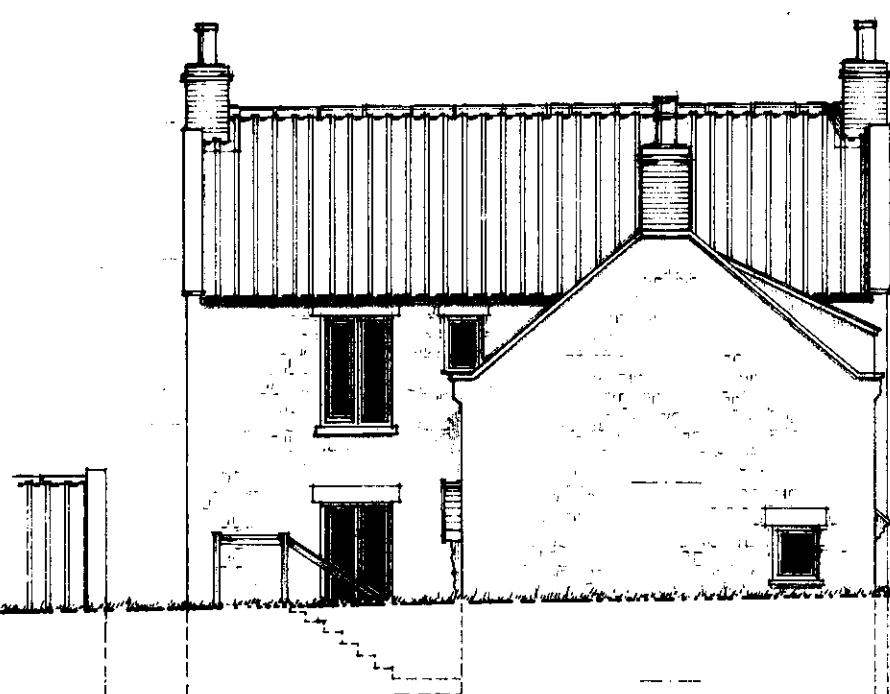


NORTH ELEVATION.



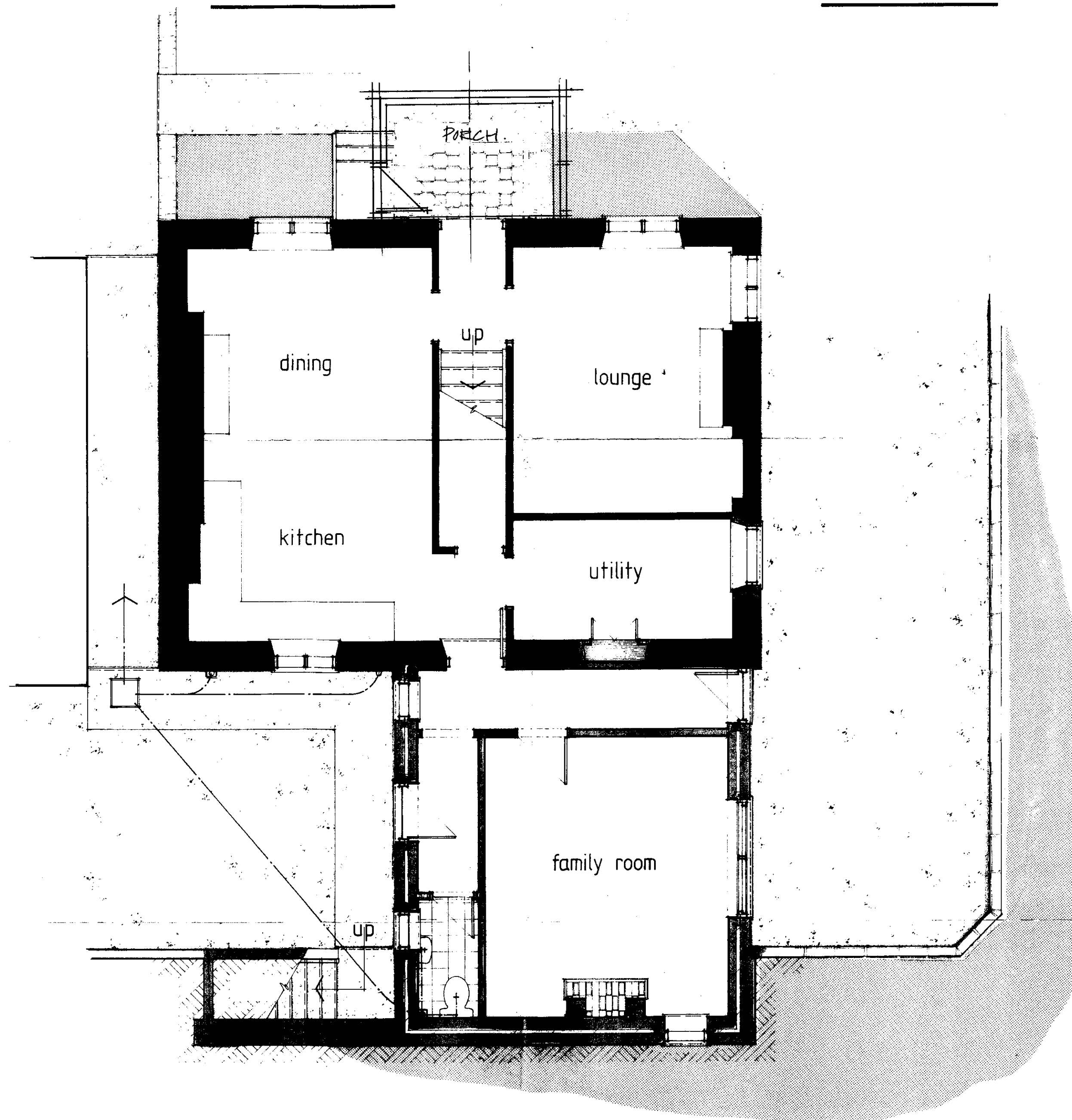
WEST ELEVATION.



