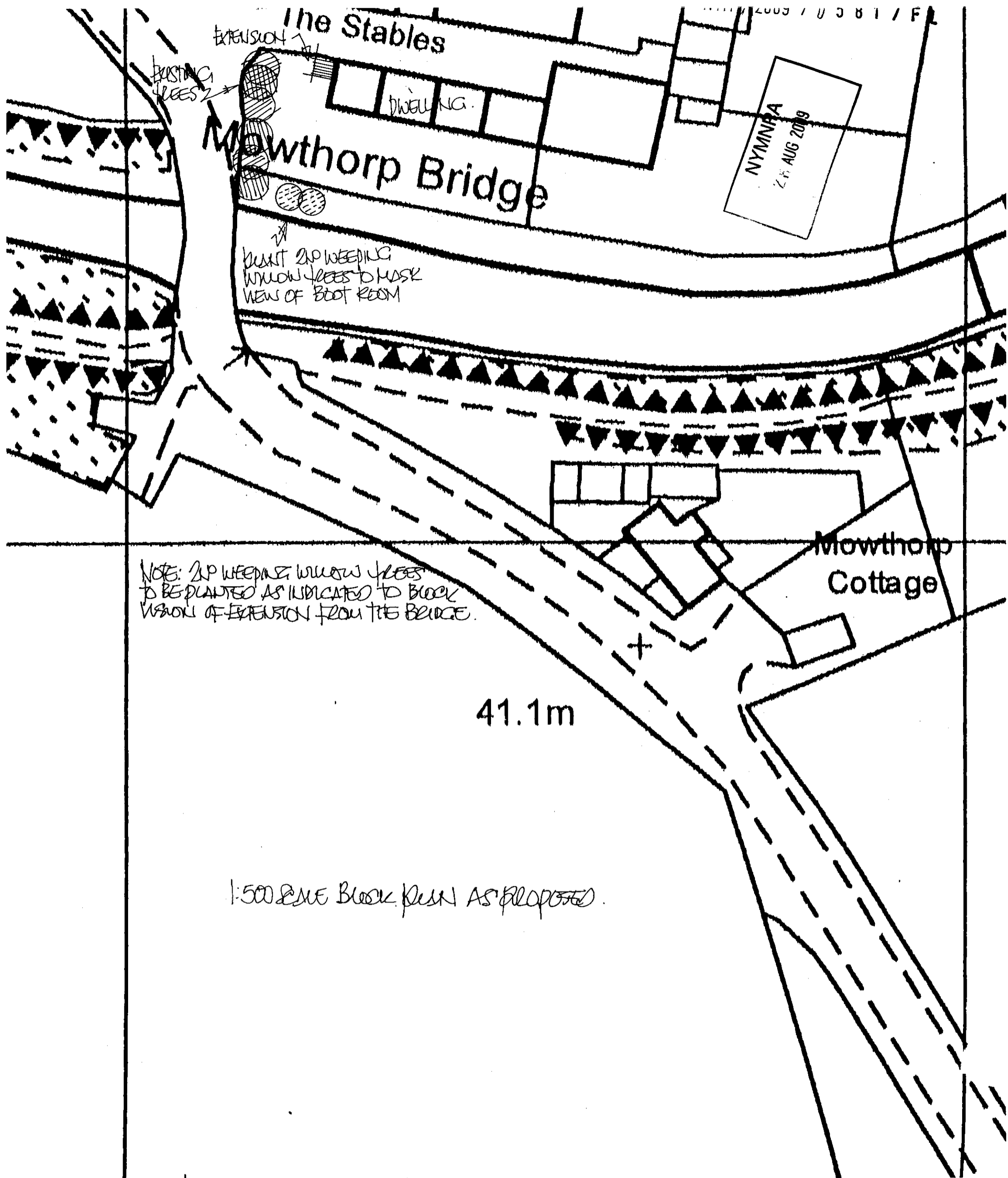


PROPOSED BOOT ROOM EXTENSION @ THE STABLES, MOUTHORPE FARM, HACKNESS, SCARBOROUGH YO12 5TB.
 DATE: AUGUST 2009 SCALE 1:100. DRAWING: PROPOSED PLAN & ELEVATIONS. CLIENTS: MR & MRS M HIRD. DRAW H297/3
 AGENT: C.C.DENT. MCIAF. UNIT 9 HOME FARM, MILL LANE, STIMINGTON, YORK. YO61 1NG. PHONE 0347-810668.

