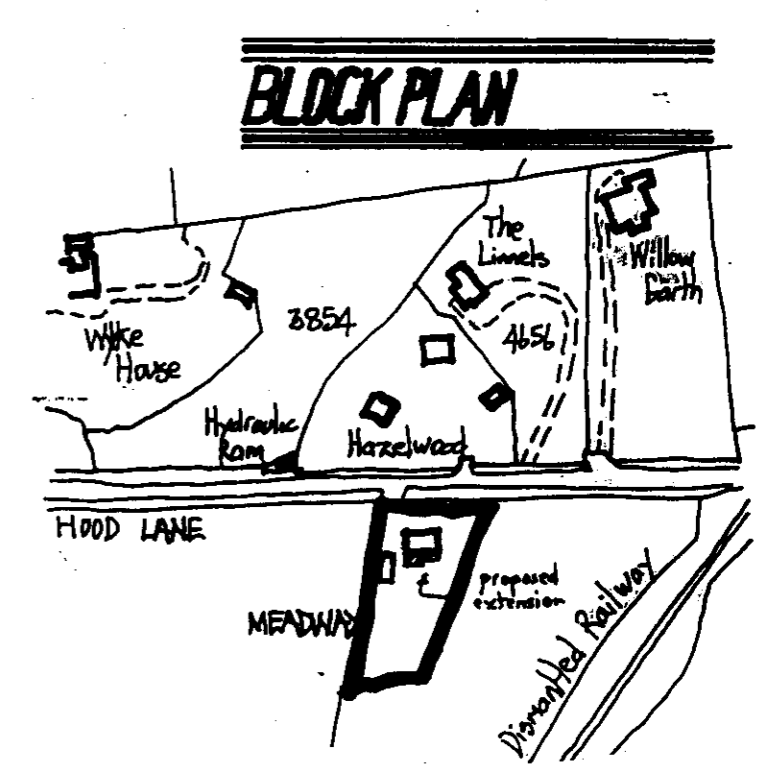
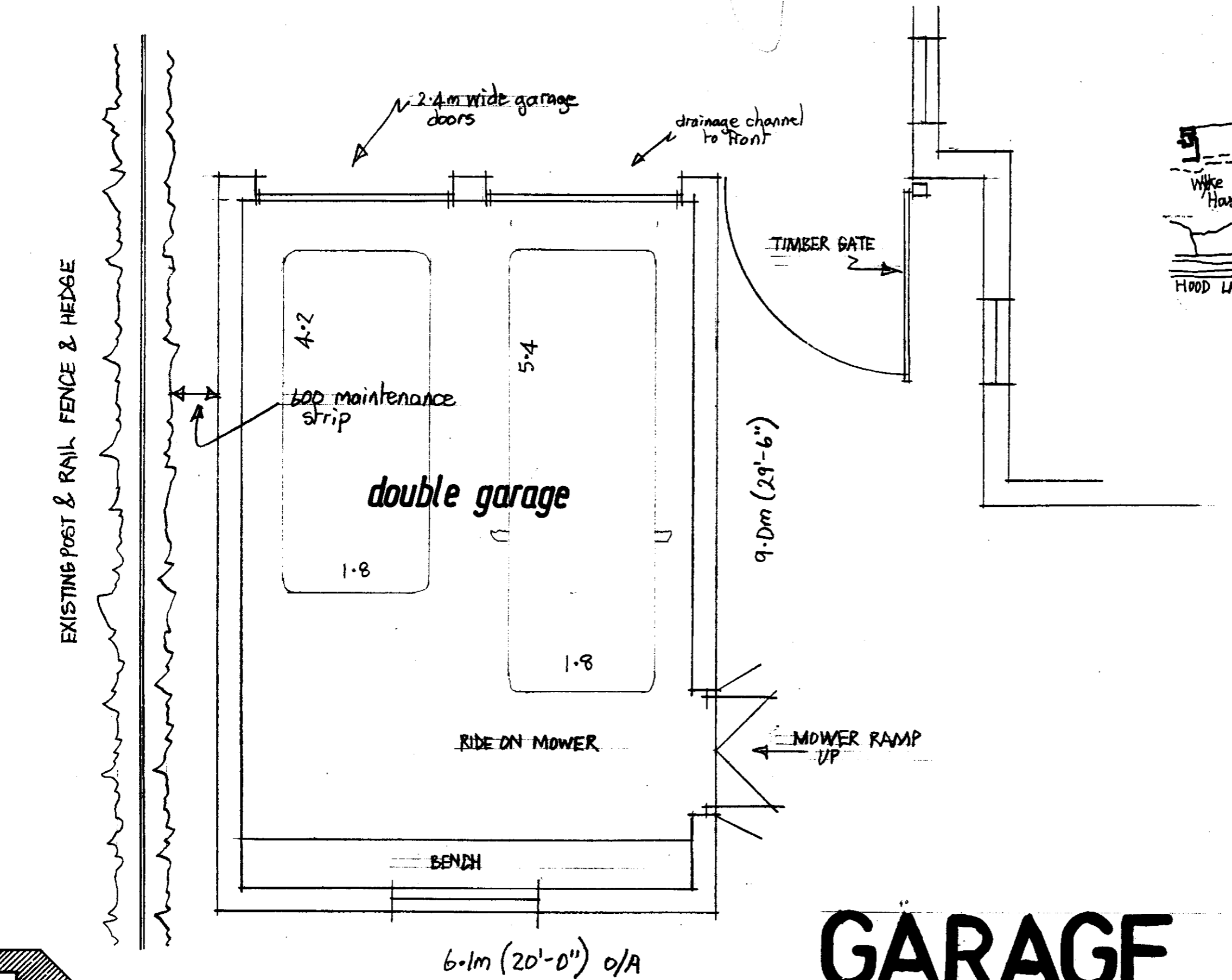