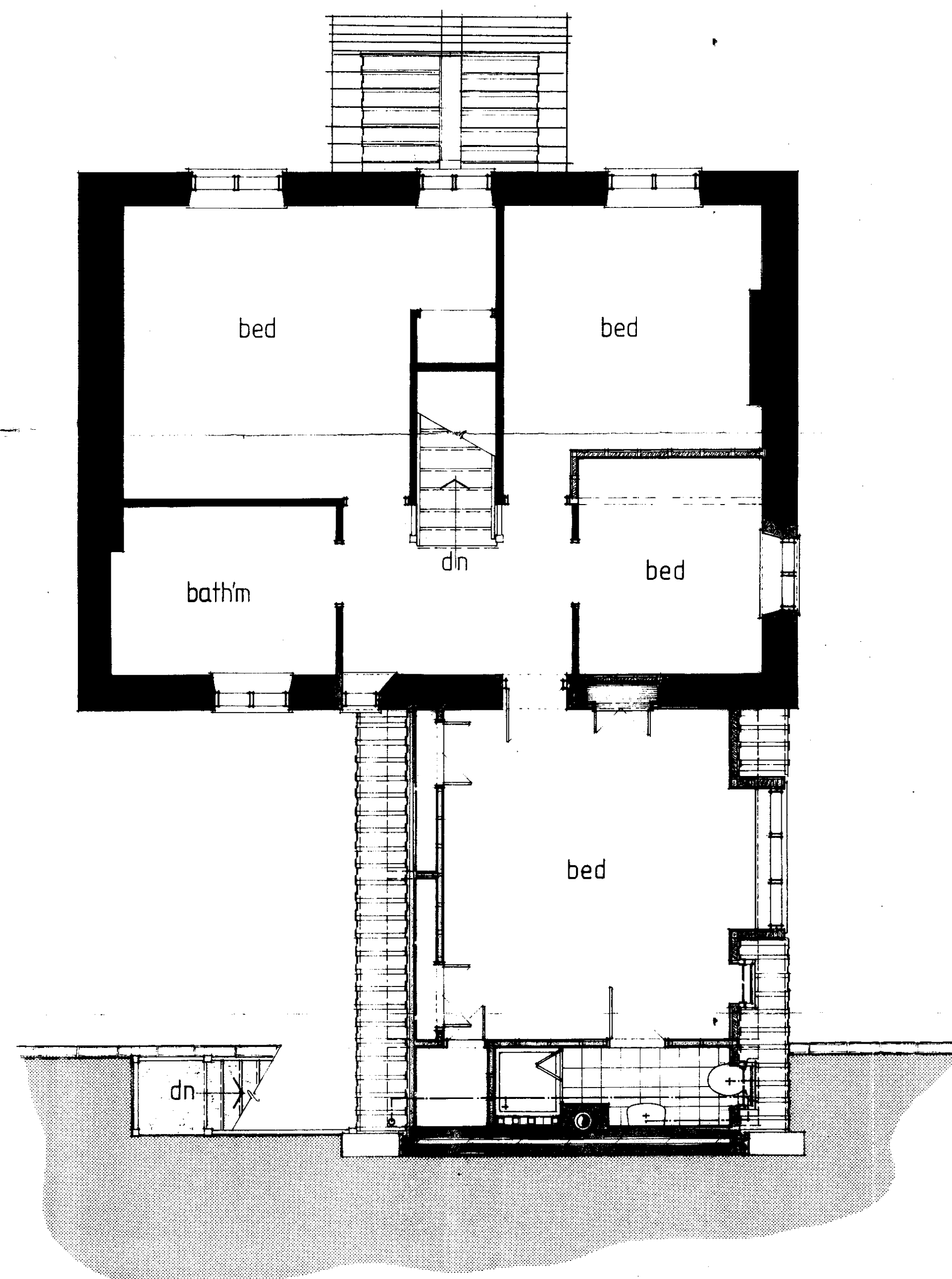
SOUTH ELEVATION.



EAST ELEVATION.



GROUND FLOOR PLAN.



FIRST FLOOR PLAN.

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17 JUN 2009

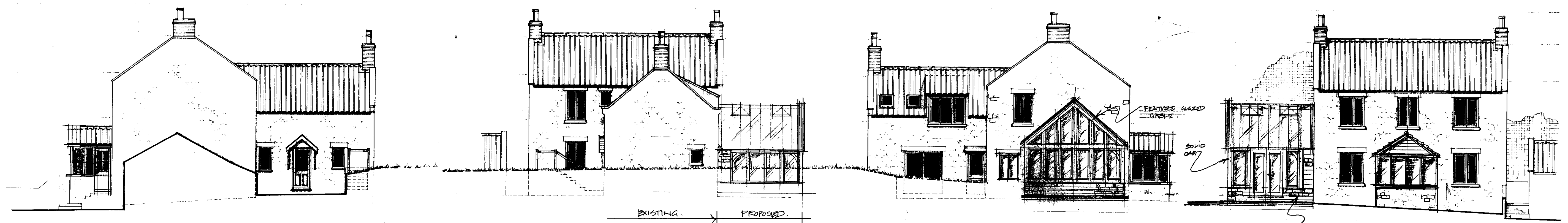
PLANS AND ELEVATIONS AS EXISTING.

FANTAILS FARM, RAW, ROBIN HOODS BAY,
FOR MR. P. & MRS. S. RAWSON.

Riverside Design Group

28 Bagdale Whitby North Yorkshire YO21 1QL Telephone [REDACTED]

DATE	SCALE	DRAWN	DRG No
18.6.09	1:50 @ 100	[REDACTED]	100/04/2009.

