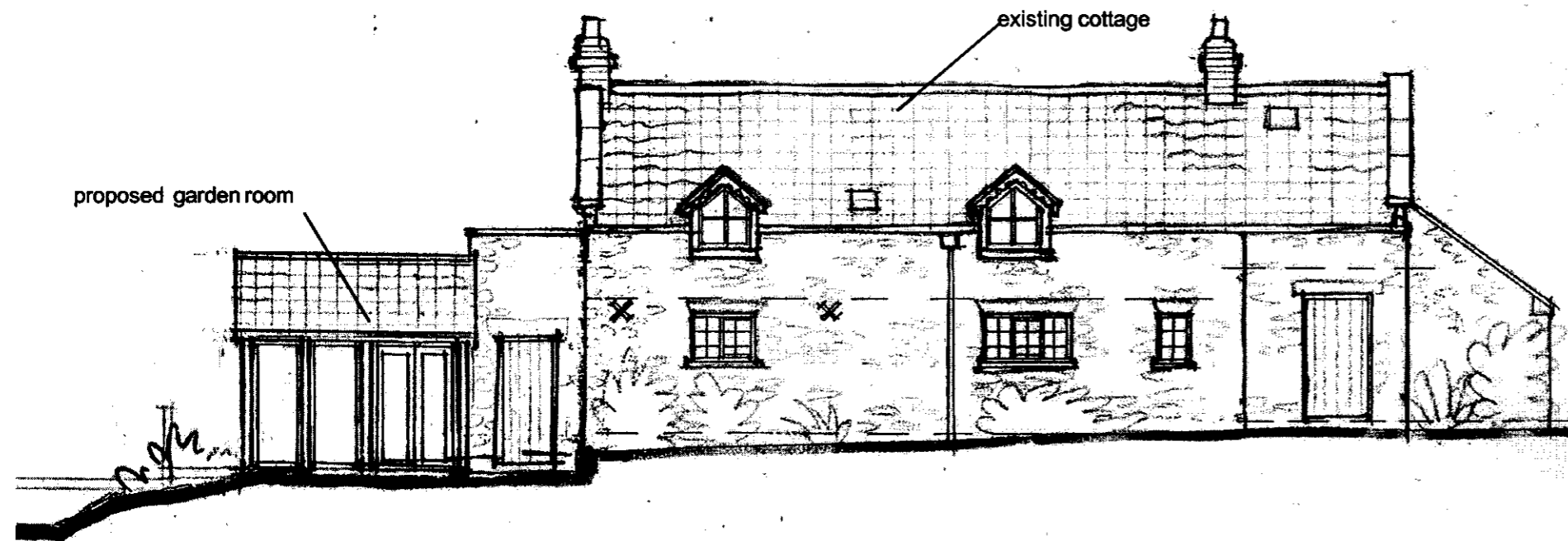
Materials:
natural clay pantiles
natural stone
painted doors and door and window
frames
all to match existing.



North Elevation - existing cottage unaltered

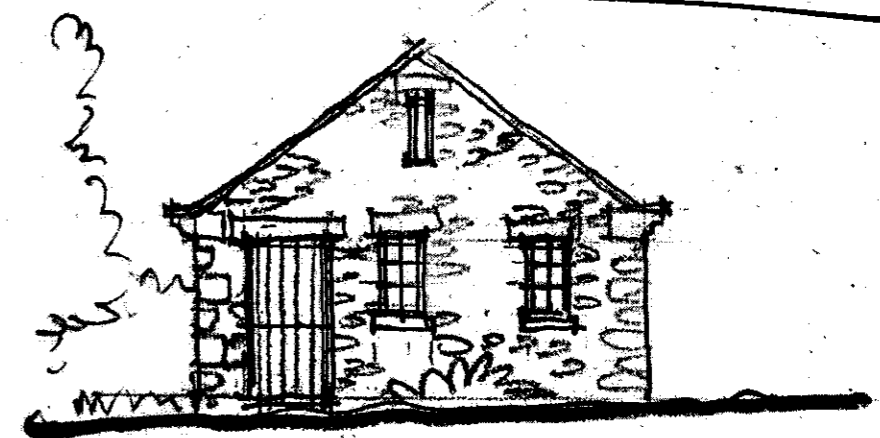


North Elevation - proposed garage



South Elevation - existing cottage unaltered

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South Elevation - proposed garage

Elevations As Proposed 2.

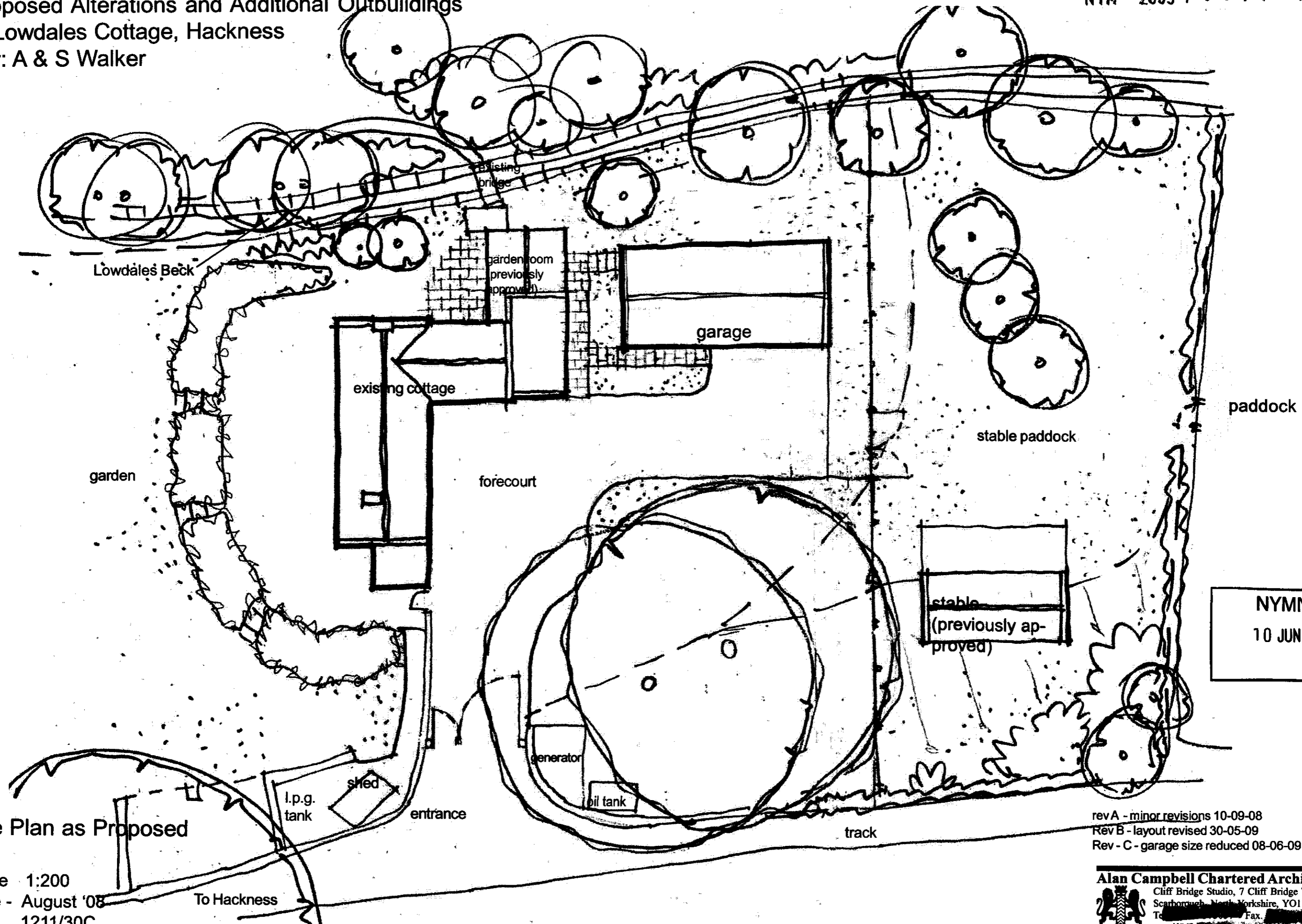
scale 1:100
date - August '08
ref. 1211/33C

rev A - minor revisions 10-09-08
Rev B - layout revised 30-05-09
Rev - C - garage size reduced 08-06-09

