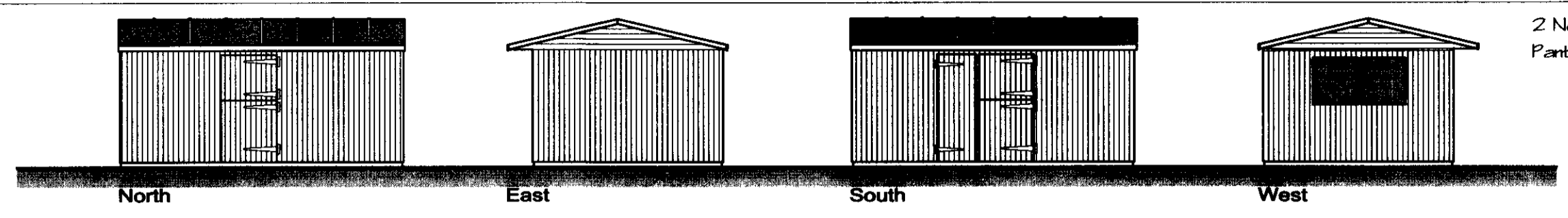
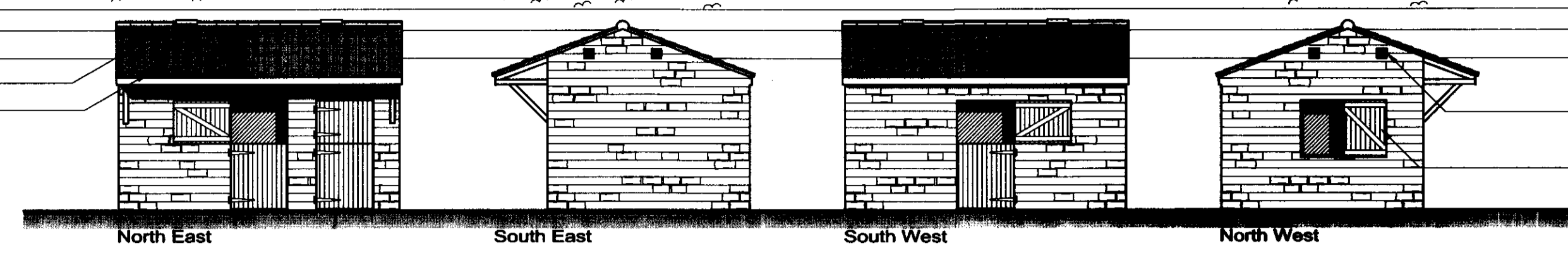


● DO NOT SCALE from this drawing. Only figured dimensions are to be taken from this drawing.
 ● The Contractor must verify all dimensions on site before commencing any work or shop drawings.
 ● The Contractor must report any discrepancies before commencing work. If this drawing exceeds the quantities taken in any way, the Technician is to be informed before work is initiated.
 ● Work within The Construction (Design and Management) Regulations 1994 is not to start until a Health & Safety Plan has been produced. This drawing is Copyright and must not be reproduced without consent of BHD Partnership Ltd