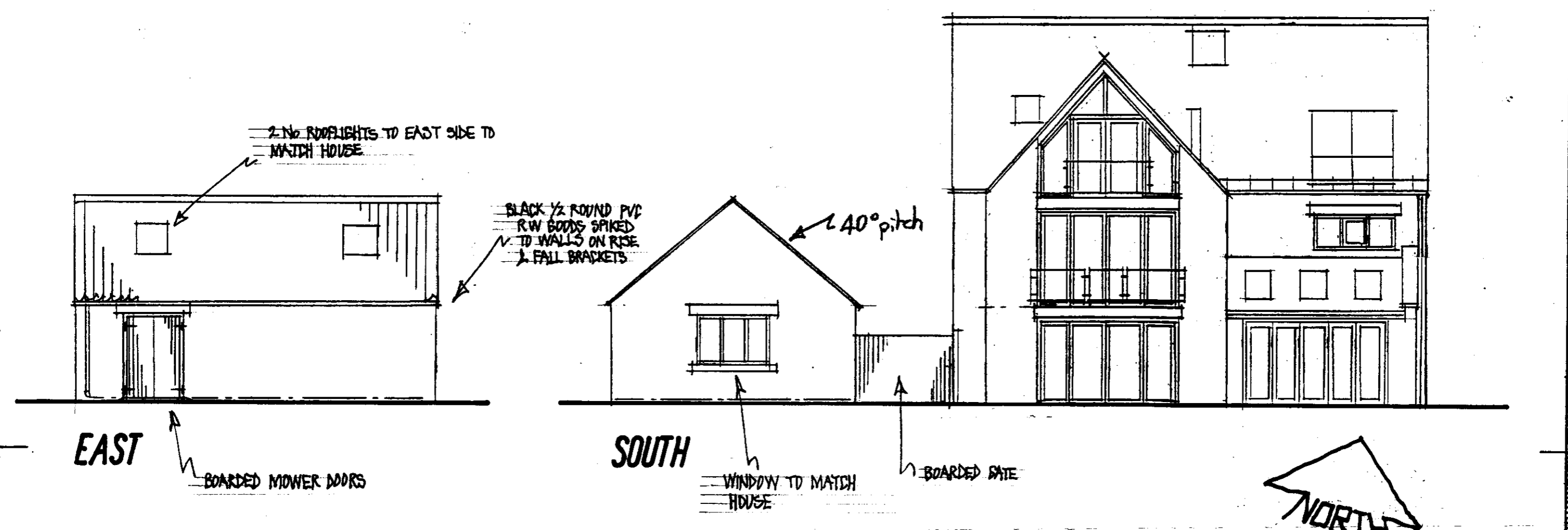
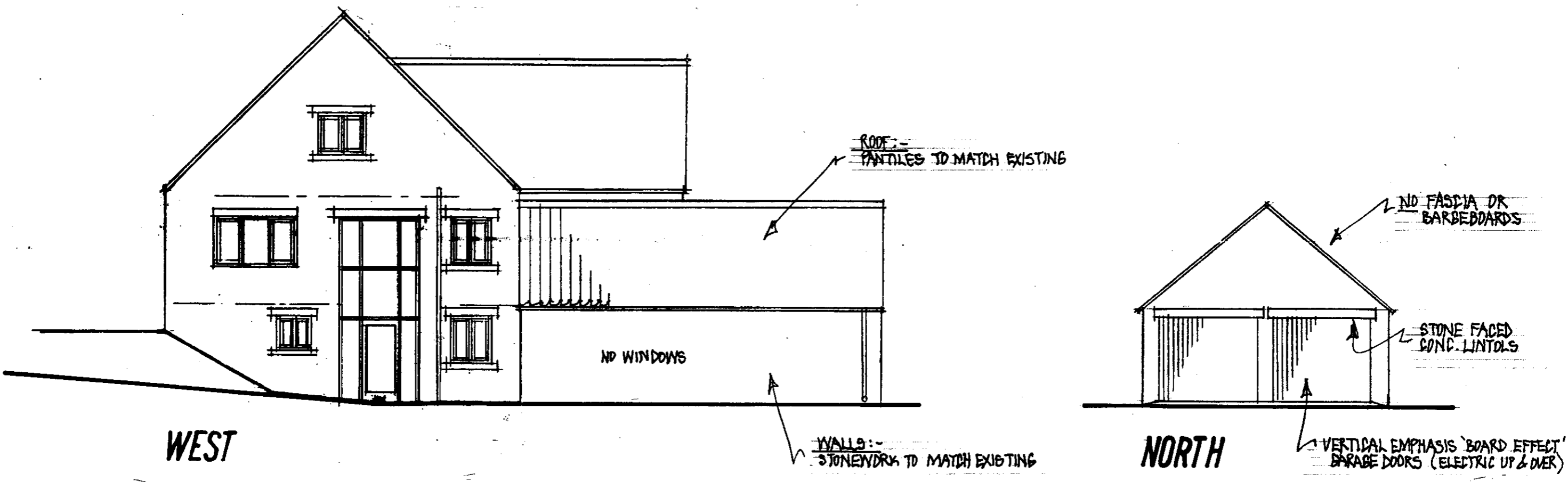