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Cliff Bridge Studio, 7 Cliff Bridge Terrace
Scarborough, North Yorkshire, YO11 2HA
Tel. [redacted] Fax [redacted]
ema [redacted]

Proposed Alterations and Additional Outbuildings
to Lowdales Cottage, Hackness
For: A & S Walker

NYM / 2009 / 0377 / FL



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Site Plan as Proposed

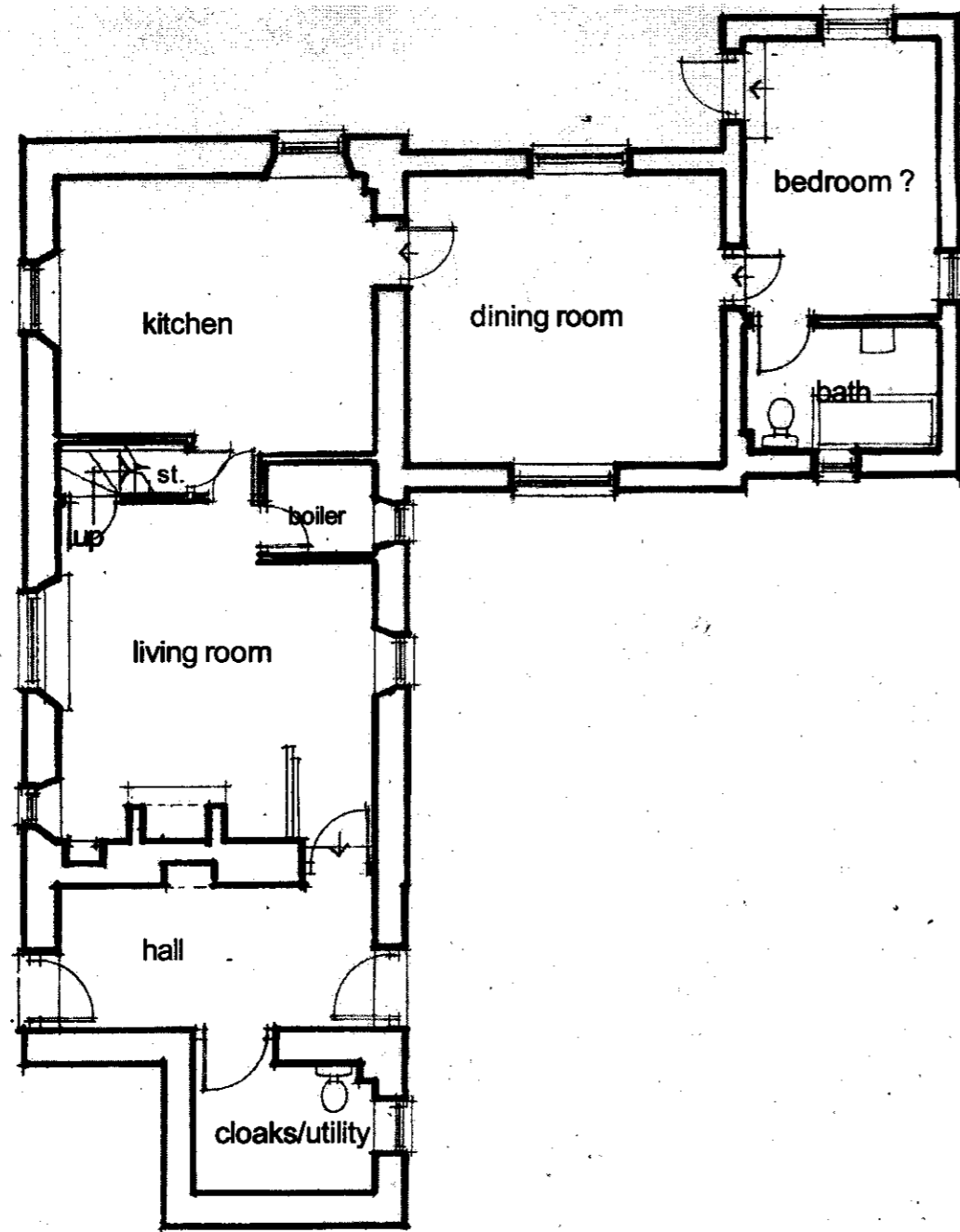
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date - August '08
ref. 1211/30C

rev A - minor revisions 10-09-08
Rev B - layout revised 30-05-09
Rev - C - garage size reduced 08-06-09

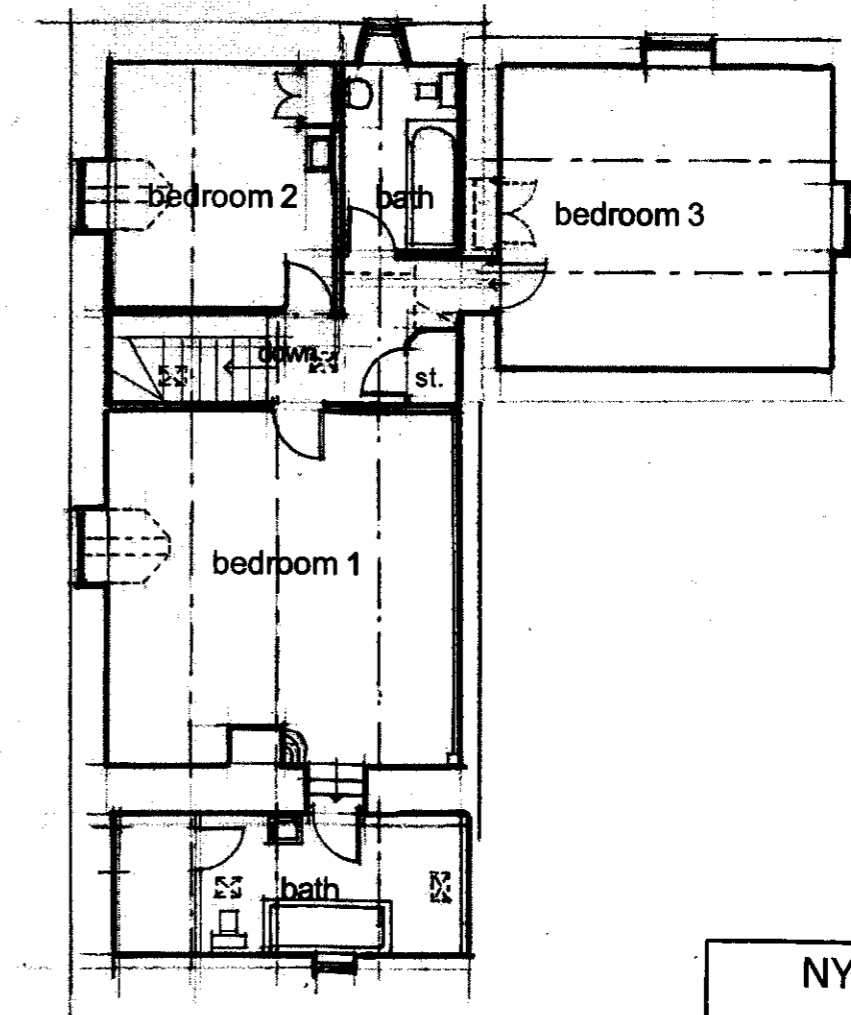
Alan Campbell Chartered Architect
Cliff Bridge Studio, 7 Cliff Bridge Terrace
Scarborough, North Yorkshire, YO11 2HA
Tel: [redacted] Fax: [redacted]
email: [redacted]