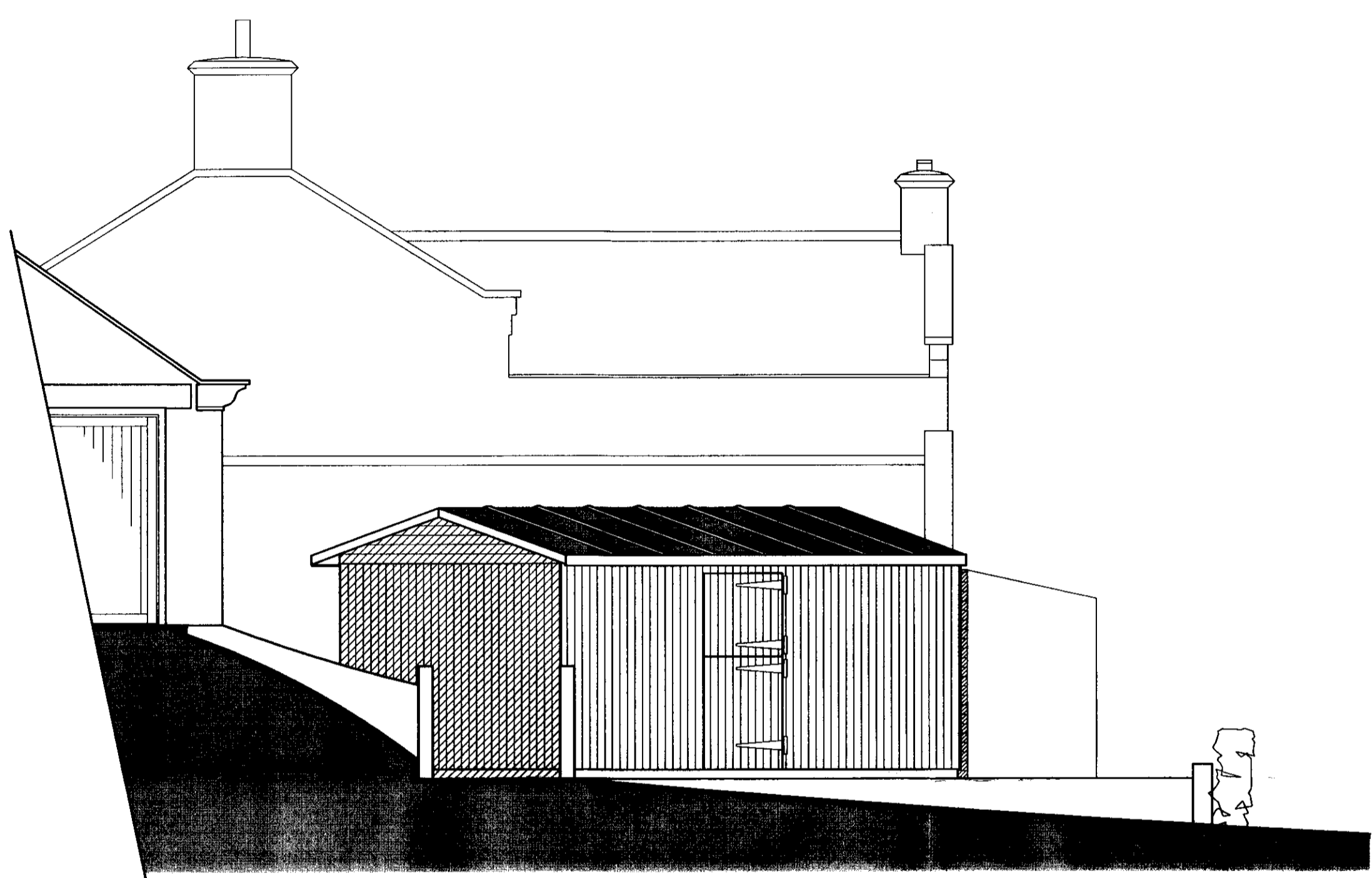


Existing Elevations
SCALE: 1:100



Proposed Elevations
SCALE: 1:100

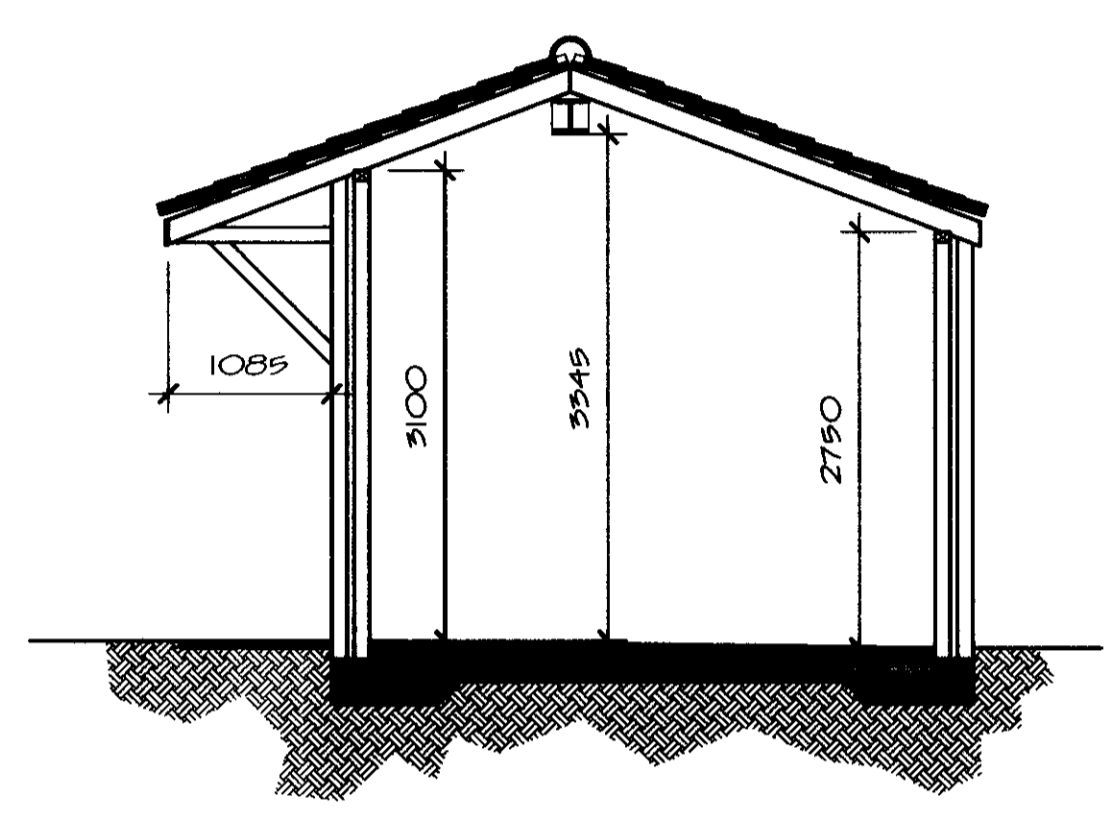
2 No. Vent tiles
 Pentile Roof
 220 x 220 Clay vents on both gables
 900 x 1200 Opening with shutter