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NOTES

SCALE:
DO NOT TRY TO SCALE ACCURATELY FROM THESE DRAWINGS.

CHECKING:
ALL DIMENSIONS MUST BE CHECKED AND MEASURED ACCURATELY ON SITE PRIOR TO ORDERING ANY MATERIALS, FITTINGS, COMPONENTS, PARTS, ETC.

DISCREPANCIES:
ANY DISCREPANCIES IN THE DRAWINGS, SPECIFICATION OR WORKS MUST BE IMMEDIATELY BROUGHT TO THE CLIENTS / ARCHITECTS NOTICE.

MATERIALS AND WORKMANSHIP:
ALL WORK TO BE CARRIED OUT WITH PROPER MATERIALS AND IN A NEAT AND WORKMANLIKE MANNER.

REVISIONS

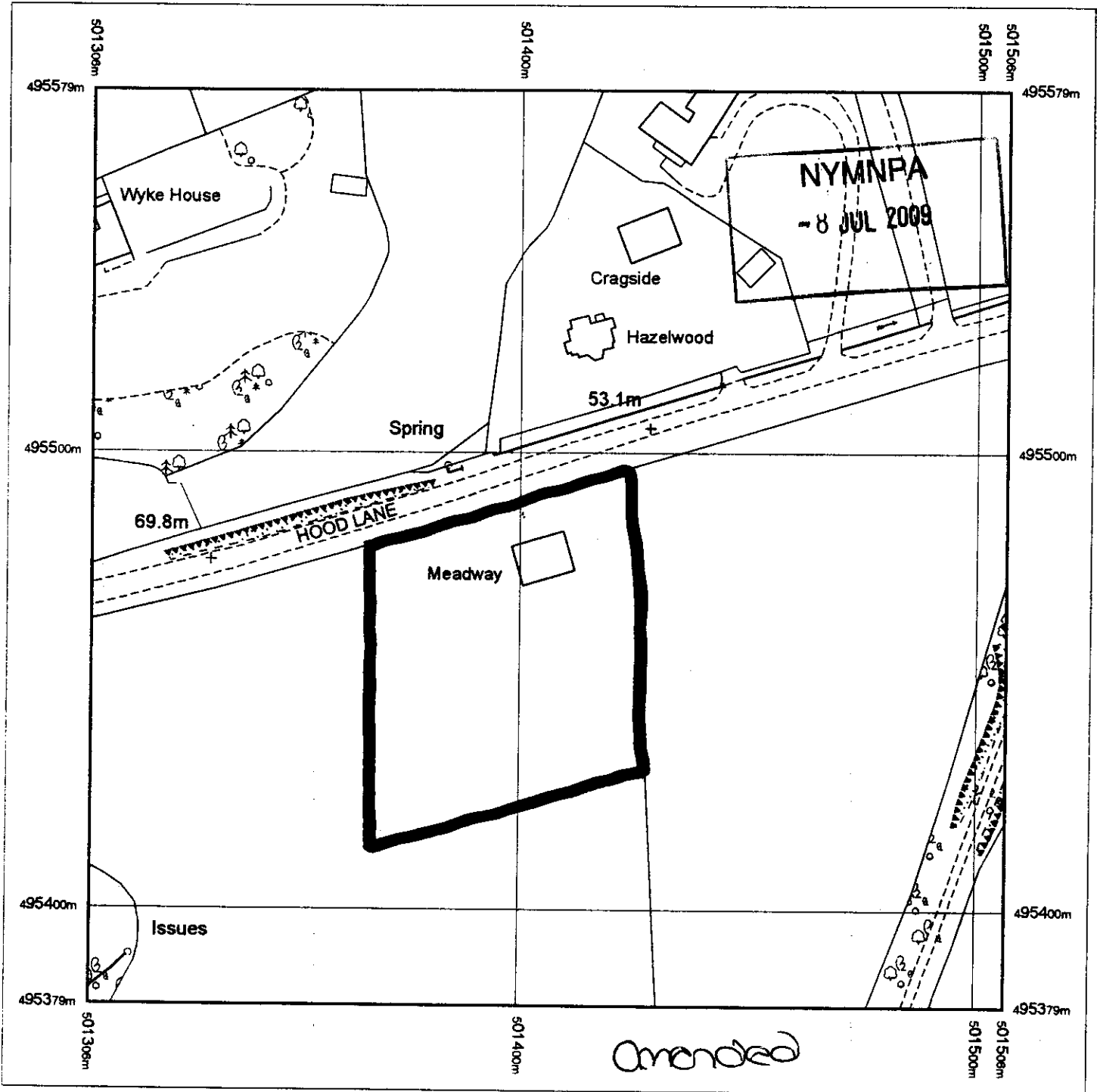
A - ADDITIONS
 B - 24/6/09 - ADDITIONS

NYMNP
 25 JUN 2009

GARAGE
 Scale 1:100 + 1:50
 Dwg. No. W111B 609/1B
 MEADWAY, HOOD LANE, CLOUGHTON.



WILLOW COTTAGE HIGH STREET BRAMPTON BY SANDON N YORKS YO13 9DA TEL 0723 852888



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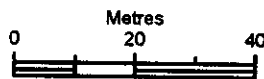
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The representation of a road, track or path is no evidence of a right of way.

The representation of features as lines is no evidence of a property boundary.

Part or all of this OS Sitemap is enlarged from mapping produced at one or more of the following scales: 1:1250, 1:2500, 1:10000.



Scale 1:1250

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 Serial number: 00247100
 Centre coordinates: 501406.5 495479

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SEO1443, 915469

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PT

NYMNPA
25 JUN 2009

Householder Application for Planning Permission for works or extension to a dwelling.
Town and Country Planning Act 1990

Publication of planning applications on council web sites
Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.
If any other information that is provided as part of the application which falls within the definition of personal data under the Data Protection Act and is not to be published on the council's website, please contact the council's planning department.

1. Applicant Name, Address and Contact Details

Title: Mr Mrs First name: Surname:

Company name:

Street address:

Town/City:

Country:

Postcode:

Country Code: National Number: Extension Number:

Telephone number:

Mobile number:

Fax number:

Email address:

Are you an agent acting on behalf of the applicant? Yes No