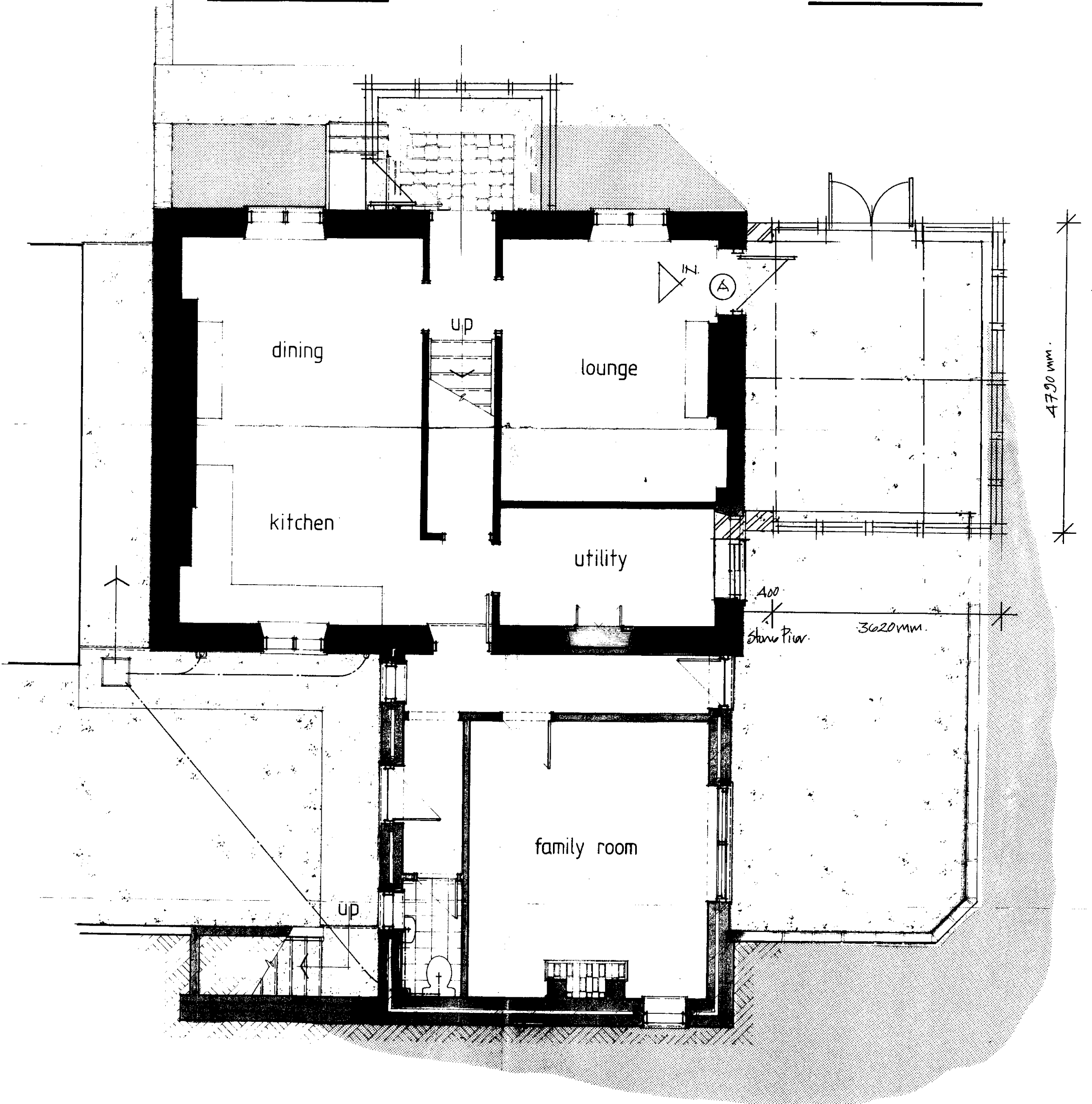


NORTH ELEVATION.