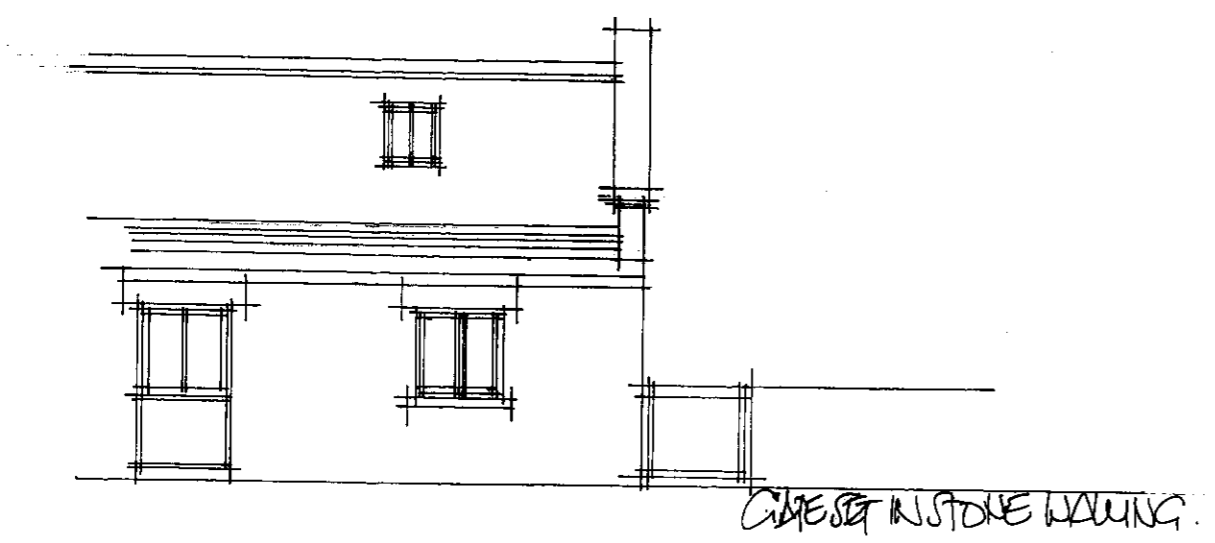


NOTE: 2IP WEEDING WILLOW TREES TO BE PLANTED AS INDICATED TO BLOCK VISION OF EXTENSION FROM THE BRIDGE.

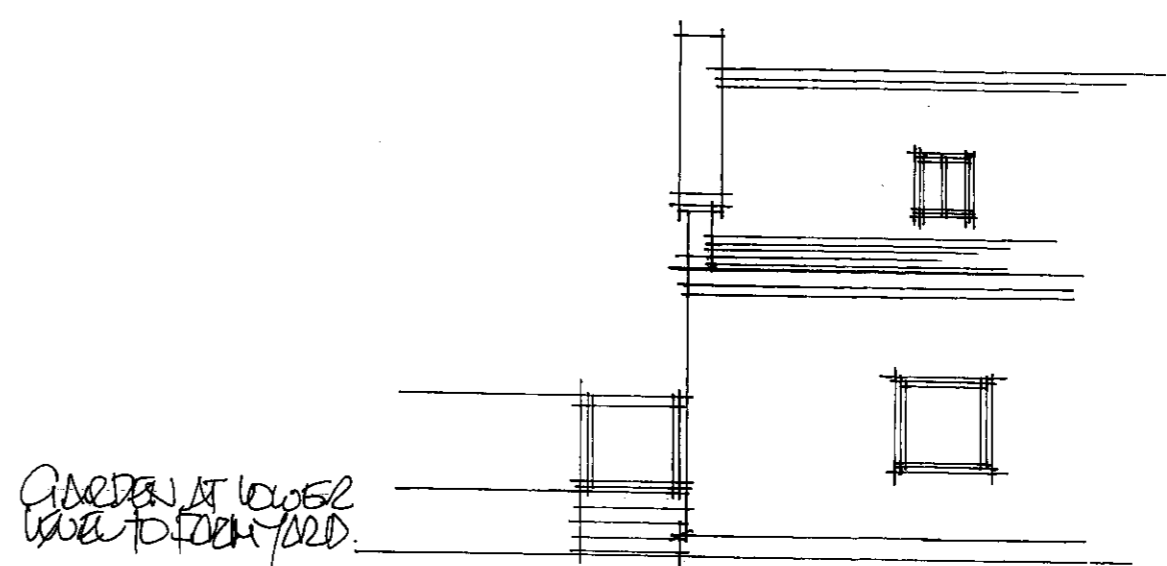
41.1m

1:500 S&ME BLOCK PLAN AS PROPOSED.

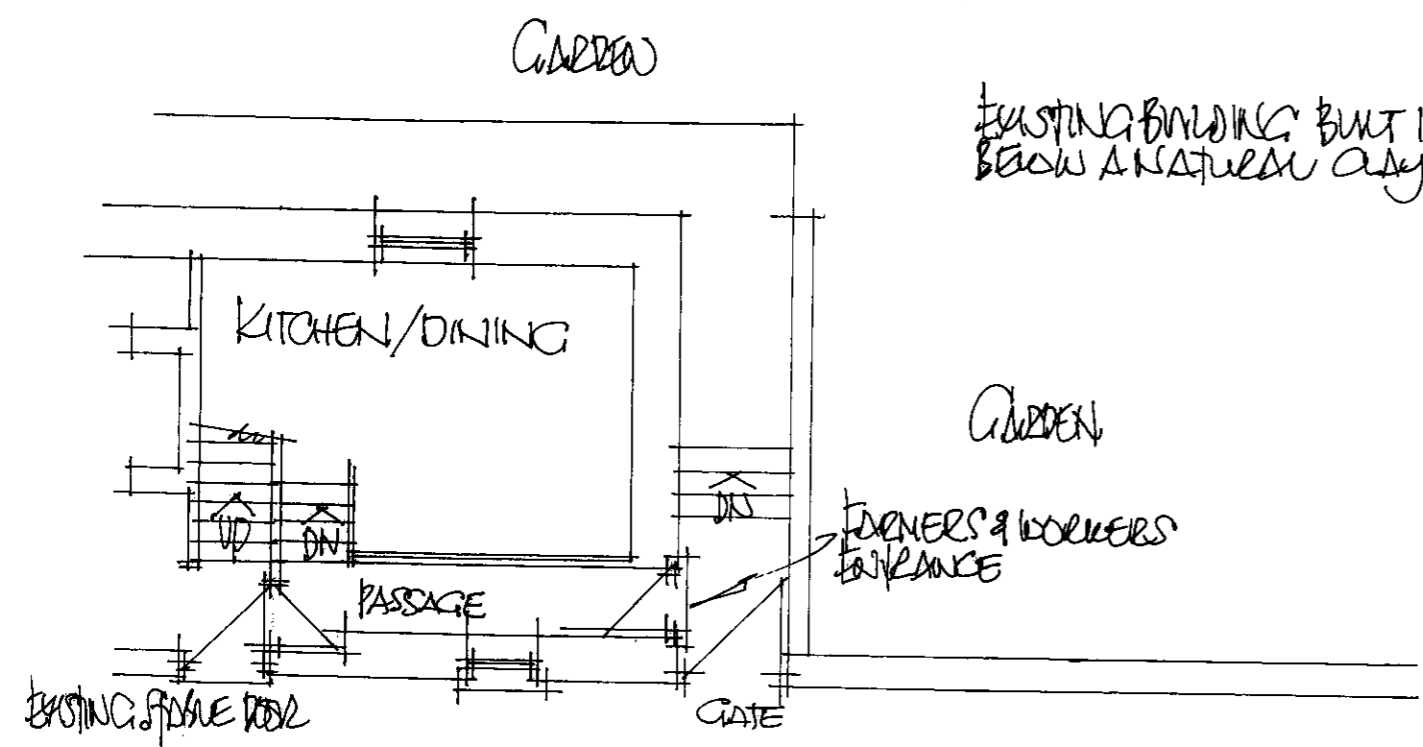
PROPOSED BOOT ROOM EXTENSION @ THE STABLES, MOWTHORPE FARM
 HACKNESS, SARBOROUGH. CLIENTS MRS & MRS M. HIRD (OWNERS)
 DATE AUGUST 2009. S&ME 1:500 S&ME: BLOCK PLAN AS PROPOSED. DRAW H297/1
 AGENT: C.C. DENT. MCINT. UNIT 9 HOME FARM, MILL LANE, STUNNINGTON
 YO61 1NG. phone 01347-810668