2. Agent Name, Address and Contact Details

Title: First Name: Surname:

Company name:

Street address:

Town/City:

Country:

Postcode:

Country Code: National Number: Extension Number:

Telephone number:

Mobile number:

Fax number:

Email address:

3. Description of Proposed Works

Please describe the proposed works:

Has the work already been started without planning permission? Yes No

Has the work already been completed without planning permission? Yes No

If Yes, please state when the works were started:

If Yes, please state the date when the works were completed:

4. Site Address Details

Full postal address of the site (including full postcode where available)

Description:

House: Suffix:
House name:
Street address:

Town/City:
County:
Postcode:

NYM / 2009 / 0417 / FL

Description of location or a grid reference
(must be completed if postcode is not known):
Easting:
Northing:

5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No
Is a new or altered pedestrian access proposed to or from the public highway? Yes No
Do the proposals require any diversions, extinguishment and/or creation of public rights of way? Yes No

If Yes to any questions, please show details on your plans or drawings and state their reference number(s):

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No
If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):
Officer name:
Title: First name: Surname:
Reference:
Date:
Details of the pre-application advice received:

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7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your boundary? Yes No
If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No
If Yes, please show on your plans, indicating the scale, which trees by giving them numbers (e.g. T1, T2 etc) and state the reference number of any plans or drawings:

8. Parking

Will the proposed works affect existing car parking arrangements? Yes No
If Yes, please describe:

9. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the council? Yes No
If Yes, please provide details:

10. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

The agent The applicant Other person

11. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement? Yes No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

Drwg No WHIB 609/1B + Design Statement

12.