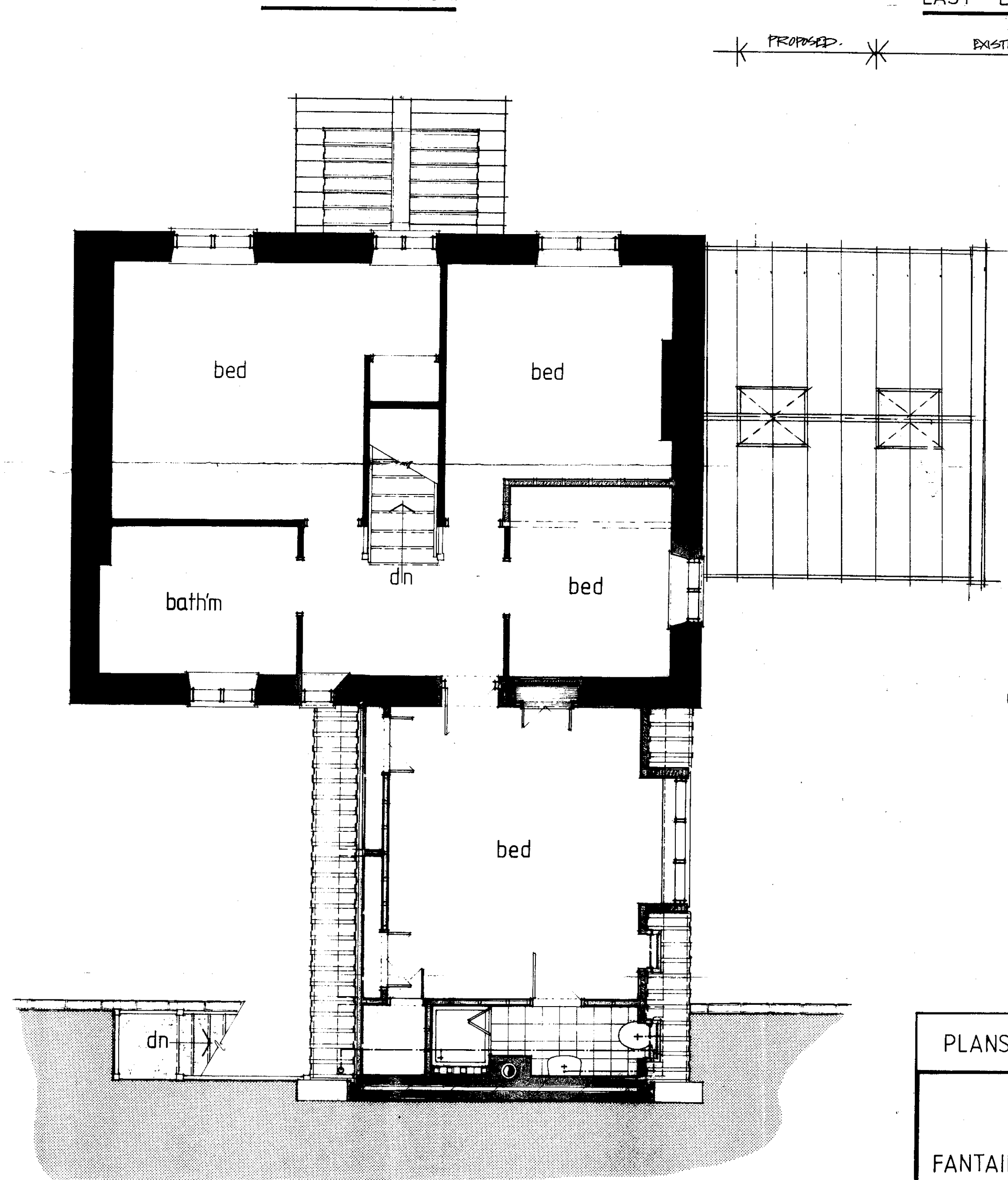
WEST ELEVATION.

SOUTH ELEVATION.

EAST ELEVATION.



GROUND FLOOR PLAN.

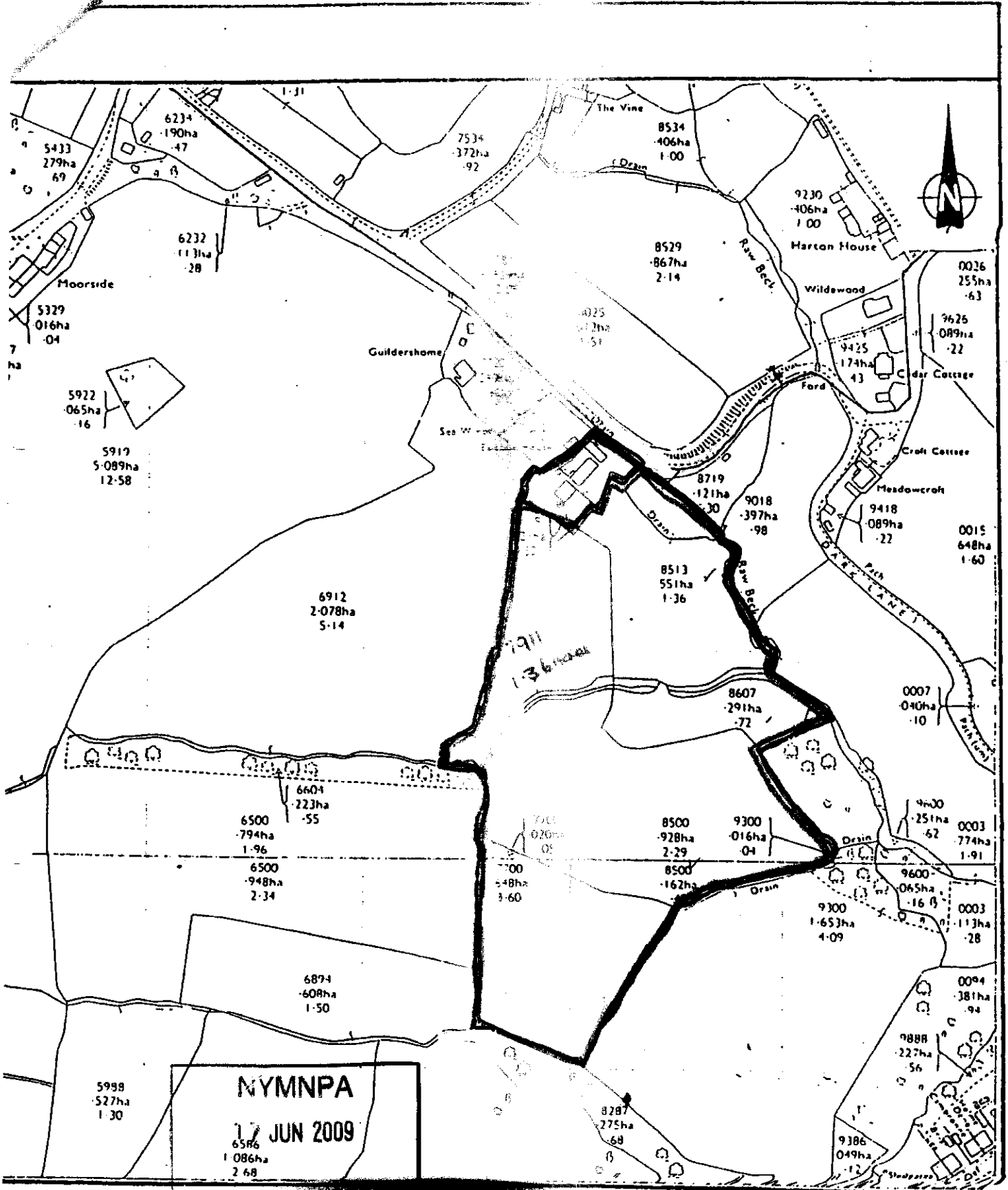


FIRST FLOOR PLAN.