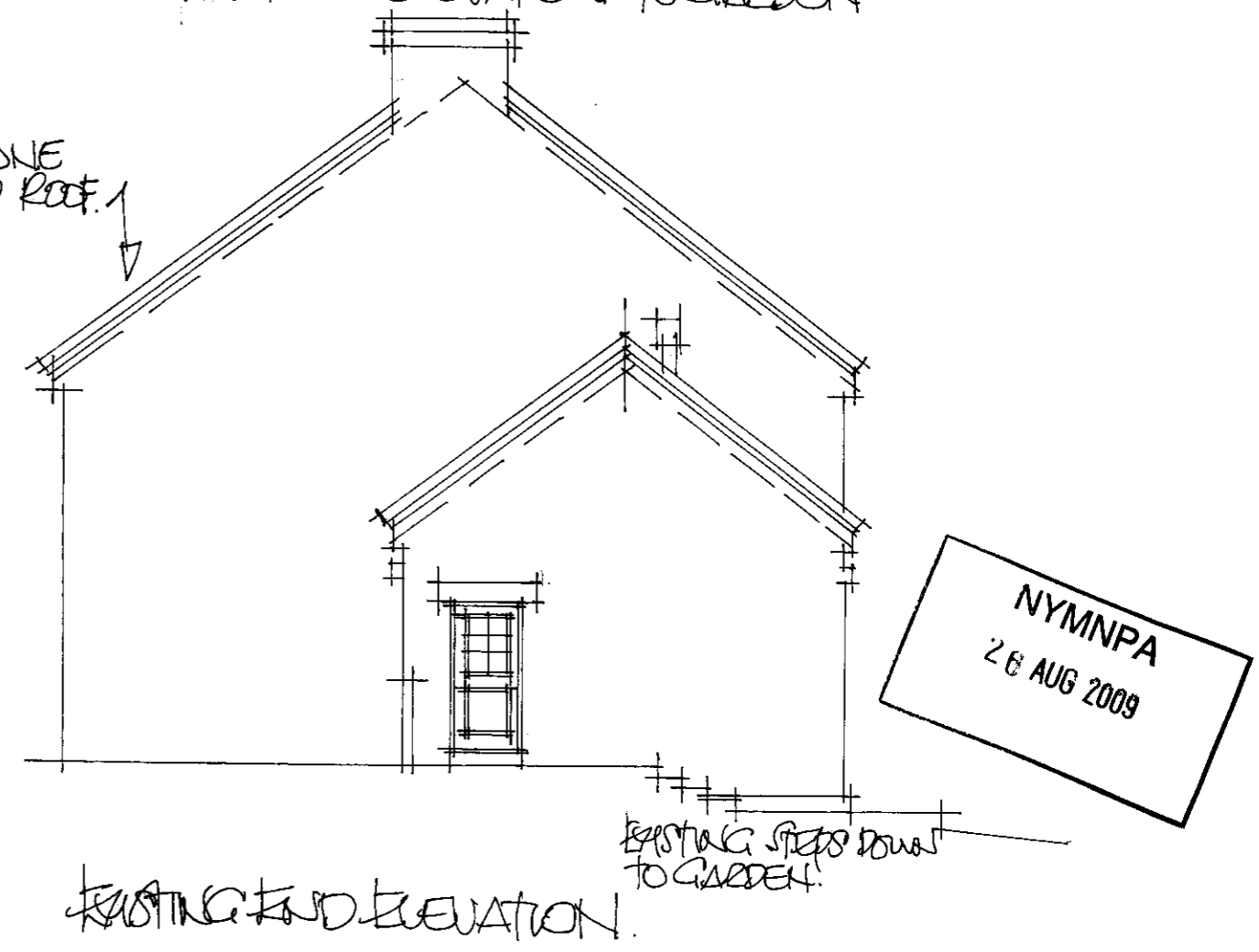
EXISTING FARMYARD ELEVATION



EXISTING ELEVATION TO GARDEN



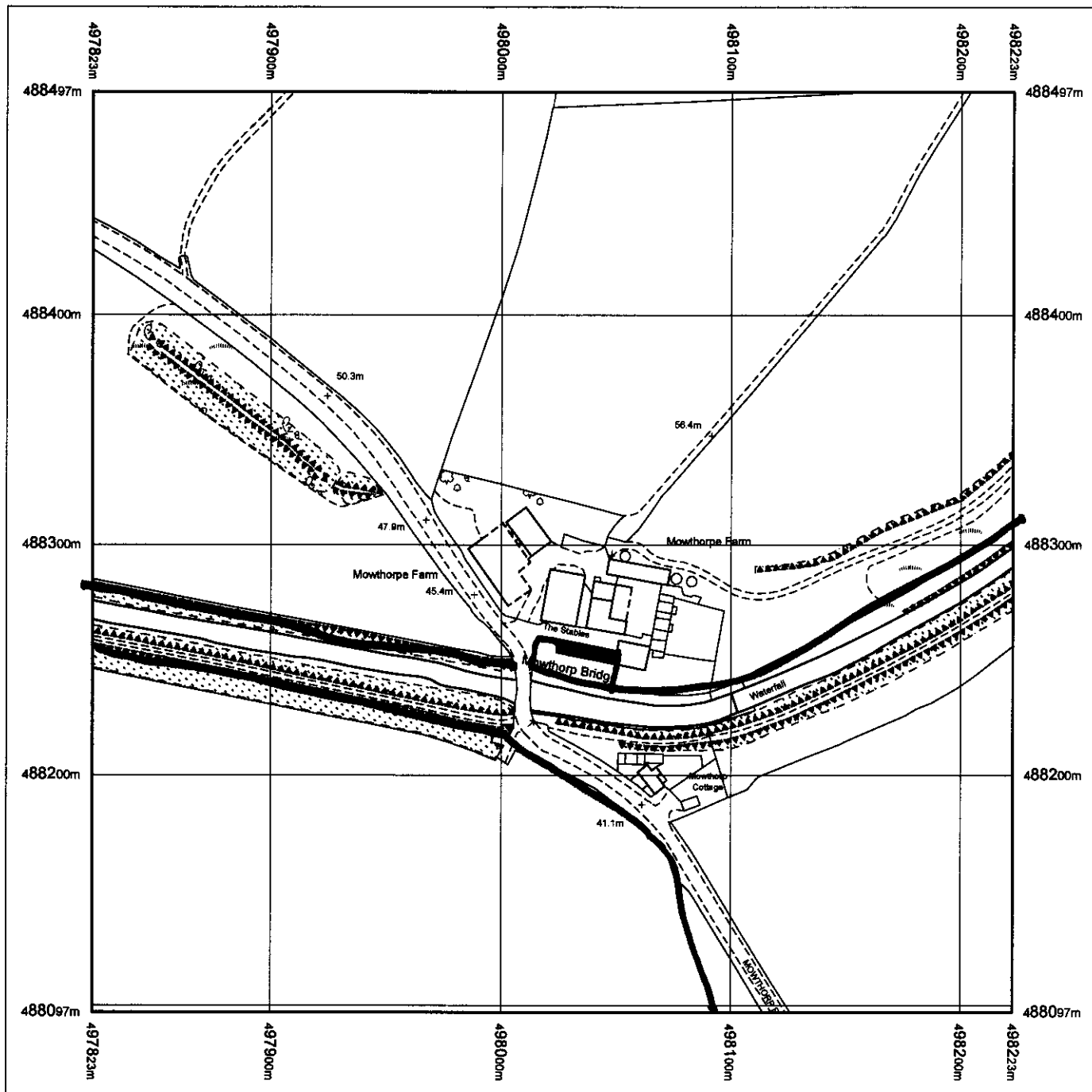
PLAN RUN AS EXISTING.



EXISTING END ELEVATION.

NYM NPA
28 AUG 2009

PROPOSED BOOT ROOM EXTENSION @ THE STABUES, MOWTHORPE FARM, HACKNESS, SCARBOROUGH YO12 5TB.
DATE AUGUST 2009 SCALE 1:100 DRAWING: PLAN & ELEVATIONS EXISTING. CLIENTS MR & MRS M. HIRD DRAWING NO H297/2
AGENT: C.C. DENT, MOAT UNIT 9 HOME FARM, MILL LANE, STILWINGTON, YORK. YO61 1NG. PHONE 0347-810668



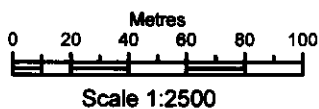
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The representation of a road, track or path is no evidence of a right of way.

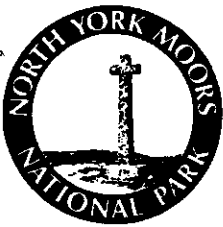
The representation of features as lines is no evidence of a property boundary.



Supplied by: **Blackwell M and D C**
Serial number: 01558600
Centre coordinates: 498022.75 488297

Further information can be found on the OS Sitemap Information leaflet or the Ordnance Survey web site:
www.ordnancesurvey.co.uk

NYMNPA
26 AUG 2009



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North York Moors National Park Authority