Existing Street Scene
SCALE: 1:50



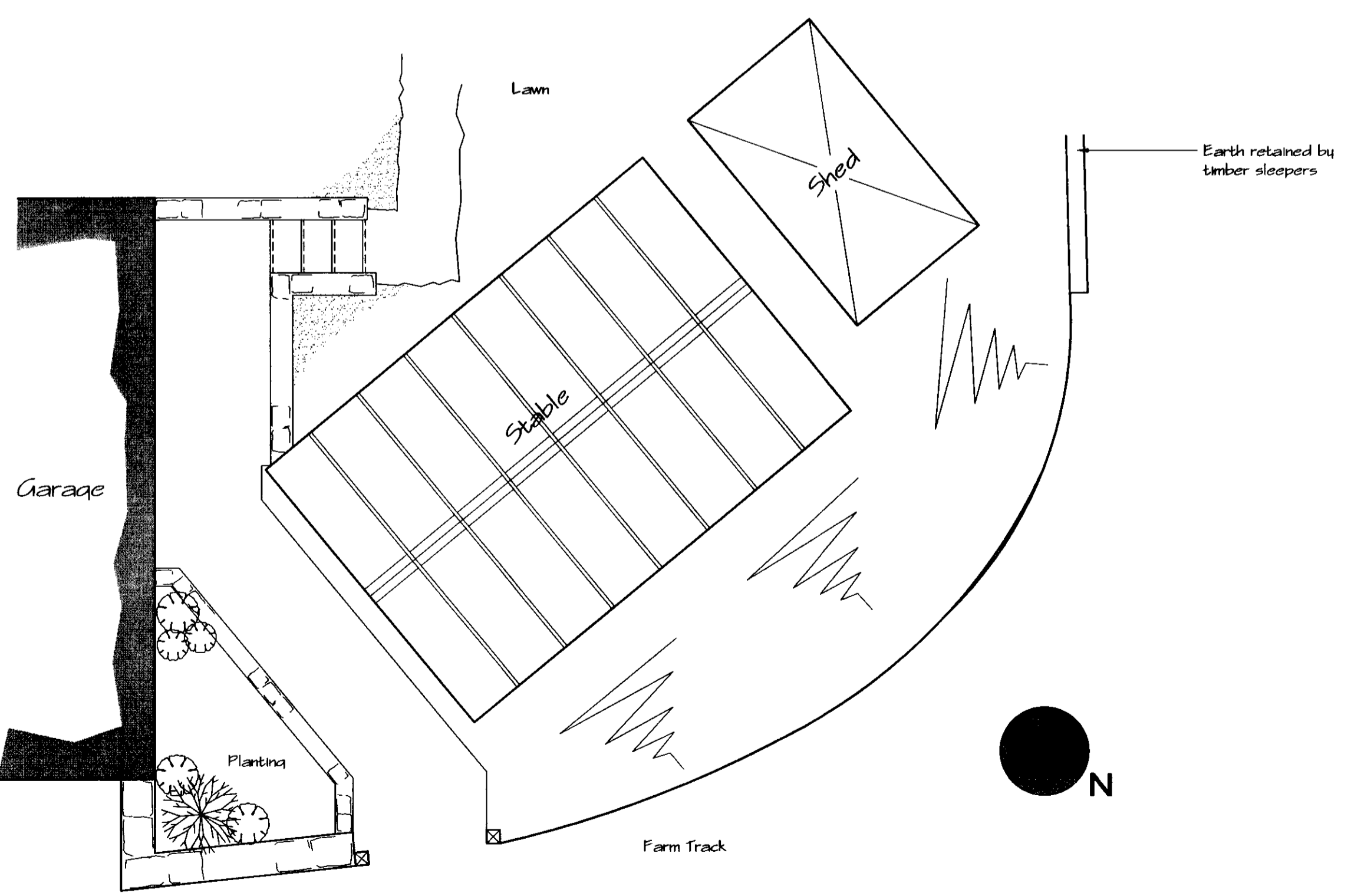
Proposed Street Scene
SCALE: 1:50



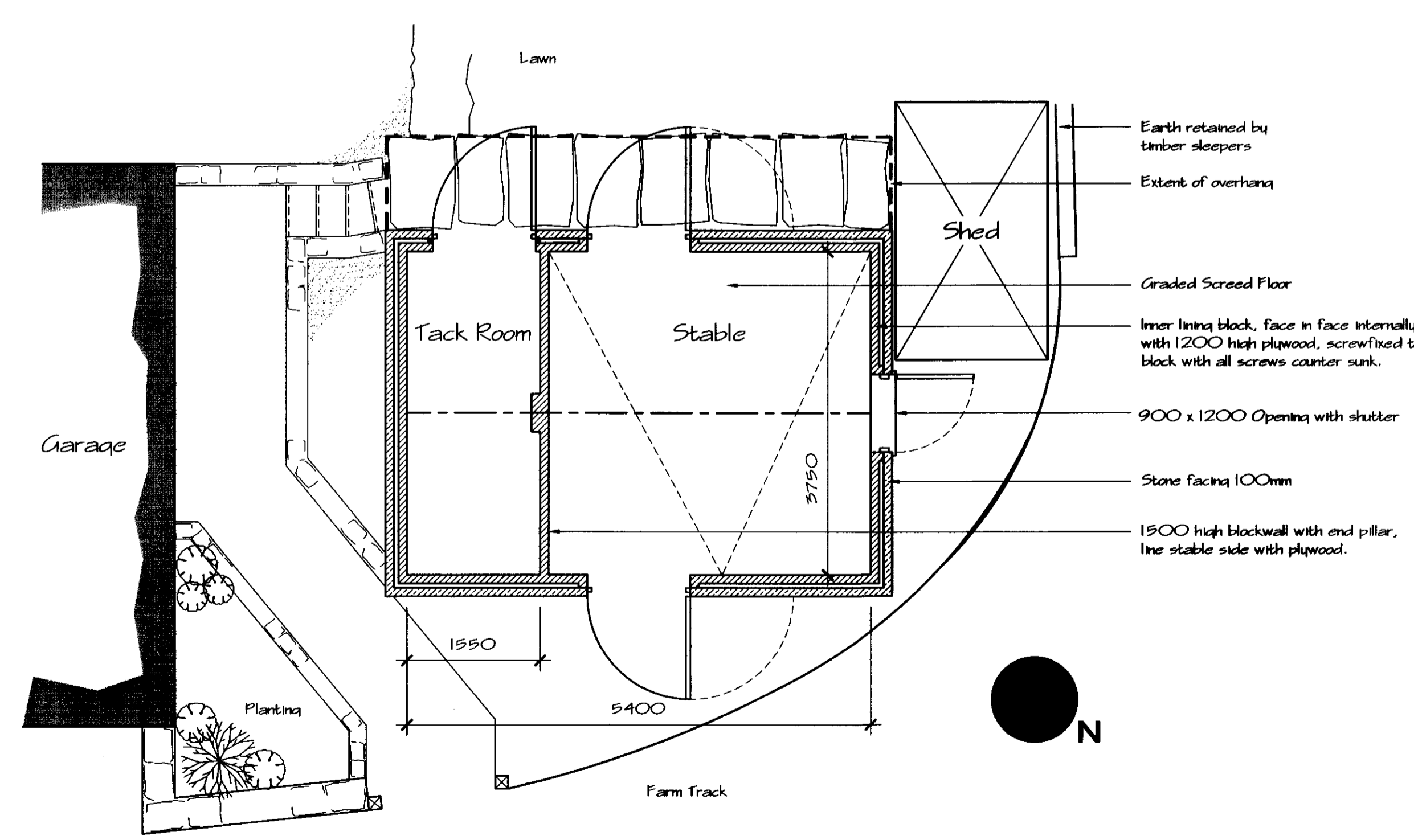
Proposed Section
SCALE: 1:50

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 24 JUL 2009

Dra for Planning Consideration only
 construction details to be added



Existing Block Plan
SCALE: 1:50