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17 JUN 2009

PLANS AND ELEVATIONS AS PROPOSED.
CONSERVATORY.
PROPOSED EXTENSION TO
FANTAILS FARM, RAW, ROBIN HOODS BAY,
FOR MR. P. & MRS. S. RAWSON.

Riverside Design Group
28 Bagdale Whitby North Yorkshire YO21 1QL Telephone [REDACTED]
DATE: 18.1.09 SCALE: 1:50 DRAWN: [REDACTED] DRG No: 100/015/2009.

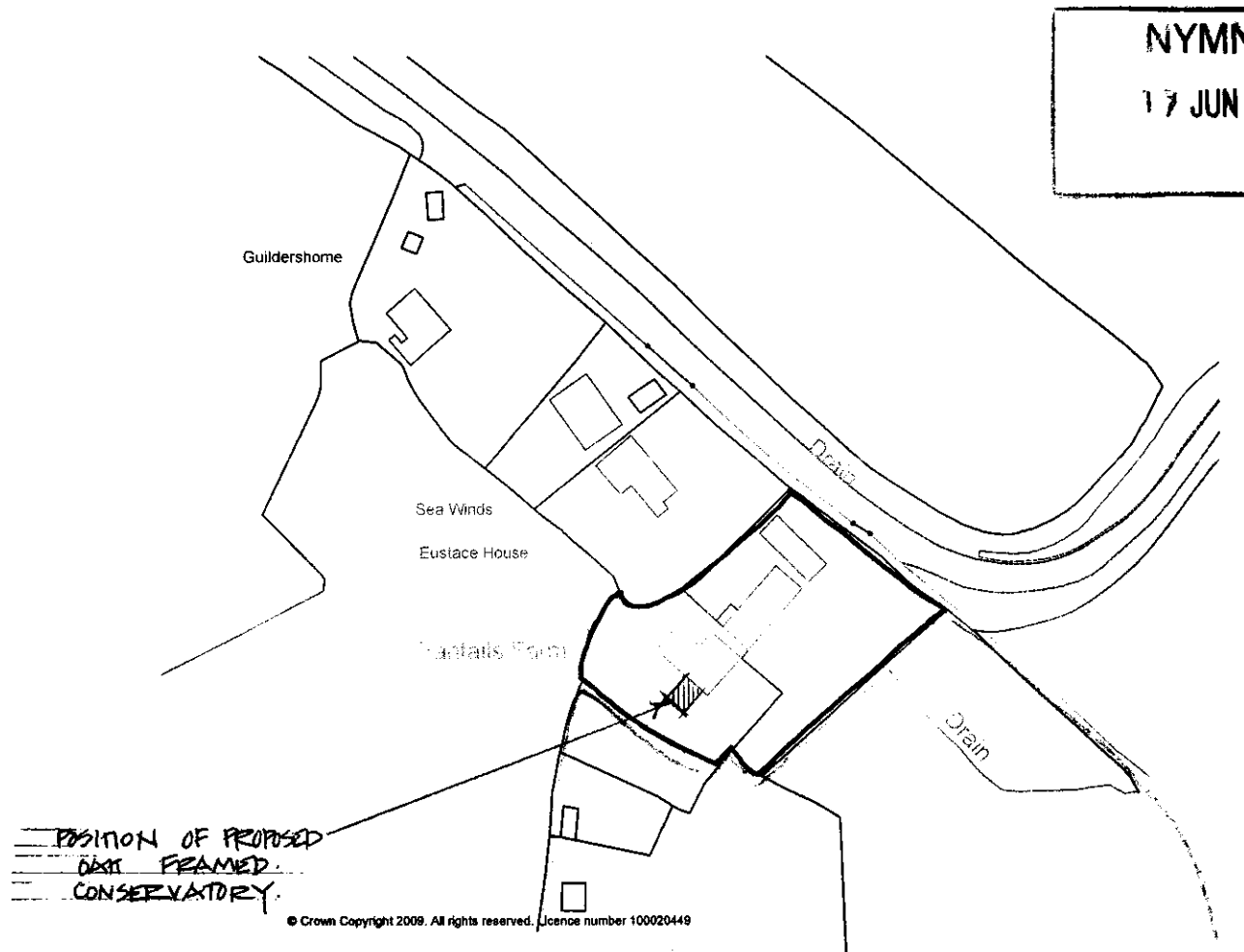


LOCATION

SCALE: 1:2500

RAWSON, FANTAIL Y022 & PP

NYM ' 2009 / 0 3 9 2 / FL i



POSITION OF PROPOSED OAK FRAMED CONSERVATORY.

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17 JUN 2009

IF IN DOUBT - ASK!

NOTES:
DO NOT SCALE FROM DRAWINGS EXCEPT FOR PLANNING PURPOSES
DUE TO OAK'S NATURAL IRON CONTENT, AN INITIAL STAINING WILL OCCUR TO STADDESTONES, BRICKWORK AND OVERSITE. THIS WILL DISAPPEAR NATURALLY IN TIME.