Proposed Alterations and Additional Outbuildings
to Lowdales Cottage, Hackness
For: A & S Walker

NYM / 2009 / 0377 / FL 1



Ground Floor Plan



First Floor Plan (unaltered)

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10 JUN 2009

Floor Plans as Existing

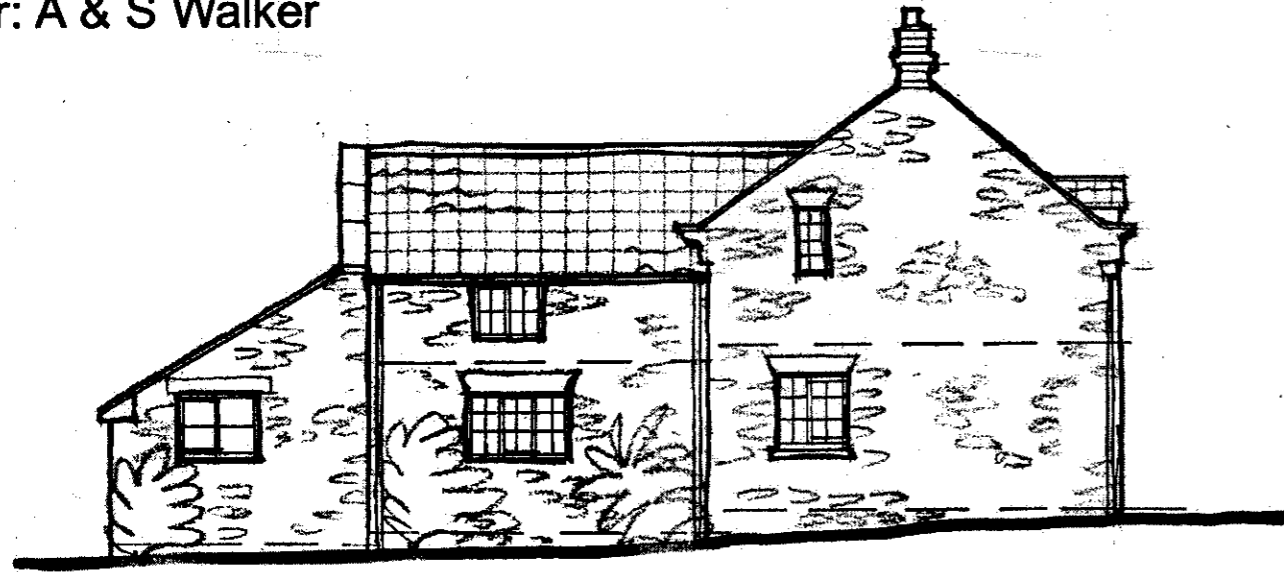
scale 1:100
date - August '07
ref. 1211/19A

Rev A - minor revisions 05-09-07

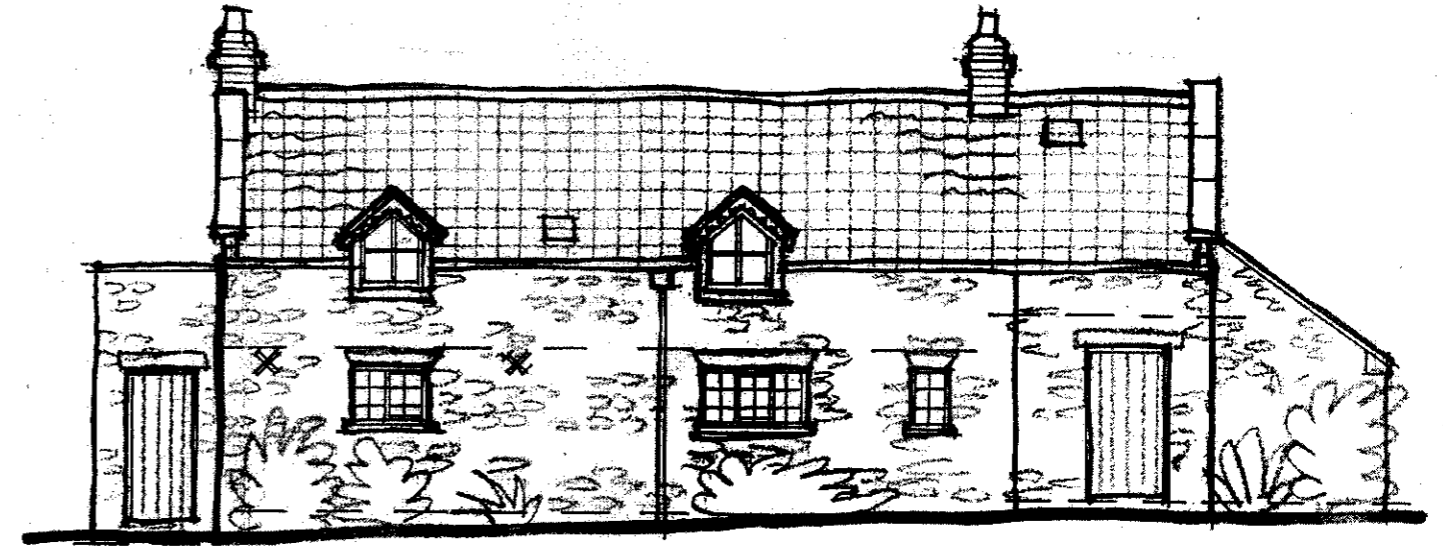
Alan Campbell Chartered Architect
Cliff Bridge Studio, 7 Cliff Bridge Terrace
Scarborough, North Yorkshire, YO11 2HA
Tel: [redacted] Fax: [redacted]
email: [redacted]

Proposed Alterations and Additional Outbuildings
to Lowdales Cottage, Hackness
For: A & S Walker