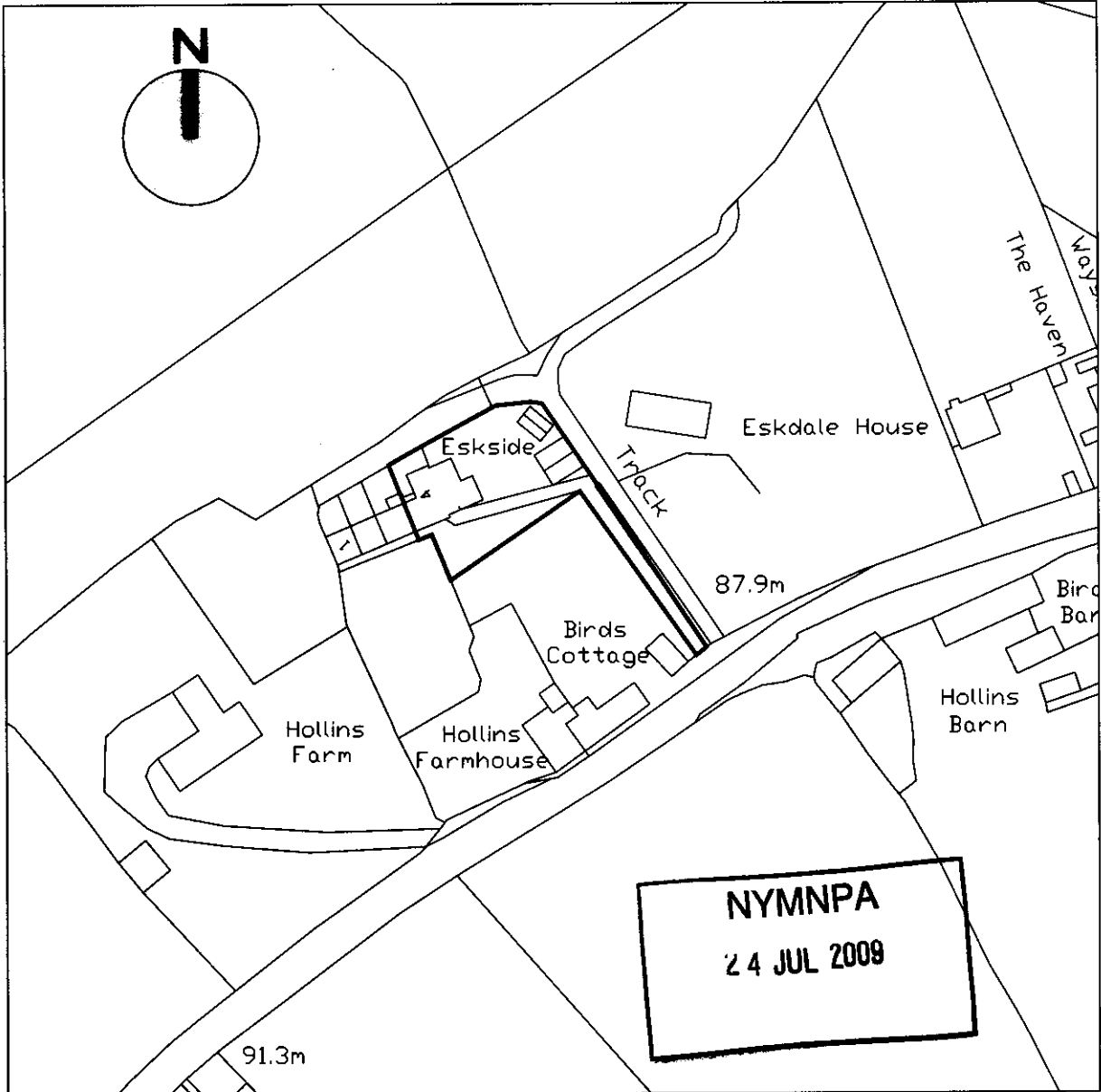
Proposed Block Plan
SCALE: 1:50

Earth retained by timber sleepers
 Extent of overhang
 Graded Screed Floor
 Inner lining block, face in face internally with 1200 high plywood, screws fixed to block with all screws counter sunk.
 900 x 1200 Opening with shutter
 Stone facing 100mm
 1500 high blackwall with end pillar, line stable side with plywood.