 The Old Vicarage
 Bondgate
 Helmsley
 York
 YO62 5BP
 Telephone: 01439 770657
 Email: dc@northyorkmoors-npa.gov.uk
 Website: www.moors.uk.net

Application for listed building consent for alterations, extension or demolition of a listed building.
 Planning (Listed Buildings and Conservation Areas Act) 1990

Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

1. Applicant Name and Address		2. Agent Name and Address	
Title:	MR MRS First name: MIKE	Title:	MR First name: CHAS. C.
Last name:	HIRD	Last name:	DEW
Company (optional):		Company (optional):	CHAS. C. DEW. MCAT
Unit:	House number: House suffix:	Unit:	9 House number: House suffix:
House name:	MOUTHORPE FARM	House name:	HOUSE FARM
Address 1:		Address 1:	MILL LANE
Address 2:		Address 2:	
Address 3:		Address 3:	
Town:	HACKWESS, EASEBOROUGH	Town:	SPURWINGTON, YORK.
County:	NORTH YORKSHIRE	County:	NORTH YORKSHIRE
Country:	UK	Country:	UK
Postcode:	YO12 5TB	Postcode:	YO61 1NG.

3. Description of Proposed Works

Please describe the proposals to alter, extend or demolish the listed building(s):

PROPOSED BOOT ROOM EXTENSION ON GABLE END OF EXISTING BUILDING.