NYM / 2009 / 0 3 7 7 / F L

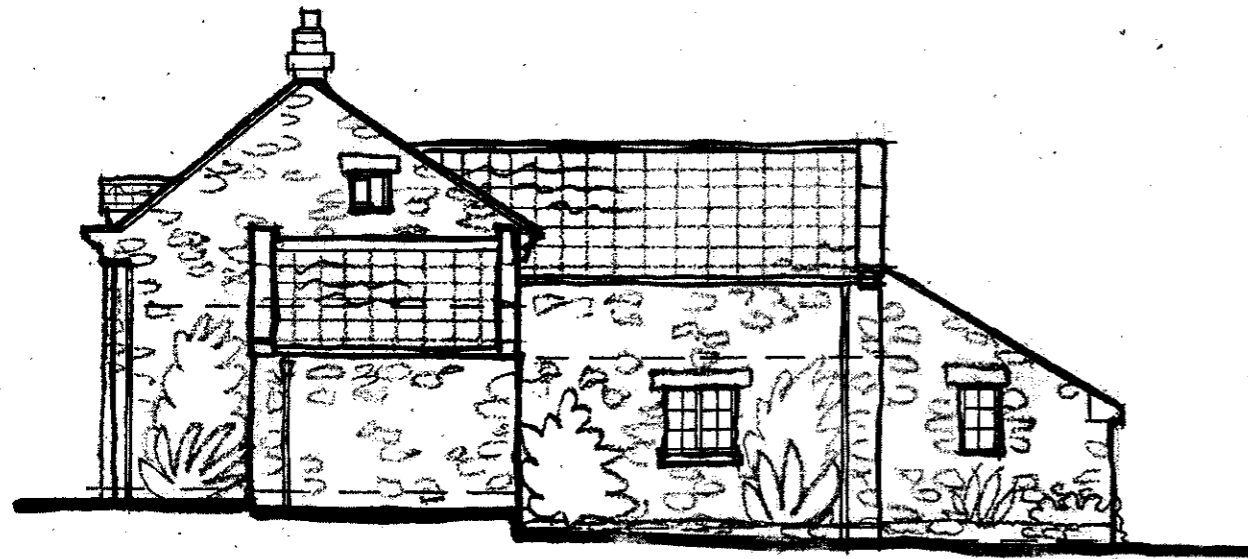


West Elevation

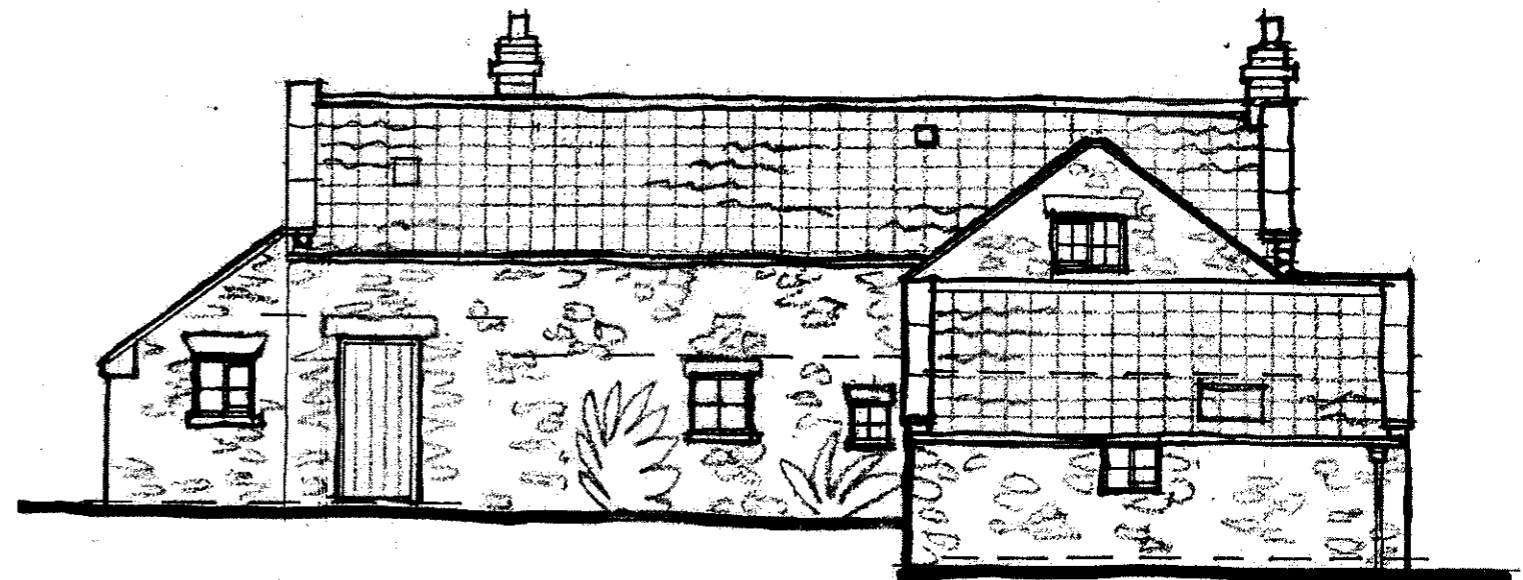


South Elevation

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East Elevation



North Elevation

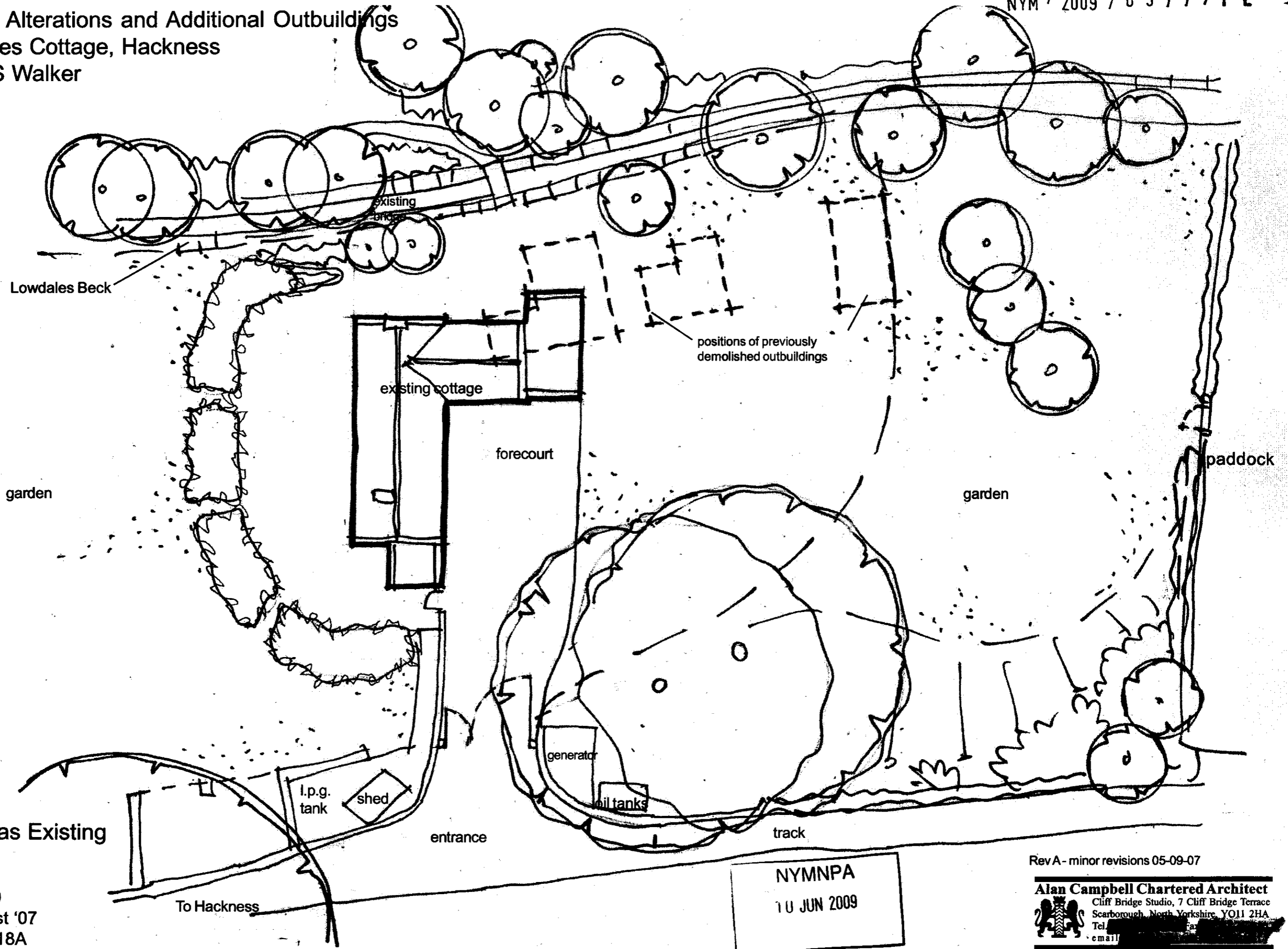
Elevations as Existing

scale 1:100
date - August '07
ref. 1211/20A

Rev A - minor revisions 05-09-07

Alan Campbell Chartered Architect
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Scarborough, North Yorkshire, YO11 2HA
Tel. [redacted] - Fax. [redacted]
e.m [redacted]