REV	DATE	BY	REVISION	CHKD	APPD
B	19/05/2009	MDT	Amended to suit Client comments	MD	
A	23/04/2009	MDT	Issued for Approval	MD	

b h d partnership
 Airy Hill Manor, Whiby, North Yorkshire, UK, YO21 1QB.
 Tel: 01947-604871 Fax: 01947-600010
 general@bhdpartnership.com www.bhdpartnership.com

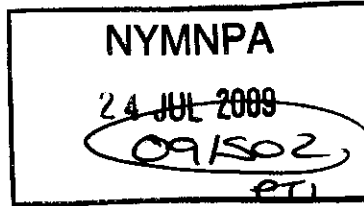
DISCIPLINE:	ARCHITECTURAL	
CLIENT:	Julie Garrett	
PROJECT:	4. Eskside Cottages, Grosmont	
TITLE:	Existing & Proposed Plans, Elevations & Sections	
DRAWN:	M.D.Todd	CHECKED:
SCALE & SIZE:	1:50, 1:100 @ A1	DATE:
DRAWING NO.:	D9643-01	REV:
		B



Site Location Plan
SCALE:1250

b h d partnership Alty Hill Mans, Whitey, North Yorkshire, UK. YO21 1QB. Tel: 01947-694871 Fax: 01947-698010 gmars@bhdpartnership.com www.bhdpartnership.com				CLIENT: Julie Garrett		DRAWING TITLE: Site Location Plan	
				PROJECT: 4. Eskside Cottages Grosmont		A4 DRN: M.D.Todd DATE: 23/04/2009	
SCALE: 1:1250		ISSUE: Preliminary		DRAWING NR: D9643-02		REV: A	
A	23/04/2009	MDT	Issued for Approval	NID			
REV	DATE	BY	AMENDMENT	CHKD	APVD		

NYM / 2009 / 0502 / FL
NZ 83423,05582



North York Moors National Park Authority
The Old Vicarage
Boulogne
Helmsley
York
YO62 5BP
Telephone: 01439 770657
email: dc@northyorkmoors-npa.gov.uk
Website: www.moors.nk.net

Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

1. Applicant Name and Address	2. Agent Name and Address
Title: <u>MS.</u> First name: <u>JULIE</u>	Title: <u>MRS</u> First name: <u>ELIZABETH</u>
Last name: <u>GARRETT</u>	Last name: <u>KETTLE</u>
Company (optional): <u>-</u>	Company (optional): <u>ENK PLANNING + DESIGN LTD</u>
Unit: House number: <u>4</u> House suffix: <u>-</u>	Unit: <input checked="" type="checkbox"/> House number: <u>-</u> House suffix: <u>-</u>
House name: <u>-</u>	House name: <u>THE SPINNEY</u>
Address 1: <u>ESKSIDE COTTAGES</u>	Address 1: <u>THE LANE</u>
Address 2: <u>ESKDALESIDE</u>	Address 2: <u>MICKLOBY</u>
Address 3: <u>GROSMONT</u>	Address 3: <u>SALTBURN -by- the SEA</u>
Town: <u>WHITBY</u>	Town: <u>-</u>
County: <u>NORTH YORKSHIRE</u>	County: <u>CLEVELAND</u>
Country: <u>ENGLAND</u>	Country: <u>ENGLAND</u>
Postcode: <u>YO22 5PR</u>	Postcode: <u>TS13 5LU.</u>

3. Description of Proposed Works

Please describe the proposed works:

REPOSITIONED REPLACEMENT STABLE AND
REPOSITIONED GARDEN SHED.

3. Description of Proposed Works (continued)

Has the work already been started without planning permission? Yes No
 If Yes, please state when the works were started (DD/MM/YYYY): _____ (date must be pre-application submission)

Has the work already been completed without planning permission? Yes No
 If Yes, please state when the works were completed (DD/MM/YYYY): _____ (date must be pre-application submission)

4. Site Address Details

Please provide the full postal address of the application site.

Unit _____ House number: 4 House suffix: _____

House name _____

Address 1: ESKSIDE COTTAGES

Address 2: ESKDALESIDE

Address 3: GROSMONT

Town: WHITBY

County: NORTH YORKSHIRE

Postcode (optional): YO22 5PR

5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No

Is a new or altered pedestrian access proposed to or from the public highway? Yes No

Do the proposals require any diversions, extinguishments and/or creation of public rights of way? Yes No

If Yes to any questions, please show details on your plans or drawings and state the reference number(s) of the plan(s)/drawing(s):

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24 JUL 2009

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much possible:

Officer name: AILSA TEESDALE

Reference: AREA PLANNING OFFICER

Date (DD MM YYYY): 22/3/2009
 (must be pre-application submission)

Advice given: AT SITE MEETING ADVISED SUBJECT TO SUITABLE DETAILING, THE SCHEME SHOULD BE ACCEPTABLE.

7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your boundary? Yes No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings.

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? Yes No

If Yes, please show on your plans, indicating the scale, which trees by giving them numbers e.g. T1, T2 etc. and state the reference number of any plans or drawings.

8. Parking

Will the proposed works affect existing car parking arrangements? Yes No

If Yes, please describe: _____

9. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the Council? Yes No

If Yes, please provide details: _____

10. Materials

If applicable, please state what materials are to be used externally. Include type, colour and name for each material:

Existing (where applicable)	Proposed	Not applicable	Don't Know	Drawing references if applicable
Walls TIMBER	NATURAL STONE (STABLE) TIMBER (SHED)	<input type="checkbox"/>	<input type="checkbox"/>	
Roof TIMBER	RED CLAY PANTILES (STABLE) TIMBER (SHED)	<input type="checkbox"/>	<input type="checkbox"/>	
Windows TIMBER	TIMBER	<input type="checkbox"/>	<input type="checkbox"/>	
Doors TIMBER	TIMBER	<input type="checkbox"/>	<input type="checkbox"/>	
Boundary treatments (e.g. fences, walls)				
Vehicle access and hard standing		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Lighting		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Others (please specify)		<input type="checkbox"/>	<input type="checkbox"/>	

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Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement? Yes No

If yes, please state references for the plan(s)/drawing(s)/design and access statement:

[D + A STATEMENT], AND A SUPPORTING PLANNING STATEMENT

11. Certificates (continued)

CERTIFICATE OF OWNERSHIP - CERTIFICATE D

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

The steps taken were:

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

AGRICULTURAL HOLDINGS CERTIFICATE

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of, an agricultural holding.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

22/07/09

B) I have/ The applicant has given the requisite notice to every person other than myself/ the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Name of Tenant

Address

Date Notice Served

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24 JUL 2009

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

12. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

3 copies of a completed and dated application form:



3 copies of a design and access statement where proposed works fall within one of the following designated areas:



The correct fee:



3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North:



- National Park
- Site of special scientific interest
- Conservation area
- Area of outstanding natural beauty
- World Heritage Site
- The Broads

3 copies of the completed, dated Article 7 Certificate (Agricultural Holdings):



3 copies of other plans and drawings or information necessary to describe the subject of the application.