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WEATHERBOARD
RAFTERS :
STUDWORK :
WIDTH :
DEPTH :
EAVES HEIGHT :
ROOF PITCH :
CATSLIDE :
OUTSHOT :

- KEY :**
- TIE BRACE.
 - SMALL TIE BRACE
 - KNEE BRACE
 - STUD BRACE / STUDWORK.
 - SOLEPLATE
 - POSTS ON STADDESTONES.
 - POSTS ON SLAB.
 - POSTS ON SOLEPLATE.
 - POSTS ON BRICKWORK

CLIENT Mr & Mrs Rawson
JOB No :
DRAWING No
SCALE :1:1250
DATE :
DRAWN BY :

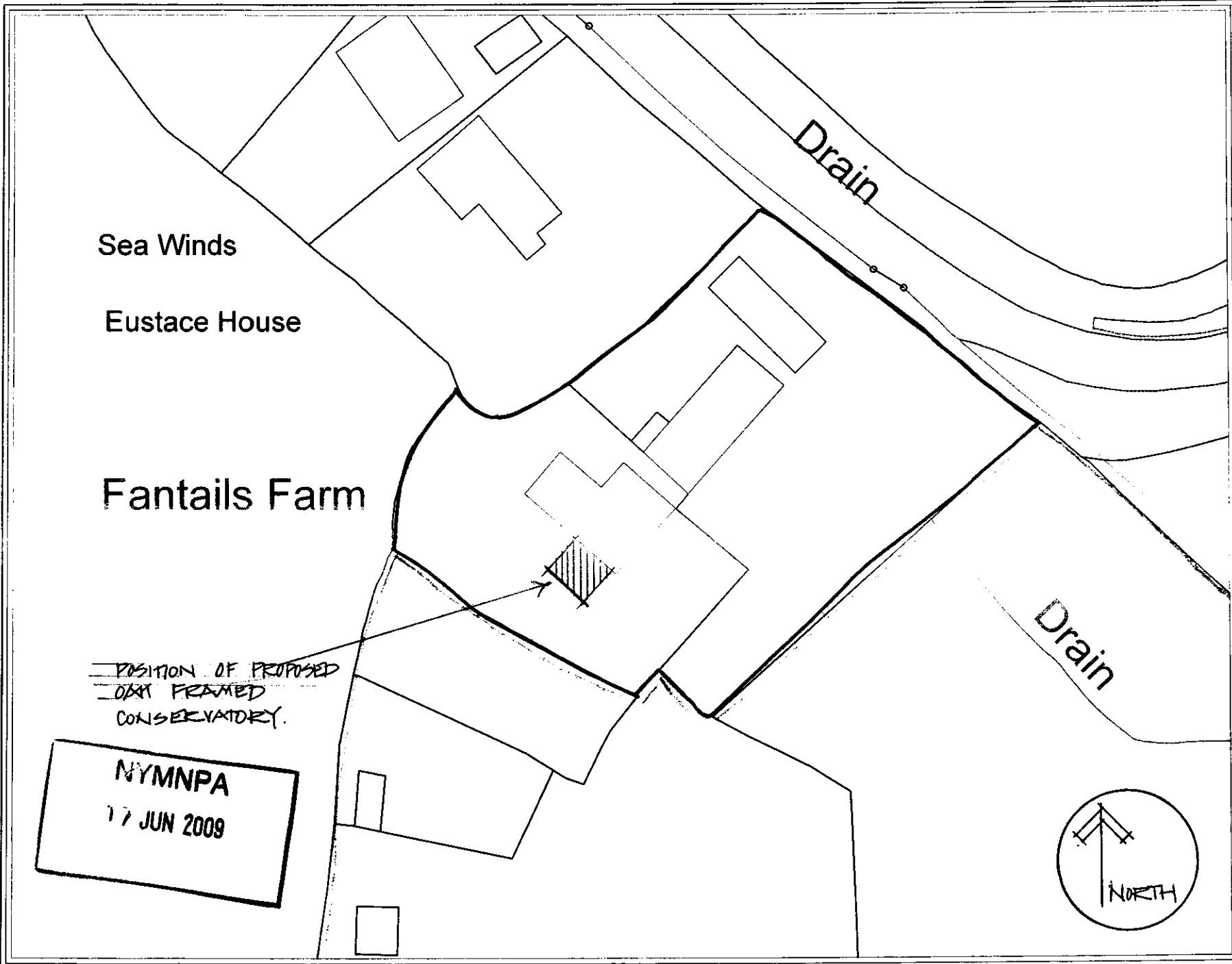


Prime Oak Buildings Ltd.

Whitehouse Farm
Whitehouse Lane
Swindon
South Staffordshire
DY3 4PE

Tel: [REDACTED]
Fax: [REDACTED]

www.primeoak.co.uk



Sea Winds

Eustace House

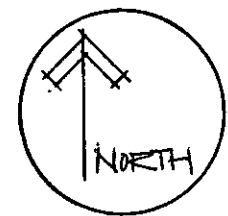
Fantails Farm

Drain

Drain

POSITION OF PROPOSED
OAK FRAMED
CONSERVATORY.

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IF IN DOUBT - ASK!

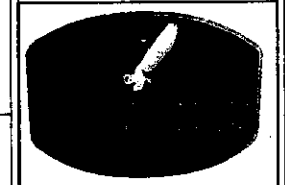
NOTES:
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WEATHERBOARD:
RAFTERS:
STUDWORK:
WIDTH:
DEPTH:
EAVES HEIGHT:
ROOF PITCH:
CATSLIDE:
OUTSHOT:

- KEY:**
- TIE BRACE
 - SMALL TIE BRACE
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 - STUD BRACE / STUDWORK
 - SOLEPLATE
 - POSTS ON STADDESTONES
 - POSTS ON SLAB
 - POSTS ON SOLEPLATE
 - POSTS ON BRICKWORK

CLIENT: Mr & Mrs Rawson
JOB No.:
DRAWING No.:
SCALE: 1:500
DATE:
DRAWN BY:



Prime Oak Buildings Ltd.
Whitehouse Farm
Whitehouse Lane
Swindon
South Staffordshire
DY3 4PE
Tel: [REDACTED]
Fax: [REDACTED]
www.primeoak.co.uk

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North York Moors National Park Authority
 The Old V. Carriage
 Bondgate
 Helmsley
 York
 YO62 5BP
 Telephone: 01439 770557
 Email: do@northyorkmoors.nps.gov.uk
 Website: www.moors.nk.net