Proposed Alterations and Additional Outbuildings
to Lowdales Cottage, Hackness
For: A & S Walker



Site Plan as Existing

scale 1:200
date - August '07
ref. 1211/18A

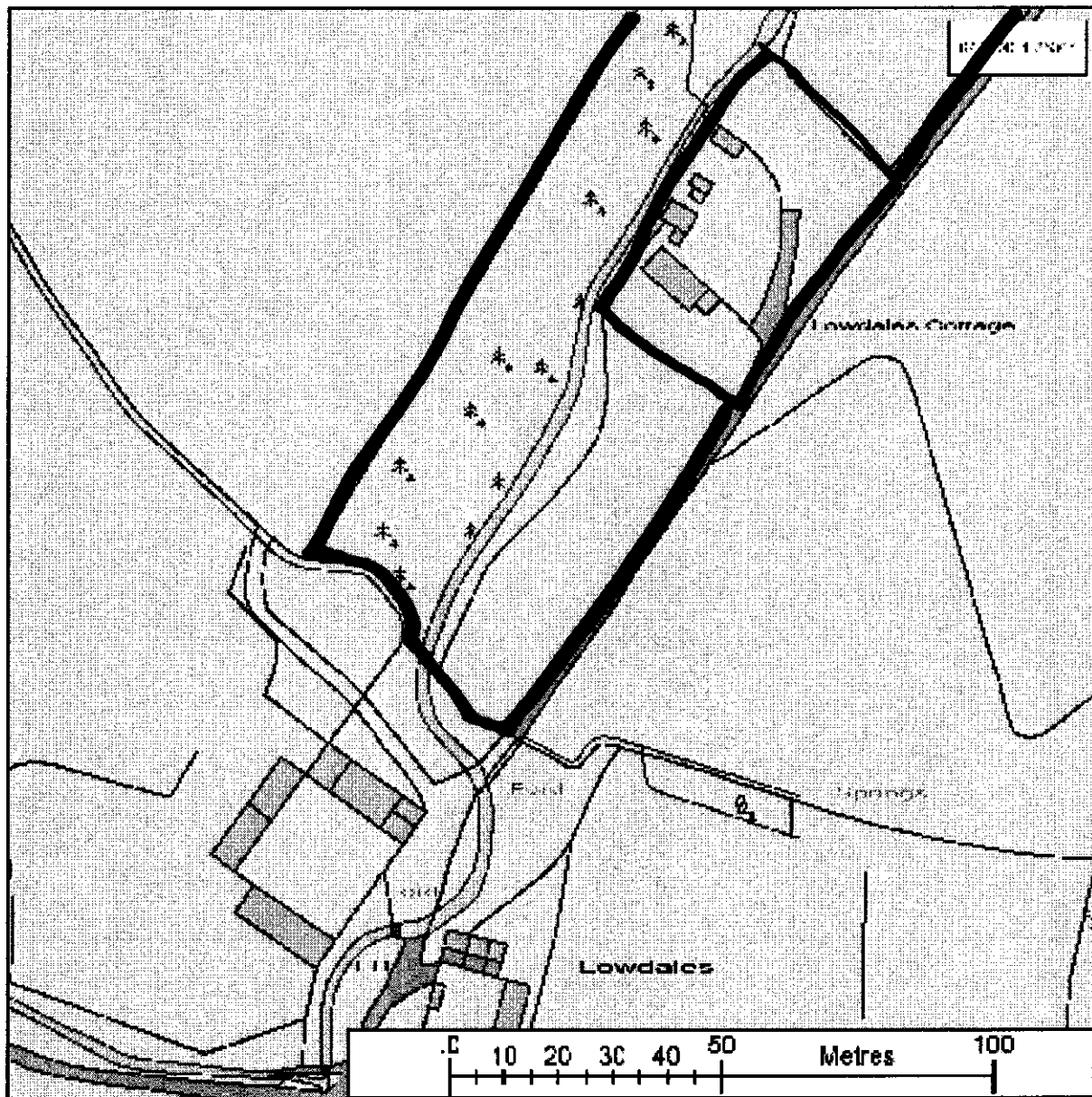
NYMNP
10 JUN 2009

Rev A - minor revisions 05-09-07

Alan Campbell Chartered Architect
Cliff Bridge Studio, 7 Cliff Bridge Terrace
Scarborough, North Yorkshire, YO11 2HA
Tel. [redacted] Fax [redacted]
email [redacted]

Proposed Alterations and Additional Outbuildings
to Lowdales Cottage, Hackness
For: A & S Walker

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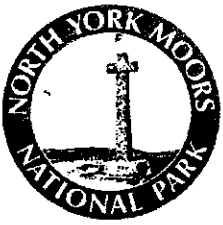


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10 JUN 2009

Location Plan 2.

scale 1:1250
date - August '07
ref. 1211/01

Alan Campbell Chartered Architect
Cliff Bridge Studio, 7 Cliff Bridge Terrace
Scarborough, North Yorkshire, YO11 2HA
Tel: 01753 833333 Fax: 01753 833333
em: alan@cliffbridge.co.uk



SE 95446, 91750 NYM 1 2009 / 0377 / FL

09/0877

PE1

North York Moors National Park Authority
The Old Vicarage
Bondgate
Helmsley
York
YO62 5BP

Telephone: 01439 770657
Email: dc@northyorkmoors-npa.gov.uk
Website: www.moors.uk.net

Application for Planning Permission. Town and Country Planning Act 1990

Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

1. Applicant Name and Address

Title: First name: Last name:

Company (optional):

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Country:

Postcode:

2. Agent Name and Address

Title: First name:

Last name:

Company (optional):

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Country:

Postcode:

3. Description of Proposed Works

Please describe the proposed works:

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Has building or works already been carried out or use of land already started? Yes No

If Yes, please state the date when building works or use were started (DD/MM/YYYY): (date must be pre-application submission)

Have the works been completed or change of use already occurred? Yes No

If Yes, please state when the works were completed or use occurred (DD/MM/YYYY): (date must be pre-application submission)

4. Site Address Details

Please provide the full postal address of the application site.

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Postcode (optional):

Description of location or a grid reference. (must be completed if postcode is not known):

Easting: Northing:

Description:

5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much as possible:

Officer name:

Reference:

Date (DD/MM/YYYY):
(must be pre-application submission)

Details of pre-application advice received?

6. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No Unknown

Is a new or altered pedestrian access proposed to or from the public highway? Yes No Unknown

Are there any new public roads to be provided within the site? Yes No Unknown

Are there any new public rights of way to be provided within or adjacent to the site? Yes No Unknown

Do the proposals require any diversions /extinguishments and/or creation of rights of way? Yes No Unknown

If you answered Yes to any of the above questions, please show details on your plans/drawings and state the reference of the plan (s)/drawings(s)

7. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste? Yes No Unknown

If Yes, please provide details:

Have arrangements been made for the separate storage and collection of recyclable waste? Yes No Unknown

If Yes, please provide details:

8. Neighbour and Community Consultation

Have you consulted your neighbours or the local community about the proposal? Yes No

If Yes please provide details:

9. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the Council? Yes No

If Yes, please provide details:

10. Materials

If applicable, please state what materials are to be used externally. Include type, colour and name for each material:

	Existing (where applicable)	Proposed	NYM / 2009 / 0	Not applicable	Don't Know	Drawing references if applicable
Walls		STONE.		<input type="checkbox"/>	<input type="checkbox"/>	
Roof		PANTILE		<input type="checkbox"/>	<input type="checkbox"/>	
Windows		PAINTED TIMBER		<input type="checkbox"/>	<input type="checkbox"/>	
Doors		" "		<input type="checkbox"/>	<input type="checkbox"/>	
Boundary treatments (e.g. fences, walls)		N/A.		<input type="checkbox"/>	<input type="checkbox"/>	
Vehicle access and hard-standing		ROUNDED STONE		<input type="checkbox"/>	<input type="checkbox"/>	
Lighting		N/A.		<input type="checkbox"/>	<input type="checkbox"/>	
Others (please specify)		N/A.		<input type="checkbox"/>	<input type="checkbox"/>	

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement? Yes No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

DRAWINGS NOS. 1211/01, 18(A), 19(A), 20(A), 30(C), 31(C)
32(C), 33(C) & 35(C).

11. Vehicle Parking

Please provide information on the existing and proposed number of on-site parking spaces:

Type of Vehicle	Total Existing	Total proposed (including spaces retained)	Difference in spaces
Cars	4.	4 + 2 GARAGES.	
Light goods vehicles/ public carrier vehicles			
Motorcycles			
Disability spaces			
Cycle spaces			
Other (e.g. Bus)			
Other (e.g. Bus)			

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12. Foul Sewage

Please state how foul sewage is to be disposed of:

- NYM 2009 / 03 / 77 / FL**
- Mains sewer Cess pit
 Septic tank Other
 Package treatment plant Unknown

Are you proposing to connect to the existing drainage system? Yes No

If Yes, please include the details of the existing system on the application drawings and state references for the plan(s)/drawing(s):

13. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.)

Yes No

If Yes, you will need to submit a Flood Risk Assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)? Yes No

Will the proposal increase the flood risk elsewhere? Yes No Unknown

How will surface water be disposed of?

- Sustainable drainage system Existing watercourse
 Soakaway Pond/lake
 Main sewer Unknown

14. Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

a) Protected and priority species:

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

b) Designated sites, important habitats or other biodiversity features:

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

c) Features of geological conservation importance:

- Yes, on the development site
 Yes, on land adjacent to or near the proposed development
 No

15. Existing Use

Please describe the current use of the site:

RESIDENTIAL / GARDEN.

Is the site currently vacant? Yes No

If Yes, please describe the last use of the site:

When did this use end (if known)? DD/MM/YYYY

(date where known may be approximate)

Does the proposal involve any of the following:

Land which is known to be contaminated? Yes No

Land where contamination is suspected for all or part of the site? Yes No

A proposed use that would be particularly vulnerable to the presence of contamination? Yes No

If you have answered Yes to any of the above, you will need to submit an appropriate contamination assessment.

16. Trees and Hedges

Are there trees or hedges on the proposed development site? Yes No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character? Yes No

If Yes to either or both of the above, you will need to provide a full Tree Survey, with accompanying plan before your application can be determined. Your Local Planning Authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to construction - Recommendations'.

17. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or waste? Yes No

If Yes, please describe the nature, volume and means of disposal of trade effluents or waste

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18. Residential Units (Including Conversion)

Does your proposal include the gain, loss or change of use of residential units?
 If Yes please complete details of the changes in the tables below:

Yes No

NYM / 2009 / 0377 / FL

Proposed Housing							
Market Housing	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Social Rented							
Social Rented	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Intermediate							
Intermediate	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Key worker							
Key worker	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Existing Housing							
Market Housing	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Social Rented							
Social Rented	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Intermediate							
Intermediate	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Key worker							
Key worker	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a+b+c+d+e+f+g) =							

Total existing residential units
 (A+B+C+D) =

Total proposed residential units
 (E+F+G+H) =

Total net gain / loss of residential units

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19. All Types of Development: Non-residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace? Yes No

If you have answered Yes to the question above please add details in the following table:

Use class/type of use	Not applicable	Existing gross internal floorspace (square metres)	Gross internal floorspace to be lost by change of use or demolition (square metres)	Total gross internal floorspace proposed (including change of use)(square metres)	Net additional gross internal floorspace following development (square metres)
A1	Shops	2009 / 0	377 / FL		
	Net tradable area:	<input type="checkbox"/>			
A2	Financial and professional services	<input type="checkbox"/>			
A3	Restaurants and cafes	<input type="checkbox"/>			
A4	Drinking establishments	<input type="checkbox"/>			
A5	Hot food takeaways	<input type="checkbox"/>			
B1 (a)	Office (other than A2)	<input type="checkbox"/>			
B1 (b)	Research and development	<input type="checkbox"/>			
B1 (c)	Light industrial	<input type="checkbox"/>			
B2	General industrial	<input type="checkbox"/>			
B8	Storage or distribution	<input type="checkbox"/>			
C1	Hotels and halls of residence	<input type="checkbox"/>			
C2	Residential institutions	<input type="checkbox"/>			
D1	Non-residential institutions	<input type="checkbox"/>			
D2	Assembly and leisure	<input type="checkbox"/>			
OTHER	Please specify	<input type="checkbox"/>			
		<input type="checkbox"/>			
	Total				

In addition, for hotels, residential institutions and hostels, please additionally indicate the loss or gain of rooms

Use class	Type of use	Not applicable	Existing rooms to be lost by change of use or demolition	Total rooms proposed (including changes of use)	Net additional rooms
C1	Hotels	<input type="checkbox"/>			
C2	Residential Institutions	<input type="checkbox"/>			
Other	Hostels	<input type="checkbox"/>			

20. Employment

Please complete the following information regarding employees:

	Full-time	Part-time	Total full-time equivalent	Not known
Existing employees				
Proposed employees				

21. Hours of Opening

Please state the hours of opening for each non-residential use proposed:

Use	Monday to Friday	Saturday	Sunday and Bank Holidays	Not known
			NYMNP	
			10 JUN 2009	

22. Site Area

Please state the site area in hectares (ha)

23. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

NYM / 2009 / 0377 / FL

Is the proposal a waste management development? Yes No

If the answer is Yes, Please complete the following table:

	Not applicable	The total capacity of the void in cubic metres, including engineering surcharge and making no allowance for cover or restoration material (or tonnes if solid waste or litres if liquid waste)	Please provide the maximum annual operational throughput of the following waste streams:
Inert landfill	<input type="checkbox"/>		
Non-hazardous landfill	<input type="checkbox"/>		
Hazardous landfill	<input type="checkbox"/>		
Energy from waste incineration	<input type="checkbox"/>		
Other incineration	<input type="checkbox"/>		
Landfill gas generation plant	<input type="checkbox"/>		
Pyrolysis/gasification	<input type="checkbox"/>		
Metal recycling site	<input type="checkbox"/>		
Transfer stations	<input type="checkbox"/>		
Material recovery/recycling facilities (MRFs)	<input type="checkbox"/>		
Household civic amenity sites	<input type="checkbox"/>		
Open windrow composting	<input type="checkbox"/>		
In-vessel composting	<input type="checkbox"/>		
Anaerobic digestion	<input type="checkbox"/>		
Any combined mechanical, biological and/or thermal treatment (MBT)	<input type="checkbox"/>		
Sewage treatment works	<input type="checkbox"/>		
Other treatment	<input type="checkbox"/>		
Recycling facilities construction, demolition and excavation waste	<input type="checkbox"/>		
Storage of waste	<input type="checkbox"/>		
Other waste management	<input type="checkbox"/>		
Other developments	<input type="checkbox"/>		

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Please provide the maximum annual operational throughput of the following waste streams:

Municipal	
Construction, demolition and excavation	
Commercial and industrial	
Hazardous	

If this is a landfill application you will need to provide further information before your application can be determined. Your waste planning authority should make clear what information it requires on its website.