3. Description of Proposed Works (continued)

Has the work already started without consent? Yes No

If Yes, please state when the work was started (DD/MM/YYYY):

(date must be pre-application submission)

Has the work been completed without consent? Yes No

If Yes, please state the date when the work was completed (DD/MM/YYYY):

(date must be pre-application submission)

4. Site Address Details

Please provide the full postal address of the application site.

Unit: House number: House suffix:

House name: **MOWTHORPE FARM**

Address 1: **NYM / 2009 / 0581 / FL 1**

Address 2:

Address 3:

Town: **HACKWESS & DOBOLDSH.**

County: **NORTH YORKSHIRE**

Postcode (optional): **YO12 5TB**

Description of location or a grid reference. (must be completed if postcode is not known):

Easting: Northing:

Description: **NYMNPA**

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5. Related Proposals

Are there any current applications, previous proposals or demolitions for the site? Yes No

If Yes please describe and include the planning application reference number(s), if known:

Description	Reference number

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much as possible:

Officer name:

Reference:

Date (DD/MM/YYYY):
(must be pre-application submission)

Details of pre-application advice received?

7. Neighbour and Community Consultation

Have you consulted your neighbours or the local community about the proposal? Yes No

If Yes please provide details:

8. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the council? Yes No

If Yes, please provide details:

9. Materials

Please provide a description of existing and proposed materials and finishes to be used in the building (demolition excluded):

	Existing (where applicable)	Proposed	Not Applicable	Don't Know
		NYM / 2009 / 0 5 8 1 / FL		
External walls	SANDSTONE	SANDSTONE	<input type="checkbox"/>	<input type="checkbox"/>
Roof covering	CLAY PANTILES	CLAY PANTILES.	<input type="checkbox"/>	<input type="checkbox"/>
Chimney			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Windows			<input checked="" type="checkbox"/>	<input type="checkbox"/>
External doors	PAINTED WOOD	PAINTED WOOD.	<input type="checkbox"/>	<input type="checkbox"/>
Ceilings	PLASTER BOARD & SKIM	PLASTER BOARD & SKIM	<input type="checkbox"/>	<input type="checkbox"/>
Internal walls			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Floors	TILED	TILED.	<input type="checkbox"/>	<input type="checkbox"/>
Internal doors			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Rainwater goods	CAST PAINTED	CAST PAINTED	<input type="checkbox"/>	<input type="checkbox"/>
Boundary treatments (e.g. fences, walls)			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Vehicle access and hard standing			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lighting			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Others (add description)			<input checked="" type="checkbox"/>	<input type="checkbox"/>

Are you supplying additional information on submitted drawings or plans?

Yes

No

If Yes, please state plan(s)/drawing(s) references:

DRAWING NO H 297 / 1 BLOCK PLAN PROPOSED / 2 PLANS & ELEVATIONS EXISTING.
/ 3 PLANS & ELEVATIONS PROPOSED. DESIGN & ACCESS STATEMENT, RESPECTIVE
PLANNING STATEMENT. SITE LOCATION PLAN

10. Demolition

Does the proposal include the partial or total demolition of a listed building? Yes No

If Yes, which of the following does the proposal involve?

- a) Total demolition of the listed building: Yes No
- b) Demolition of a building within the curtilage of the listed building: Yes No
- c) Demolition of a part of the listed building: Yes No

If the answer to c) is Yes:

i) What is the total volume of the listed building?(cubic metres)	
ii) What is the volume of the part to be demolished?(cubic metres)	
iii) What was the (approximate) date of the erection of the part to be removed? (MM/YYYY) (date must be pre-application submission)	

Please provide a brief description of the building or part of the building you are proposing to demolish:

Why is it necessary to demolish or extend (as applicable) all or part of the building(s) and or structure(s)?

EXTENSION TO FARM BOOT ROOM

11. Listed Building Alterations

Do the proposed works include alterations to a listed building? Yes No

If Yes, do the proposed works include (you must answer each of the questions)

- a) Works to the interior of the building? Yes No
- b) Works to the exterior of the building? Yes No
- c) Works to any structure or object fixed to the property (or buildings within its curtilage internally or externally)? Yes No
- d) Stripping out of any internal wall, ceiling or floor finishes (e.g. plaster, floorboards)? Yes No

If the answer to any of these questions is Yes, please provide plans, drawings, photographs sufficient to identify the location, extent and character of the items to be removed, and the proposal for their replacement, including any new means of structural support and state references for the plan(s)/drawing(s):

NYMNPA
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12. Listed Building Grading

Please state the grading (if known) of the building in the list of Buildings of Special Architectural or Historic interest? (Note: only one box must be ticked)

- Grade I Ecclesiastical Grade II
- Grade II Ecclesiastical Grade II*
- Grade II* Don't know
- Ecclesiastical Grade I

13. Immunity From Listing

Has a Certificate of Immunity from Listing been sought in respect of this building?

- Yes No Don't know

If Yes, please provide the result of the application:

14. Certificates (continued)

CERTIFICATE OF OWNERSHIP - CERTIFICATE D

Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

NYM / 2009 / 0 5 8 1 / F L /

The steps taken were:

	<p>NYMNPA</p> <p>26 AUG 2009</p>
--	---

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

--	--

Signed - Applicant:

Or signed - Agent:

Date DD/MM/YYYY:

--	--	--

15. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

- | | |
|--|---|
| 3 copies of a completed and dated application form: <input checked="" type="checkbox"/> | 3 copies of other plans and drawings or information necessary to describe the subject of the application: <input checked="" type="checkbox"/> |
| 3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North: <input checked="" type="checkbox"/> | 3 copies of the completed, dated Ownership Certificate (A, B, C, or D - as applicable): <input checked="" type="checkbox"/> |

16. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

	[Redacted]	25/08/09 (date cannot be pre-application)
--	------------	---

17. Applicant Contact Details

Telephone numbers

Country code:	National number:	Extension number:
[Redacted]	[Redacted]	
Country code:	Mobile number (optional):	
Country code:	Fax number (optional):	

Email address (optional):

[Redacted]

18. Agent Contact Details

Telephone numbers

Country code:	National number:	Extension number:
[Redacted]	[Redacted]	
Country code:	Mobile number (optional):	
	[Redacted]	
Country code:	Fax number (optional):	
[Redacted]	[Redacted]	

Email address (optional):

[Redacted]

19. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (*Please select only one*) Agent Applicant Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name:

Telephone number:

Mrs Lyn Hied

[Redacted]

Email address:

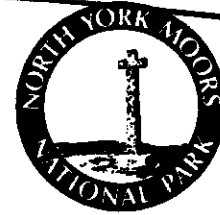
[Redacted]

NYMNP

26 AUG 2009

VALIDATION CHECKLIST

**APPLICATION FOR LISTED BUILDING CONSENT –
extensions, alterations or demolition of a listed building**



Please complete the attached checklist to indicate what you have included with your application. All plans should include paper size, key dimensions and scale.

STANDARD REQUIREMENTS:

(1 original and 3 copies to be supplied unless the application is submitted electronically)

- | | | |
|---|---|---|
| Completed application form | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Completed Certificate of Ownership, A, B, C or D as required by Article 7 of the Town and Country Planning (General Development Procedure) Order 1995 and by Regulation 6 of the Planning (Listed Building and Conservation Areas) regulations 1990 | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Location Plan at a scale of 1:2500 or 1:1250 with your application site edged red and any other land in your ownership edged in blue | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Existing site layout plans at a scale of 1:100, 1:200 or 1:500 showing the site in relation to existing buildings and site boundaries. The plan should indicate where existing features of the site are located including existing buildings (indicating proposed demolitions), trees (identifying any proposed felling), means of access and type of enclosure (wall, fence, hedges) and shall show adjacent properties/buildings | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Proposed site layout plans at a scale of 1:100, 1:200 or 1:500 | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Existing and proposed elevations to a scale of 1:50 or 1:100
Requirements dependent on position of extension eg. no front elevation required for rear extension etc. | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Existing and proposed floor plans to a scale of 1:50 or 1:100
For each floor, ie, ground and first floor plans required for two storey extension | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |
| Existing and proposed site sections and finished floor and site levels to a scale of 1:50 or 1:100 | YES <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> |
| Plan to a scale of not less than 1:20 to show all new doors, windows, shop-fronts, panelling, fireplaces, plaster moulding and other decorative details | YES <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> |
| Roof plans to a scale of 1:50 or 1:100
if proposed development alters the existing roof | YES <input type="checkbox"/> | N/A <input checked="" type="checkbox"/> |
| Design and Access Statement | YES <input checked="" type="checkbox"/> | N/A <input type="checkbox"/> |

ADDITIONAL REQUIREMENTS (where likely to be relevant to the development proposed)

Structural Survey

YES

N/A

Schedule of Works

YES

N/A

NYMNP
26 AUG 2009

**Design and Access Statement
for
Proposed Boot Room Extension
at**

The Stables, Mowthorpe Farm, Hackness, Scarborough YO12 5TB

NYMNPA

26 AUG 2009

1.0 INTRODUCTION

1.1 This document is a Design & Access Statement to accompany the enclosed full planning application and Listed Building application for a Boot Room Extension at The Stables, Mowthorpe Farm, Hackness. The property is a farm dwelling formed from a barn conversion attached to the main farm house, Mowthorpe Farm. The principal building is early C19 and Grade 2 Listed.

1.2 It should be read in conjunction with the enclosed *Supporting Planning Statement*. This report has also been prepared by this Company and will assist in the comprehension of the proposed development.



This picture is a general view of the front elevation of The Stables taken from the Mowthorpe Bridge on the adjacent public highway: Mowthorpe Road.

DESIGN

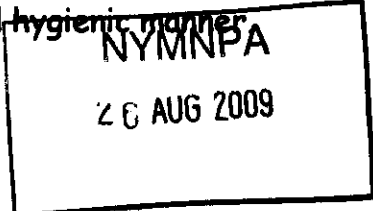
2.0 USE

2.1 The site lies to the south of the village of Hackness beside Mowthorpe Bridge (Listed) and a watercourse: the sea cut, with Raincliffe Woods a little way further to the south. This road runs between Hackness, beside this site, and alongside Forge Valley onwards to East and West Ayton, where it joins the A170 Scarborough road. The centre of Scarborough is only about six miles to the east. In general planning land use/policy terms, the proposed small extension to provide a boot room is in our view a minor development.

2.2 The position of the proposed extension is on the western gable of the barn over the doorway to the kitchen which is the main door used at the farmhouse

on a day to day basis. There is a further door to the house centrally positioned on the rear elevation leading directly to the yard area.

2.3 It is intended that extension will be for the storage of farm boots. It has been found through daily use that the present arrangement of accessing directly from the farm outside into the raised corridor above the kitchen and living rooms is impractical and inconvenient especially in the winter or in inclement weather. There is currently simply no adequate space to store wet and muddy farm boots before walking into the house. Further, the present configuration of the raised "corridor" to the kitchen and other living rooms provides no opportunity to construct an *inner* porch to suitably store boots. Therefore, we feel it is essential from a functional point of view that this extension is built to allow the farmer and other outside workers to enter the house and suitably store boots in a practical and hygienic manner.



3.0 AMOUNT

3.1 The application is for a very modest development of a 2.4m x 2.4m simple lean-to extension on the gable over the existing doorway to provide the boot room facility. The roof will be a single pitch in traditional red clay pantiles. The walls externally will be sandstone to match the main barn conversion. The door will be split, and half glazed to allow natural light into the room; there will be no windows.



This is the door over which the extension will be built.