09/392
 PFI

Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

1. Applicant Name and Address	2. Agent Name and Address
Title: <input type="text" value="MR"/> First name: <input type="text"/> Last name: <input type="text" value="RAWSON"/> Company (optional): <input type="text"/> Unit: <input type="text"/> House number: <input type="text"/> House suffix: <input type="text"/> House name: <input type="text" value="FANTAILS FARM"/> Address 1: <input type="text"/> Address 2: <input type="text"/> Address 3: <input type="text" value="RAW"/> Town: <input type="text" value="WHITBY"/> County: <input type="text" value="NORTH YORKSHIRE"/> Country: <input type="text" value="UK"/> Postcode: <input type="text" value="YO22 4PP"/>	Title: <input type="text" value="MR."/> First name: <input type="text" value="STEPHEN"/> Last name: <input type="text" value="APPLEBY"/> Company (optional): <input type="text" value="PRIME OAK BUILDINGS LTD"/> Unit: <input type="text"/> House number: <input type="text"/> House suffix: <input type="text"/> House name: <input type="text" value="WHITEHOUSE FARM"/> Address 1: <input type="text" value="WHITEHOUSE LANE"/> Address 2: <input type="text"/> Address 3: <input type="text"/> Town: <input type="text" value="SWINDON"/> County: <input type="text" value="SOUTH STAFFORDSHIRE"/> Country: <input type="text" value="UK"/> Postcode: <input type="text" value="DY3 4PE"/>

3. Description of Proposed Works

Please describe the proposed works:

PROPOSED ERECTION OF OAK FRAMED CONSERVATORY
 TO SIT ON DWARF LOCAL STONE WALL.

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3. Description of Proposed Works (continued)

Has the work already been started without planning permission? Yes No
 If Yes, please state when the works were started (DD/MM/YYYY): (date must be pre-application submission)
 Has the work already been completed without planning permission? Yes No
 If Yes, please state when the works were completed (DD/MM/YYYY): (date must be pre-application submission)

4. Site Address Details

Please provide the full postal address of the application site.

Unit: House number: House suffix:

House name: **FANTAILS FARM**

Address 1:

Address 2:

Address 3: **RAW**

Town: **WHITBY**

County: **NORTH YORKSHIRE,**

Postcode (optional): **YO22 4PP**

5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No
 Is a new or altered pedestrian access proposed to or from the public highway? Yes No
 Do the proposals require any diversions, extinguishments and/or creation of public rights of way? Yes No
 If Yes to any questions, please show details on your plans or drawings and state the reference number(s) of the plan(s)/drawing(s):

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No
 If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).
 Please tick if the full contact details are not known, and then complete as much possible:
 Officer name: **HILARY SANDERS-**
 Reference:
 Date (DD MM YYYY): **10/05/2009**
 (must be pre-application submission)
 Advice given:
SUBMIT AN APPLICATION FOR PROPOSAL FOR CONSIDERATION.

7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your boundary? Yes No
 If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

 Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No
 If Yes, please show on your plans, indicating the scale, which trees by giving them numbers e.g. T1, T2 etc. and state the reference number of any plans or drawings:

8. Parking

Will the proposed works affect existing car parking arrangements? Yes No
 If Yes, please describe:

9. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the Council? Yes No
 If Yes, please provide details:

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10. Materials

If applicable, please state what materials are to be used externally. Include type, colour and name for each material:

	Existing (where applicable)	Proposed	Not applicable	Don't Know	Drawing references if applicable
Walls		local stone.	<input type="checkbox"/>	<input type="checkbox"/>	
Roof		Double glazed tongue and groove.	<input type="checkbox"/>	<input type="checkbox"/>	
Windows		oak.	<input type="checkbox"/>	<input type="checkbox"/>	
Doors		oak.	<input type="checkbox"/>	<input type="checkbox"/>	
Boundary treatments (e.g. fences, walls)			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Vehicle access and hard-standing			<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Lighting		uplighters.	<input type="checkbox"/>	<input type="checkbox"/>	
Others (please specify)			<input type="checkbox"/>	<input type="checkbox"/>	

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement? Yes No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

EXISTING PLANS/ ELEVATIONS. GLAZING SPEC SHEET,
 PROPOSED PLANS/ ELEVATIONS. GLAZING DETAIL SHEET.
 DESIGN & ACCESS STATEMENT. - PRODUCT - BROCHURE -

Form: 2007/05/11 09:53:50 5 18 Revision: 1.43 5

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 17 JUN 2009

11. Certificates (continued)

CERTIFICATE OF OWNERSHIP - CERTIFICATE D

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

The steps taken were:

[Empty box for steps taken]

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

[Empty boxes for newspaper name and date]

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

[Empty signature and date boxes]

AGRICULTURAL HOLDINGS CERTIFICATE

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of, an agricultural holding

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

[Signature box] [Redacted agent box] [Date: 12/06/2009]

B) I have/ The applicant has given the requisite notice to every person who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Name of Tenant	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

[Empty signature and date boxes]

12. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

- 3 copies of a completed and dated application form:
- 3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North:
- 3 copies of other plans and drawings or information necessary to describe the subject of the application:
- 3 copies of a design and access statement where proposed works fall within one of the following designated areas:
 - National Park
 - Site of special scientific interest
 - Conservation area
 - Area of outstanding natural beauty
 - World Heritage Site
 - The Broads
- The correct fee:
- 3 copies of the completed, dated Article 7 Certificate (Agricultural Holdings):
- 3 copies of the completed, dated Ownership Certificate (A, B, C or D - as applicable):

13. Declaration

I/we hereby apply for planning permission/consent as described in the form and the accompanying plans/drawings and additional information.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

[Signature box] [Redacted agent box] [Date: 12/06/2009] (date cannot be pre-application)

3 Date: 2007/05/11 09:55:50 \$ \$ Revision: 1.43 \$

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14. Applicant Contact Details