24. Hazardous Substances

Does the proposal involve the use or storage of any of the following materials in the quantities stated below? Yes No Not applicable

If Yes, please provide the amount of each substance that is involved:

- | | | |
|---|--|---|
| Acrylonitrile (tonnes) <input type="text"/> | Ethylene oxide (tonnes) <input type="text"/> | Phosgene (tonnes) <input type="text"/> |
| Ammonia (tonnes) <input type="text"/> | Hydrogen cyanide (tonnes) <input type="text"/> | Sulphur dioxide (tonnes) <input type="text"/> |
| Bromine (tonnes) <input type="text"/> | Liquid oxygen (tonnes) <input type="text"/> | Flour (tonnes) <input type="text"/> |
| Chlorine (tonnes) <input type="text"/> | Liquid petroleum gas (tonnes) <input type="text"/> | Refined white sugar (tonnes) <input type="text"/> |

Other:

Other:

Amount (kilograms):

Amount (kilograms):

25. Certificates (continued)

CERTIFICATE OF OWNERSHIP - CERTIFICATE D
Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

The steps taken were:

NYM / 2009 / 0377 / FL

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

AGRICULTURAL HOLDINGS CERTIFICATE
Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of, an agricultural holding.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

08/06/09

B) I have/ The applicant has given the requisite notice to every person other than myself/ the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Name of Tenant	Address	Date Notice Served
<i>(Diagonal line through table)</i>		
NYMNPA		
10 JUN 2009		

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

26. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

- | | | | |
|--|-------------------------------------|---|-------------------------------------|
| 3 copies of a completed and dated application form: | <input checked="" type="checkbox"/> | The correct fee: | <input type="checkbox"/> N/A |
| 3 copies of the plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North: | <input checked="" type="checkbox"/> | 3 copies of a design and access statement: | <input checked="" type="checkbox"/> |
| 3 copies of other plans and drawings or information necessary to describe the subject of the application: | <input checked="" type="checkbox"/> | 3 copies of the completed, dated Article 7 Certificate (Agricultural Holdings): | <input checked="" type="checkbox"/> |
| | | 3 copies of the completed, dated Ownership Certificate (A, B, C, or D - as applicable): | <input checked="" type="checkbox"/> |

27. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

08/06/09 (date cannot be pre-application)

28. Applicant Contact Details

Telephone numbers

Country code:

National number:

Extension number:

Country code:

Mobile number (optional):

Country code:

Fax number (optional):

Email address (optional):

NYM / 2009 / 0 3 7 7 / F L

29. Agent Contact Details

Telephone numbers

Extension number:

Country code:

National number:

Country code:

Mobile number (optional):

Country code:

Fax number (optional):

Email address (optional):

30. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes

No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? *(Please select only one)*

Agent

Applicant

Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name:

Telephone number:

Email address:

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VALIDATION CHECKLIST

PLANNING PERMISSION

Other than Householder Applications



Please complete the attached checklist to indicate what you have included with your application. All plans should include paper size, key dimensions and scale.

STANDARD REQUIREMENTS:

(1 original and 3 copies to be supplied unless that application is submitted electronically)

- | | | |
|--|---|--|
| Completed application form | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Completed Certificate of Ownership, A, B, C or D as required by Article 7 of the Town and Country Planning (General Development Procedure) Order 1995 and by Regulation 6 of the Planning (Listed Building and Conservation Areas) regulations 1990. | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Agricultural Holdings Certificate as required by Article 7 of the Town and Country Planning (General Development Procedure) Order 1995 | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Location Plan at a scale of 1:2500 or 1:1250 with your application site edged red and any other land in your ownership edged in blue. | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Existing and proposed site layout plans at a scale of 1:100, 1:200 or 1:500 | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Existing and proposed elevations to a scale of 1:50 or 1:100 | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Existing and proposed floor plans to a scale of 1:50 or 1:100 | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Existing and proposed roof plans to a scale of 1:50 or 1:100 – if the proposal alters the existing roof | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Existing and proposed sections and finished floor levels at a scale of not less than 1:100 | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Design and Access Statement unless material change of use, engineering or mining works | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Application fee | YES <input type="checkbox"/> | NO <input checked="" type="checkbox"/> |
| Please consult our enclosed Schedule of Fees.
Cheques are to be made payable to NYMNPA | | |
| Manufacturers specification/leaflet, for proposals incorporating plant/machinery (swimming pools/wind turbines) | YES <input type="checkbox"/> | NO <input checked="" type="checkbox"/> |
| Please highlight the exact information within the leaflet that relates to the development proposal. Please also see the Authority's website for Planning Advice Note 3 – Renewable Energy
http://www.moors.uk.net/uploads/publication/6245.pdf | | |

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SOME OR ALL OF THE FOLLOWING INFORMATION MAY ALSO BE REQUIRED:

- | | | |
|---|---|---|
| Biodiversity Survey and Report (Nature Conservation and Ecological Assessment) | YES <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> |
| Flood Risk Assessments/ Sequential Test (flood zones) | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Tree Survey/Arboriculture Assessment | YES <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> |
| Environmental Impact Assessment | YES <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> |
| Foul Sewerage/surface water Assessment | YES <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> |
| Structural Survey | YES <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> |
| Statement of Agricultural Need | YES <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> |

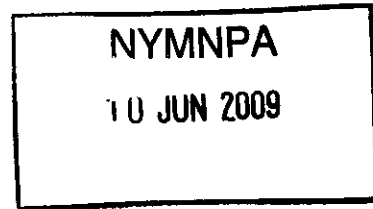
NYMNPA
10 JUN 2009



NYM / 2009 / 0 3 7 7 / F L

June 2009

Ref: 1211(09)



Design and Access Statement

Proposed Outbuildings/Garage at Lowdales Cottage - Revised Scheme

1 Design Statement

1.1 Lowdales Cottage is an isolated rural dwelling in Lowdales, Hackness, near Scarborough. The cottage is a Grade II listed building with the listed schedule as follows:-

"Cottage. Late C17 with mid C19 alterations. Coursed rubble and dressed stone with ashlar dressings. Pantile roof, with a brick ridge and a brick gable stack, and ashlar coped gables with kneelers. Quoins. Single storey plus attic. South front has off-centre 3-light glazing bar sliding sash, with to left a 2-light similar window and to right a single light window. Set back addition to left has a 2-light casement. Above 2 gable dormer windows with decorative barge boards. Single storey lean-to addition to east. North front has a plank door to left and a small fixed light addition to east has a 2-light sliding sash. West front has a further 2-light sliding sash with glazing bars. Interior. Has inglenook with salt cupboard, with match boarded dado. Central stairs and cupboards have monk and planton panelling. West room also has match boarded dado and simple stone fire surround with late C19 grate. C17 chamfered beams and window seats. Roof has central upper cruck-truss, and re-used rafters."