3 copies of the completed, dated Ownership Certificate (A, B, C or D - as applicable):



13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

22/07/09

(date cannot be pre-application)

14. Applicant Contact Details

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

15. Agent Contact Details

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

16. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

Agent Applicant Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name: _____ Telephone number: _____

Email address: _____

12. Planning Application Requirements Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted. The correct fee: _____ The original and 3 copies of the following documents.

The completed and dated application form <input checked="" type="checkbox"/>	The completed, dated Article 7 Certificate (Agricultural Holdings) <input checked="" type="checkbox"/>	A design and access statement where proposed works fall within one of the following designated areas: <input checked="" type="checkbox"/>
A plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of north <input checked="" type="checkbox"/>	The completed, dated Ownership Certificate (A, B, C or D - as applicable) <input checked="" type="checkbox"/>	<ul style="list-style-type: none"> • National Park • Site of special scientific interest • Conservation area • Area of outstanding natural beauty • World Heritage Site • The Broads
Other plans and drawings or information necessary to describe the subject of the application <input checked="" type="checkbox"/>		

NYMNPA
24 JUL 2009

Design and Access Statement

Detailed application
for

NYMNPA

24 JUL 2009

Replacement stable and repositioned
garden shed

at

4 Eskside Cottages, Eskdaleside
Grosmont

Prepared by
Liz Kettle
of
EnK Planning & Design Ltd

Design & Access Statement for replacement stable and repositioned shed at
4 Eskside Cottages, Eskdaleside, Grosmont.

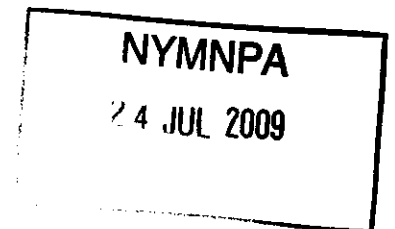
1.0 INTRODUCTION

- 1.1 This document is a *Design & Access Statement* to accompany the enclosed full planning application for the erection of a replacement stable with tack room and a repositioned shed at 4 Eskside Cottages, Eskdaleside, Grosmont.
- 1.2 It should be read in conjunction with the enclosed *Supporting Planning Statement*. This second report has also been prepared by this Company, whilst all of the plans have been produced by the bhd Partnership, Whitby.
- 1.3 The development involves the upgrading of the outbuildings for domestic hobby use at the property. An outdated and deteriorating timber stable/tack room is to be replaced with a stone stable and tack room building, and an immediately adjacent garden shed marginally repositioned.

DESIGN

2.0 USE

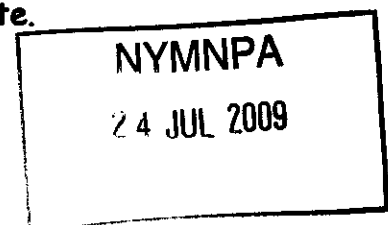
- 2.1 Grosmont is a small rural village in the North York Moors National Park. It lies on the south side of the valley of the river Esk, on a narrow lane (Eskdaleside) which runs between Grosmont and the larger settlement of Sleights further to the east. The application property is situated near the north eastern limit of the village; it is accessed by a private drive. It sits at a level considerably beneath the level of the public road.
- 2.2 The application property has a generous plot with a curtilage which extends to approximately 0.08 hectares. There is a substantial amount of garden land to



Design & Access Statement for replacement stable and repositioned shed at
4 Eskside Cottages, Eskdaleside, Grosmont.

the side (east) of the property and also to the front with a terraced garden, with a small piece of amenity land also at the rear. The site of the development lies to the east of the house and just to the west of the drive and beside a recent stone double garage with a pantiled roof. Situated at a considerably lower level than this garage, that building will partly screen the application proposal from wider views from the public highway.

- 2.3 The owner of the dwellinghouse enjoys riding and wants to renew the stable for one horse. Examination of the condition of the existing timber stable showed that repairs would not be economic. Timber stables also, whilst having their place (especially when a temporary solution is required), tend not to be ideal on a permanent basis as large horses can push the wall sides out and they consequently often need continuous repairs. The project includes minor repositioning of a timber garden shed for garden tool storage into a more logical position to align with the new stable.
- 2.4 In general planning land use/policy terms the development in this rural location at this property appears to us to be entirely appropriate.



3.0 AMOUNT

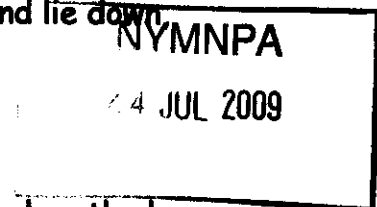
- 3.1 The application principally is for a modest development of one replacement stable/tack room. The overall size of the scheme is approximately 5.9m x 4.25m.
- 3.2 The floor area of the replacement stable and tack room is approximately 20.25sq mts. and being within a garden area this is development on a brownfield site.

Design & Access Statement for replacement stable and repositioned shed at
4 Eskside Cottages, Eskdaleside, Grosmont.

3.3 This garden site can readily accommodate the scheme without adversely impacting on any neighbours or the amenities of the area generally. Significant private garden area will still be maintained.