Telephone numbers

Country code:	National number:	Extension number:
<input type="text"/>	<input type="text"/>	<input type="text"/>
Country code:	Mobile number (optional):	
<input type="text"/>	<input type="text"/>	
Country code:	Fax number (optional):	
<input type="text"/>	<input type="text"/>	

Email address (optional):

15. Agent Contact Details

Telephone numbers

Country code:	National number:	Extension number:
<input type="text"/>	<input type="text"/>	<input type="text"/>
Country code:	Mobile number (optional):	
<input type="text"/>	<input type="text"/>	
Country code:	Fax number (optional):	
<input type="text"/>	<input type="text"/>	

Email address (optional):

16. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one) Agent Applicant Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name: Telephone number:

Email address:

12. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted. The correct fee: The original and 3 copies of the following documents:

The completed and dated application form <input checked="" type="checkbox"/>	The completed, dated Article 7 Certificate (Agricultural Holdings) <input checked="" type="checkbox"/>	A design and access statement where proposed works fall within one of the following designated areas: <input checked="" type="checkbox"/>
A plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of north <input checked="" type="checkbox"/>	The completed, dated Ownership Certificate (A, B, C or D - as applicable) <input checked="" type="checkbox"/>	<ul style="list-style-type: none"> • National Park • Site of special scientific interest • Conservation area • Area of outstanding natural beauty • World Heritage Site • The Broads
Other plans and drawings or information necessary to describe the subject of the application <input checked="" type="checkbox"/>		

NYMNPA
17 JUN 2009

VALIDATION CHECKLIST

HOUSEHOLDER APPLICATIONS
for extensions, detached outbuildings
and
other alterations to existing dwellings



Please complete the attached checklist to indicate what you have included with your application. All plans should include paper size, key dimensions and scale.

STANDARD REQUIREMENTS:

(1 original and 3 copies to be supplied unless the application is submitted electronically)

- | | | |
|--|---|---|
| Completed application form | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Completed Certificate of Ownership , A, B, C or D as required by Article 7 of the Town and Country Planning (General Development Procedure) Order 1995. | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Agricultural Holdings Certificate as required by Article 7 of the Town and Country Planning (General Development Procedure) Order 1995 | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Location Plan at a scale of 1:2500 or 1:1250 with your application site edged red and any other land in your ownership edged in blue. | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Existing site layout plans at a scale of 1:500, 1:200 or 1:100 showing the site in relation to existing buildings and site boundaries. The plan should indicate where existing features of the site are located including existing buildings (indicating proposed demolitions), trees (identifying any proposed felling), means of access and type of enclosure (wall, fence, hedges) and shall show adjacent properties/buildings. | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Proposed site layout plans at a scale of 1:500, 1:200 or 1:100 | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Existing and proposed elevations to a scale of 1:50 or 1:100
Requirements dependent on position of extension eg. no front elevation required for rear extension etc. | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Existing and proposed floor plans to a scale of 1:50 or 1:100 For each floor ie, ground and first floor plans required for two storey extension | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Roof Plans to a scale of 1:50 or 1:100
If proposed development alters the existing roof | YES <input checked="" type="checkbox"/> | N/A <input checked="" type="checkbox"/> |
| Existing and proposed site sections and finished floor level and site levels to a scale of 1:50 or 1:100 | YES <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> |
| Design and Access Statement | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Manufacturers specification/leaflet , for proposals incorporating plant/machinery (swimming pools/wind turbines) | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Application fee
Please consult our enclosed Schedule of Fees
Cheques are to be made payable to NYMNPA | YES <input checked="" type="checkbox"/> | NO <input type="checkbox"/> |

<p>NYMNPA</p> <p>17 JUN 2009</p>

ADDITIONAL REQUIREMENTS (where likely to be relevant to the development proposed)

Biodiversity Survey and Report

YES

N/A

Flood Risk Assessments/ Sequential Test (flood zones)

YES

N/A

Tree Survey/Arboriculture Assessment

YES

N/A

Where ground based works within 2 metres of the crown spreads of any trees covered by Tree Preservation Order or tree located in a village Conservation Area

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17 JUN 2009

Date; 15th/June/2009

Design & Access Statement;

Site: Fantails Farm,Raw,Whitby,North Yorkshire, Y022 4PP.

Proposed use.

The proposed building is to provide a Oak framed Conservatory. My clients wish to use the additional area as a General Entertainment/Dining Area.

Amount.

The Building measures 4.790m wide x 4.020m deep, It is considered a suitable size for the plot and has a clear glass roof With a feature glazed front Gable.

Layout.

The structure is attached to the existing property and access is via the Lounge, through an existing window position that is being revised into a doorway position.

Scale.

Considered to be in proportion with the main property and surrounding structures.

Landscaping.

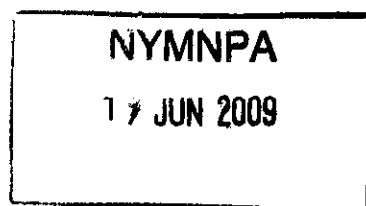
Additional landscaping will take place to blend in with the location.

Appearance.

The materials proposed have been selected for their compatibility with The main house using re-claimed plain clay tiles, timber in solid Oak , stain to be agreed, on a local stone plinth of 450mm high.The Oak will 'silver off' given time and blend in well with the stonework of the main Farmhouse.

Access.

Access is via an existing entrance from the lane, it is an established access point, Emergency vehicles would access the structure via the courtyard at the front of the property.





Detail D

Dry Glazing Tape

Beading

Exitex Clear

'U9' Silicon

Drip Moulding

20mm

50mm

140mm

NYMNPA
17 JUN 2009

Prime Oak
Buildings Limited

Whitehouse Farm
Whitehouse Lane
Swindon
South Staffordshire, DY3 4PE



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Direct Glazing