Certificate of Ownership -

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Title: First name: Surname:

Person role: Declaration date: Declaration made

Certificate of Ownership

I certify/The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which this application relates.

Notice recipient	Date notice served
<input type="text"/>	<input type="text"/>

Title: First name: Surname:

Person role: Declaration date: Declaration made

12.

Certificate of Ownership

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/The applicant certifies that:

Neither Certificate A or B can be issued for this application

- All reasonable steps have been taken to find out the names and addresses of the other owners (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of the land or building, or of a part of it, but I have/the applicant has been unable to do so.

The steps taken were:

- I have/the applicant has given the requisite notice to the persons specified below being persons who, on the day 21 days before the date of this application, were owners (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which this application relates.

Notice recipient	Date notice served
<input type="text"/>	<input type="text"/>

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Title: First name: Surname:

Person role: Declaration date: Declaration made

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12. Certificates (Certificate D)

Certificate of Ownership - Certificate D

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/The applicant certifies that:

- Certificate A cannot be issued for this application

- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land to which this application relates, but I have/the applicant has been unable to do so.

The steps taken were:

[Empty box for steps taken]

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

[Empty box for newspaper name]

On the following date (which must not be earlier than 21 days before the date of the application):

[Empty box for date]

Title: [Empty] First name: [Empty] Surname: [Empty]

Person role: Agent Declaration date: [Empty] Declaration made

12. Certificates (Agricultural Holdings Certificate)

Agricultural Holding Certificate

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

Agricultural Land Declaration - You Must Select Either A or B

(A) None of the land to which the application relates is, or is part of an agricultural holding.

(B) I have/The applicant has given the requisite notice to every person other than myself/the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Notice recipient: [Empty] Date notice served: [Empty]

Title: [Empty] First Name: [Redacted] Surname: [Redacted]

Person role: Agent Declaration date: 24/6/09 Declaration Made

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Date: 24/6/09

NYMNP
25 JUN 2009

DESIGN AND ACCESS STATEMENT
FOR
PROPOSED STONE AND PANTILE DOUBLE GARAGE AND MOWER STORE
AT
MEADWAY, HOOD LANE, CLOUGHTON, SCARBOROUGH

CONTEXT

Meadway is a detached stone and pantile house and is presently undergoing alterations under planning decision numbered NYM/2008/0075/FL, dated 26.3.08. The property is accessed from Hood Lane and is sited in a large grassed garden.

This application is to construct a detached double garage and mower store within the grounds.

AMOUNT OF DEVELOPMENT

The garage will be single storey and will be approximately 6.1m wide x 9.0m long.

LAYOUT

The garage will be sited at the east side of the house and will be approximately 2.4m from the house (see drawing).

SCALE

The garage will be subordinate to the house and of appropriate scale to the house.

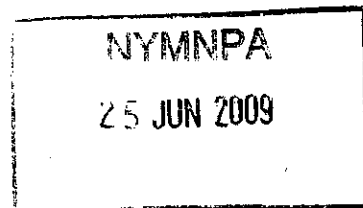
APPEARANCE

The garage walls will be constructed of natural stone and will be coursed and jointed to match the house walls. The roof will have 40⁰ pitch and will be covered with pantiles to match the house roof. There will be one matching window to the south end of the garage and the roof will have two east facing roof-lights.

The eaves and verge will be flush pointed with no fascia or bargeboard. Rain water goods will be black finished and round section and will have the gutters fixed to the walls on rise and fall brackets.

ACCESS

Level access will be provided.



SUMMARY

The impact of the proposals will have no effect on surrounding properties. The proposals will have no adverse effect on the character or appearance of Meadway or of the National Park.

The proposals are in line with and satisfy the criteria of the North York Moors National Park Local Plan.

BARRY DENTON BScHons DipArch RIBA
Chartered Architect

24th June, 2009



BARRY - BScHons DipArch RIBA CHARTERED ARCHITECT

BELINDA - DipSurv MRICS CHARTERED BUILDING SURVEYOR