3.4 The design of the stable has been informed by the size and scale required to accommodate one full sized horse in a stable which accords with the dimensions and height of the accepted modern industry standards. Over hundreds of years since the domestication of the horse certain stable characteristics have become adopted as the "norm" and these are reflected in this project:

- room for a large horse to freely and easily turn round and lie down
- adequate head room,
- wide doors (so hips are not banged and injured),
- over sail of the roof at the entrance to provide shelter when the horse looks out, to encourage fresh air breathing, and reduce boredom,
- good natural ventilation, stable doors with top half generally left open,
- easy access to get to assist a horse which may be *cast* (down, wedged and can't get up),
- strong construction, and
- convenient, secure separate storage for saddlery and equipment (*tack*).



Of course being within the National Park the design also reflects the local vernacular and the design of the main house and the recent garage: hence the stone finished walls, the natural red clay pantiled roof, and natural timber doors/windows.

Design & Access Statement for replacement stable and repositioned shed at
4 Eskside Cottages, Eskdaleside, Grosmont.

3.5 It is considered that this minor development of a stable finished to a very high standard will have a negligible impact on the usage of the area around and about the site or the neighbourhood in general.

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4.0 LAYOUT

4.1 In designing the layout the scheme accommodates the stable and shed in similar positions to the existing buildings here, but now repositioned in alignment with the recent garage. This minor repositioning of the structures is in our view a logical solution which will look tidier in layout and will also provide for more convenient access for the horse and the owner.

4.2 Care has been taken in the layout and height of the building, in respect of the relationship to the existing buildings. We were conscious that the new stable should have manners respecting those buildings and also sit well in terms of views into the site. As shown, we consider that there will be limited, if any impact outside of the site.

5.0 SCALE

5.1 The proposal is of a scale appropriate for a modern domestic stable. In particular with regard to the scale, the height and overall size, we have taken account of the general proportions of the house and the garage nearby. We consider the scale is appropriate for the site, being subservient to the existing buildings on the site and achieving a development which sits comfortably on the slope of the land, as shown on the plans submitted.

Design & Access Statement for replacement stable and repositioned shed at
4 Eskside Cottages, Eskdaleside, Grosmont.

6.0 LANDSCAPING

- 6.1 There no trees which are to be lost to accommodate this application proposal. As the site is quite well screened by trees and other buildings we do not feel it is necessary to provide additional landscaping in support of this proposal. However, if the Authority believes more planting is required, we would be happy to provide this as a matter of discharge of an appropriate planning condition.

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7.0 APPEARANCE

- 7.1 The underpinning concept of the appearance of the proposal is to ensure that the project is a low key development which blends into the existing landscape and built environment and respects the character of this part of the settlement.
- 7.2 The exact nature of the materials can be finalised at a later date as a condition, but it is our vision that these will be suitable natural stone walls and traditional red clay pantiles.

ACCESS

- 8.1 The property enjoys a private drive to the highway. There is room to park and turn even a large vehicle/trailer to the south of the site, clear of the highway.

Design & Access Statement for replacement stable and repositioned shed at
4 Eskside Cottages, Eskdaleside, Grosmont.

8.2 The site is readily accessed by car, horse, foot or bicycle from the adjacent adopted village road. We conclude that having regard to this remote rural location, this site has good access for all.

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24 JUL 2009

**Supporting Planning Statement
for**

**Replacement Stable and repositioned
garden shed**

**at
4 Eskside Cottages, Eskdaleside
Grosmont**

**Prepared by
Liz Kettle
of
EnK Planning & Design Ltd**

4 Eskside Cottages, Eskdaleside, Grosmont

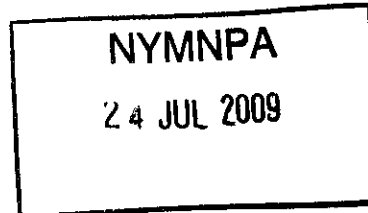
Supporting Planning Statement

for

Replacement Stable and repositioned Shed

at

4 Eskside Cottages, Eskdaleside,



1.0 INTRODUCTION

1.1 This report is a Supporting Planning Statement in respect of the enclosed planning application submitted by Ms Julie Garrett for a replacement stable and a repositioned garden shed at her home, 4 Eskside Cottages, Eskdaleside. It supplements the *Design & Access Statement* which has also been prepared by this Company.

The property to the right in this picture is the main house at the application site.



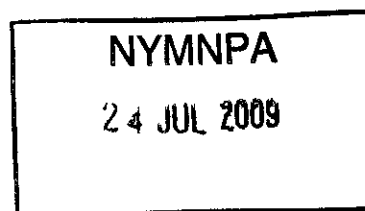
1.2 Our client has employed a team of qualified professionals to fully prepare this submission including ourselves a chartered and registered town planning Company and the bhd Partnership, experienced architecture and engineering designers, who are affiliated to the RIBA and based in Whitby.

1.3 In March of this year we attended a site meeting with the area Planning Officer to seek preliminary advice on this scheme and we are pleased to note that there is general support for the proposed development, subject to suitable design details.

4 Eskside Cottages, Eskdaleside, Grosmont

1.4 This report will describe the background to the application, the application and site, briefly review the planning history, and outline the relevant local and National Planning Policies, and finally review the proposal in the light of those policies.

1.5 Having regard to all of the above it is suggested that the proposed scheme accords with the planning policies and should be considered to be satisfactory in planning terms.



2.0 BACKGROUND

2.1 Our client has strong local connections to this part of the National Park and has invested considerable time and money in restoring this property. A major two storey extension has been allowed at the house, and an excellent detached double garage with basement has recently been constructed immediately adjacent to the site of the existing and proposed stable building.