At some time in the past the west room timber dado and fire surround have been removed.

1.2 The property was altered and extended in 1993 - Approval ref: 021/0029A/LB, when the extension which now comprises the dining room, kitchen and bedroom 3 was constructed. Prior to this date there was a scatter of outbuildings on the site which were demolished - see the attached site plan 2 which pre-dates this clearance work.

1.3 (a) Approval ref: NYM/2007/0788/LB was granted in November 2007 for some minor, mainly internal, alterations to the listed cottage.

(b) Approval ref: NYM/2008/0913/FL was granted 6th April '09 & Listed Building Consent: NYM/2009/0135/LB granted 22nd April '09 for the construction of a garden room.

(c) Application ref: NYM/2007/0785/FL was refused Planning Approval on 21st Oct '08 and then, at appeal ref: APP/W9500/A/09/2094471 was subsequently partially approved on 11th May '09. The project was divided into two elements, one of which, the stables, was approved and the other, the garages and workshop was refused.

1.4 My clients decided to look again at the garage/workshop outbuildings in the light of the Planning Inspection report and we therefore submit this application as a follow up to the previous one, on this occasion for the garage /workshop building only, as the other elements of the original scheme have already been approved.

1.5 The new proposed garage and workshop has been revised as follows for the earlier application.

(a) Reduced in length – from the original 13.7m to 12.0m.

(b) Reduced in height from the original 3.2m to 2.3m to the eaves.

This substantially reduces its apparent size in relation to the existing house to become more subservient in appearance.

The building is sited in the area once occupied by the demolished outbuildings and it's positioned at least 3m away from and set back behind the line of the existing house to emphasise its secondary purpose.

1.6 The building will be used primarily for garaging with the adjoining workshop for multi-purpose use as a games/hobby room, workshop or as occasional guest accommodation. The additional covered storage is considered essential to get both vehicles a trailer and the large quantities of garden equipment under cover

1.7 The materials to be used in the proposed new garage outbuilding will be natural clay pantiles, coursed rubble stonework with ashlar dressings and traditional stonework details, with painted doors and door and window frames all materials and construction will echo the existing detailing. The openings on the front and new elevations will have windows behind traditional "stable door" shutters.

1.8 All the mature planting, trees and hedging around and within the site will be totally unaffected by the proposed new works.

1.9 National Park Planning Policies which have been considered in the design of the proposals are:-

H8 - to ensure that extensions to dwellings do not detract from their character and appearance;

BE1 - preserving and enhancing the character and appearance of the area;

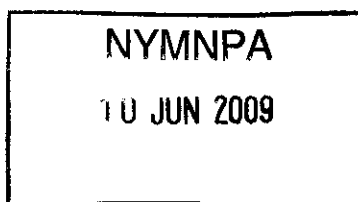
BE6 and GD3 - to seek to ensure that building materials are of a high quality and compatible with the character of the locality and that the special qualities of the National Park are safeguarded.

2 Access Statement

2.1 There are no intended alterations to the vehicle or pedestrian accesses to the property.

2.2 Access to and circulation within the actual buildings will be covered by Part M of the Building Regulations.

ALAN CAMPBELL





NYM / 2009 / 0377 / FL

Ref: 1211(09)

9 June 2009

North York Moors National Parks
The Old Vicarage
Bondgate
Helmsley
YORK
YO62 5BP

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10 JUN 2009

Proposed Alterations and Additional Outbuildings at Lowdales Cottage, Hackness, Scarborough.

Flood Risk Assessment

- 1 The house known as Lowdales Cottage lies in what is described by the Environment Agency as an area of Low Flood Risk.

Information from the Environment Agency:

Lowdales Cottage, Hackness, Scarborough, YO13 0JU

The location you have selected is in an area which fell outside the extent of the extreme flood, at the time of our assessment of the likelihood of flooding. Generally this means that the chance of flooding each year from rivers or the sea is 0.1% (1 in 1000) or less. The Flood Map shows our current best information on the extent of the extreme flood from rivers or the sea that would occur without the presence of flood defences.

- see attached Environment Agency Map.

- 2 There is a significantly higher flood risk below the confluence of the two becks below Lowdales Farm but no evidence of any flooding at Lowdales Cottage which is 150 metres upstream.
- 3 Because of the land fall the floor levels of the additional outbuildings will be level with or above the existing floor levels so no additional flood protection should be necessary.



Environment Agency

You are in: Maps > Flood Map

I'm looking for...

Maps

- Maps
- How to use the flood map
- What to do in a flood
- Current flood warnings
- Flood risk and home insurance
- Your questions answered

Interactive Map :

Click on Learn more, then click the symbol or area on the map to see more information.

Click on the map to ...

Zoom Learn more

Now click on the area of the flood extent you are interested in.

What's on the map?

1. Tick the boxes.
2. Click the name next to the box to find out more.

Flood maps more

Flood maps more
Click Learn more to see details

Flooding from rivers or sea without defences

Extent of extreme flood

Flood defences

Areas benefiting from flood defences

Click here to find out what else is in your backyard.

Search for another location:

Search for:

Placename

Postcode

Search

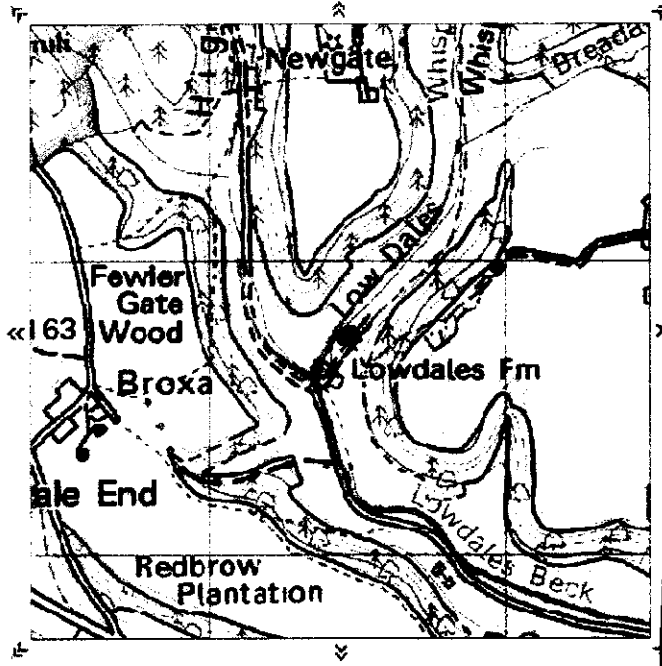
Overview map :



See also...

New development

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Proposed Alterations and Additional Outbuildings
to Lowdales Cottage, Hackness
For: A & S Walker

NYM / 2009 / 0377 / FL



View From Entrance

scale n.t.s.
date - August '08
ref. 1211/35C

NYMNPA
10 JUN 2009

rev A - minor revisions 10-09-08
Rev B - layout revised 30-05-09
Rev - C - garage size reduced 08-06-09

Alan Campbell Chartered Architect
Cliff Bridge Studio, 7 Cliff Bridge Terrace
Scarborough, North Yorkshire, YO11 2HA
Tel. [redacted] Fax [redacted]
email [redacted]

Proposed Alterations and Additional Outbuildings
to Lowdales Cottage, Hackness
For: A & S Walker

NYM / 2009 / 0377 / FL



NYM NPA
10 JUN 2009

scale n.t.s.
date - August '08
ref. 1211/37C

Aerial View From South West

rev A - minor revisions 10-09-08
Rev B - layout revised 30-05-09
Rev - C - garage size reduced 08-06-09

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