3.2 From a safety viewpoint it is vital that there is a fence to separate the house entrance from the busy farm yard/vehicular access area, to ensure children cannot run straight out of the house on to the farm yard, where large vehicles manoeuvre, often in reverse gear.

5.0 SCALE

5.1 The proposal is of a very small scale (2.4m x 2.4m) which is appropriate for this former agricultural building. It is minor in the context of the main Listed Building and the barn conversion, which is not exceptional in itself but is, we understand, Listed simply as a curtilage building. The scale indicated will ensure that the development will look appropriate in this setting, and within the overall rural scene.

6.0 LANDSCAPING

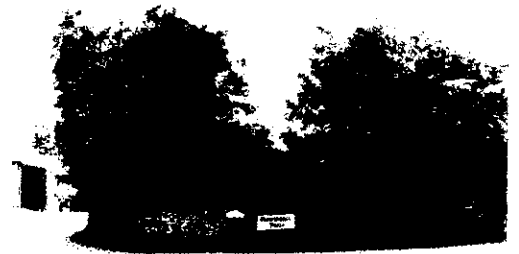
6.1 The property sits in a relatively well screened setting. *This picture shows the trees which screen the entrance to the farm yard. The subject door can just be seen.*

The second picture below shows the view from Mowthorp Road, just before crossing the bridge.



6.2 The application plans indicate some new tree planting to help screen the site of the extension when viewing the property from the highway to the south of the site. These will supplement the screening already provided here by trees and the mature hedge.

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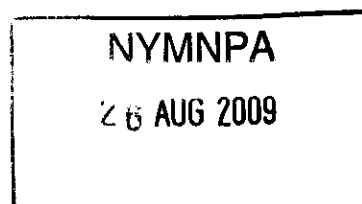


7.0 APPEARANCE

- 7.1** The underpinning concept relating to the appearance of the proposal is to ensure that the project is a low key development which blends into the existing natural and built environment and respects the character of this farm group, the Listed buildings, and this attractive rural part of the National Park.
- 7.2** As indicated on the submitted plans, the proposed materials are natural and match the existing building, including sandstone for the walls and traditional red clay pantiles for the roof. These materials complement the older buildings here and have been selected to ensure that the project will blend into the landscape and mellow down over the years.

ACCESS

- 8.1** As mentioned above, the property has an existing farm yard access which will not be altered.
- 8.2** The affected doorway entrance to The Stables itself will be sufficiently wide to take a wheelchair and will have a small threshold, as now. The barn conversion was formed within the physical and planning constraints of the former listed stables building and these limitations dictated that the property is not ramped or adapted for people with disabilities. There are numerous staircases in the property, both to living rooms as well as bedrooms. This scheme will make the access situation no worse. We understand that it is generally accepted that Listed Buildings cannot always meet the requirements of modern day access standards without unacceptable detriment to their character.
- 8.3** The site is readily accessed by car, foot or bicycle from the adjacent adopted main village road. We conclude that given the location near this outlying rural hamlet, this site has acceptable access for all.



**Supporting Planning Statement
for
Boot Room Extension
at**

**NYMNPA
26 AUG 2009**

The Stables, Mowthorpe Farm, Hackness, Scarborough YO12 5TB

1.0 INTRODUCTION

1.1 This report is a Supporting Planning Statement in respect of the enclosed planning application and Listed Building application submitted by Mr & Mrs Hird for a small boot room extension to their farmhouse; a barn conversion at Mowthorpe Farm . It supplements the *Design & Access Statement* which has also been prepared by this Company.

1.2 In mid July we informally discussed the preliminary proposals with the NYM National Park Planning Officers when different option plans were left with the Department. We are pleased to note that there was general support for this option for the proposed development, provided the windows were deleted, as now indicated on the formal submission.

1.4 This report will describe the background to the application, the site and application, briefly review the planning history, and outline the relevant local and National Planning Policies, and finally review the proposal in the light of those policies.

1.5 Having regard to all of the above it is suggested that the proposed scheme accords with the planning policies and should be considered to be satisfactory in planning and Listed Building terms.

2.0 BACKGROUND

2.1 Our clients have strong, long standing farming connections in the locality; the family have farmed here for around 50 years. Mr Hird, the applicant, was born here. His retired parents still reside in the main farm house.

2.2 Only Mr Hird junior and his wife now work on the farm so there are many contractors coming and going and visiting the house (and all their boots!). This development is for a small boot room extension which is considered to be essential for the proper functioning of the barn as farmhouse.

NYMNPA

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3.0 THE SITE AND THE APPLICATION

- 3.1 This site is a former single storey stone agricultural building attached to a Grade 2 Listed Building: Mowthorpe Farm. The description notes:

"Farmhouse. Early C19. Hammer-dressed sandstone. Slate roof. Brick stacks. Central stairhall plan, 2 rooms deep. 2-storey, symmetrical 3-window front. Stone steps to central half-glazed door with rectangular fanlight. 16-pane sashes with stone sills and lintels throughout. Ground floor windows taller than the upper. Coped gables with plain kneelers. End stacks."

We understand that Listed Building consent is required in this instance as the property is a curtilage building to the main house. The subject building is built in the local vernacular, being stone and pantiles, relatively simple in style, with a long and narrow form. The dwelling is now two storeys in height, the extra floor being formed largely by excavation. It is attached to the main farm house at the eastern end. There are large modern agricultural buildings to the rear (north) across the yard behind the site. To the south of the main building is a garden, enclosing hedge, then a water course and then Mowthorp Road and the Listed Bridge. Mature trees effectively screen the site to the west.

- 3.2 The proposal is to simply add a 2.4m x 2.4m stone lean-to single storey extension on the western gable, over the existing doorway, which will be changed to a split half glazed door, to provide a boot room. External finishing materials are to be matching stone and traditional clay pantiles. There will be new half glazed split entrance door for some natural light to the room and, as suggested by the Officers, no windows (Further information is given in the D & A Statement). Additional tree planting is indicated to the south.