2.2 The existing stable and tack room building is built of timber. Having carefully examined the amount of rot and general deterioration it has been decided that it would be uneconomic to repair it and that replacement with a more robust and attractive stone building would be ideal to complement the recent alterations at the house and in its' curtilage.

3.0 THE SITE AND THE APPLICATION

3.1 This site is within the private garden area to the east of the main house 4 Eskside Cottages, Grosmont and close to the private drive. The replacement

stable is very similarly sited to the existing timber one, just turned through its' axis to provide a more logical alignment to the new garage and to provide more convenient access. It lies at a level a metre or so below the level of the garage.

This picture shows the new garage under construction with the old timber stable and the garden shed adjacent to the left.



- 3.2 Grosmont is a small rural village in the North York Moors National Park. It lies on the south side of the valley of the river Esk, on a narrow lane (Eskdaleside) which runs between Grosmont and the larger settlement of Sleights further to the east. The application property is situated near the north eastern limit of the village, within the 30mph speed limit, and is set back some distance (about 50m) from the public highway. It is accessed by a private drive and sits at a level considerably beneath the level of the public road.
- 3.3 The application property, No 4, has a generous plot with a curtilage which extends to approximately 0.08 hectares. There is a substantial amount of garden land to this east side and also to the front with a terraced garden, with a small piece of amenity land also at the rear.
- 3.4 The application is simply to replace the timber stable with a stone stable and tack room of a *similar* footprint. The new stable/tack room measures 5.9m x 4.25m whilst the old one is 5.5m x 3.7m. It will be finished with a traditional red clay pantile roof with an overall height of 4m approx. (the ground drops away at one end). This facility is for the private hobby use of the owners of

4 Eskside Cottages, Eskdaleside, Grosmont

the house, to suitably stable one horse and related equipment. A minor realignment of the existing garden shed is also indicated.

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4.0 PLANNING HISTORY

4.1 Regarding the planning history here, briefly, there was a rear single storey extension to the house in 2003. There was an approval for a two storey extension (and the detached garage now in place) in 2007. Shortly afterwards a refusal for a larger two storey extension was overturned on Appeal and work is progressing on site with the construction of this additional accommodation.

4.2 The design of the extension and the recent garage has informed the details for the stable although in a more appropriate simplified style.

5.0 PLANNING POLICIES

5.1 We are aware that planning applications have to be determined in the light of current planning policies, unless material considerations dictate otherwise. In respect of this application we believe that the main policy in the adopted North York Moors National Park Authority's Local Development Framework is Development Policy 19, Householder Development.

5.2 Development Policy 19 offers guidance on development within the curtilage of dwellings. The policy notes that in order to be considered favourably, applications will have to take into account the special qualities of the Park's nine landscape character areas and the architectural character of settlements and will only be supported when a series of 4 criteria are met. These revolve around (briefly):

4 Eskside Cottages, Eskdaleside, Grosmont

- **Must be of suitable scale, height, form, design and not to detract from the character of the dwelling or the landscape,**
- **No adverse impact on residential amenities,**
- **No issues of noise, disturbance, smell or other problems for neighbours, and**
- **(Annexes advice not relevant here).**

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5.3 There is general design advice also in Development Policy 3 and this is expanded upon in a Supplementary Design Document: Design Guide Part 2 Extensions and Alterations to Dwellings. In this SPD, it is noted that it is vital when planning additional outbuildings in gardens not to spoil the character or setting of the main dwelling. It is, however, acknowledged that a range of small outbuildings would often be found traditionally around properties of this type in the Park. The note considers that with careful siting and design, free standing outbuildings such as this, detached from the house can be acceptable.

5.4 National Planning Policy is primarily contained within PPS7, which examines sustainable development in rural areas. In the Statement, one of the Government's objectives is to promote sustainable development "*providing leisure opportunities to enable...rural dwellers to enjoy the countryside.*" A key principle is re-using sites for development, and in rural areas development proposals should be well designed and in keeping with the location. The section on Countryside at 16 (ii) states that Authorities should "*promote recreation and enjoyment of the countryside.*"

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6.0 A REVIEW OF THE PROPOSAL IN THE LIGHT OF POLICIES.

6.1 The building is traditional stable building finished with high quality materials, well designed in the local vernacular. The siting is discreetly grouped with the garage so that it will not be prominent in the wider landscape or intrusive to neighbours. It has manners for the main house and will not detract from the setting of the main dwelling. It is a building which would typically have been found adjacent to traditional farm houses and larger rural cottages. We believe it entirely accords with the relevant policies in the Local Development Framework. We consider it also accords with the guidance in the SPD being modest in scale, suitably designed and sited and well distanced from neighbours.



This picture taken from the highway shows the low lying nature of the site and how the garage under construction here will screen the smaller, lower stable building and the repositioned shed.

6.2 Whilst the PPS is primarily concerned with more major development, this project conforms to the general principles of sustainability being a re-development of a building on a brownfield site, ensuring a horse can be kept at home thereby reducing car journeys to stabling elsewhere at livery. It will also allow the owner to enjoy appropriate, quite, recreational riding in the National Park around the nearby lanes, bridleways and approved routes over moorland.

- 6.3 We are firmly of the opinion that this stable and tack room will be an enhancement to the site, and that the re-sited shed will hardly be noticeable.**
- 6.4 We would further argue that this development falls clearly in line with the LDF and the Government's general approach to rural applications.**

7.0 CONCLUSION

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- 7.1 This application has been prepared in the light of the adopted LDF and National planning guidelines. There are no conflicts with these policies.**
- 7.2 Preliminary discussion has been carried out with the Officers with a positive response.**
- 7.3 This is a modest application for an enhancement of an existing development by replacement with a significantly improved structure incorporating traditional detailing and design.**
- 7.5 We remain convinced that this application is worthy of full support and hope that the Authority can agree to permit the proposed development with suitable planning conditions.**