4.0 PLANNING HISTORY

- 4.1 The only relevant planning history is that the barn conversion itself has full planning permission and Listed Building consent. These were granted in 2000 and our clients moved in to the house in 2001.

5.0 PLANNING POLICIES

- 5.1 Planning and Listed Building applications have to be determined in the light of current planning policies, unless material considerations dictate otherwise. In respect of this application we believe that the main policies are contained in

the North York Moors National Park Authority Local Development Framework Core Strategy and Development Policies, which was adopted in late 2008.

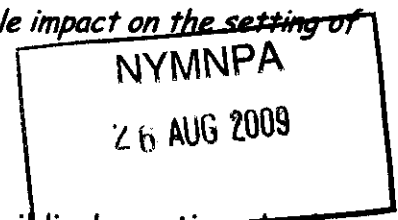
5.2 Core Policy A is a general development policy which applies to all applications and sets out a series of eight criteria. Development which accords with this and other relevant policies in the Plan will generally be permitted where these criteria are met. In respect of this development the main issues revolve around suitable scale, design, conserving and enhancing building features and historic assets, and strengthening the rural economy.

5.3 Development Policy 5 is a key policy in this case as it considers Listed Buildings. It states:

"Proposals for the alteration, extension or change of use of a Listed Building or the construction of any structure within its curtilage will only be permitted where they will not have an unacceptable impact on the special historic or architectural interest of the building .

Any development which would have an unacceptable impact on the setting of the Listed Building will not be permitted.

Proposals for the demolitionetc".



In the supporting text it is explained that for the building's continued upkeep and active use, change can be allowed, but that any alterations and extensions must complement the special historic or architectural character of the building and that the removal of the historic fabric will not be allowed.

5.4 Development Policy 8 is *partly* relevant as it concerns Conversion of Traditional Rural Buildings, so whilst the actual conversion has already been approved and taken place, the general design advice is helpful. The building footprint has not changed in the new use as a dwelling house and the Policy allows for some additions. Within the criteria it states that they must be carried out:

"without the need for significant extensions, alterations or other new buildings"

It also requires that:

"The proposal is of high quality design and which retains existing external features which contribute significantly to the character of the building including original openings and roofing materials, reflects the simple functional

form and traditional character of the building and provides ~~for essential~~ services and other functional requirements without harm to the fabric of the building." (our emphasis in each case).

- 5.5 National Planning Policy is primarily contained within PPS7, Sustainable Development in Rural Areas and PPG15 Planning and the Historic Environment
- 5.6 PPS7 examines sustainable development in rural areas. In paragraph 17, consideration is given to the re-use of buildings in the countryside. The Government's Policy is positive in terms of support for the re-use of these buildings. It states that re-use for economic development purposes *"will usually be preferable, but residential conversions may be appropriate in some locations, and for some types of buildings. Planning Authorities should therefore set out in their LDD's their policy criteria for permitting the conversion and re-use of buildings in the countryside for economic, residential and any other purpose including mixed uses"*. Within the criteria to be taken into account is *"the need to preserve, or the desirability of preserving, buildings of historic or architectural importance or interest, or which otherwise contribute to local character."*
- 5.7 PPG15 contains the Government's guidance on Listed Buildings including their control. Clearly the principal building in this case is the main farm house described in the Listing. However, the barn conversion is part of the Listing also as a curtilage building. It is not only physically attached the house at one gable, but historically it obviously has a functional connection as well as one of ownership. The primary issue of concern in the application for Listed Building Consent must revolve around the impact of the development on the group and the setting of the main building. Further, it is relevant that the Authority has already permitted its conversion to a new use as a dwelling involving some external changes to the former agricultural building. The advice does not preclude alterations or new uses for listed buildings. Related advice is given at para. 2.17 and then at para. 3.13 where the Statement notes:

"The setting of individual listed buildings often owes its character to the harmony produced by a particular grouping of buildings (not necessarily all of great individual merit) and to the quality of the spaces between them ..."

"Many Listed Buildings can sustain some degree of sensitive alteration or extension to accommodate continuing or new uses. Indeed cumulative changes reflecting the history of use and ownership are themselves an

aspect of special interest of some buildings, and the merit of some new alterations or additions, especially when they are generated within a secure and committed long term ownership, should not be discounted".

5.8 In addition to the policy framework outlined above we have had regard within the design of the proposal to the following documents:

- 1. The Authority's own Design Guide Part 1 General Principles Supplementary Planning Document (SPD), including advice at 4.2 Listed Buildings that "any extensions should respect and complement the special historic and architectural character of the building in terms of materials and detailing".**

Also Policy BE4, Development Affecting the Setting of a Listed Building:

"Development, which would have an unacceptable effect on the setting of a Listed Building will not be permitted. High standards of design will be required for any new development within the curtilage of or adjacent to a Listed Building or within its wider setting, in terms of siting, scale, design, materials and detailing."

Naturally we also considered the general Policy for all development, BE6 Design for New Development, where, in order to be considered favourably, all schemes have to meet a series of criteria covering satisfactory (briefly): siting, compatibility with neighbours, traditional detailing/materials, landscaping and retaining important open spaces and features.

- 2. English Heritage's Guide to good practice: The Conversion of Traditional Farm Buildings. Here we believe the key issues in this instance are the linear form of the farm steading, the scale and form of the subject building, its function (and earlier stables function) as well as the materials used in the construction.**

6.0 A REVIEW OF THE PROPOSAL IN THE LIGHT OF POLICIES.

6.1 We appreciate that great care must be taken in proposing an extension to a simple listed barn such as this and that if the barn had been, for example, prominent and free standing on a daleside, then the formation of an extension on the gable may look alien and detract from the simplicity of the structure. However, we argue that in this instance, in this particular location, the proposal

