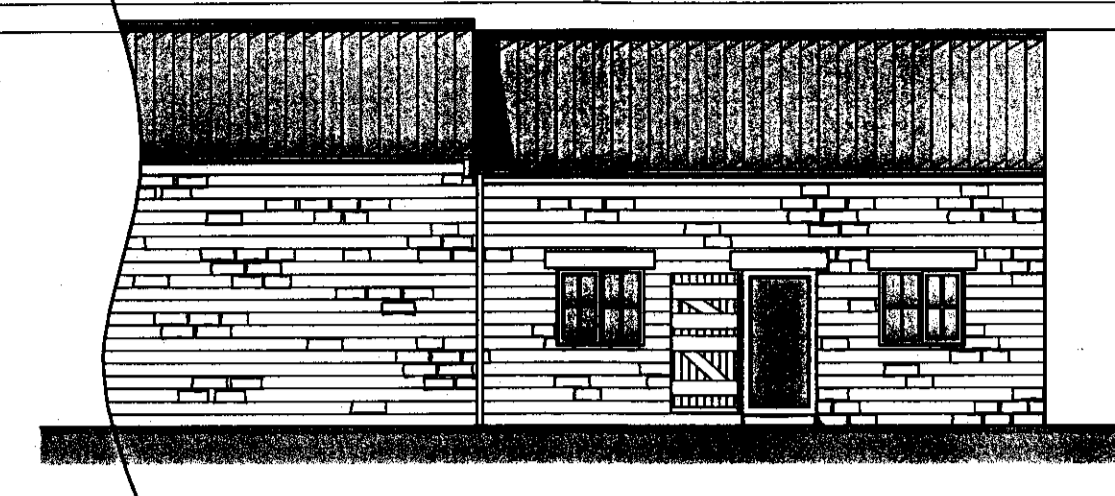


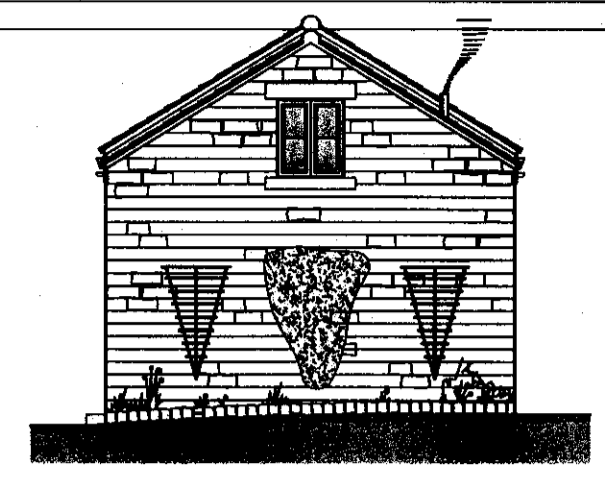
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W.M.H.F.A
 27 AUG 2009



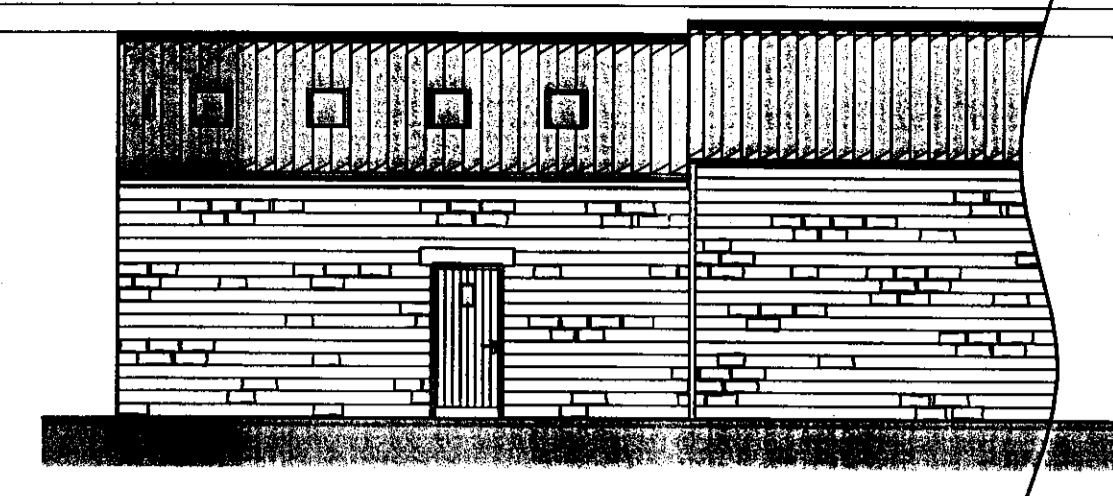
Proposed Front Elevation

1:100



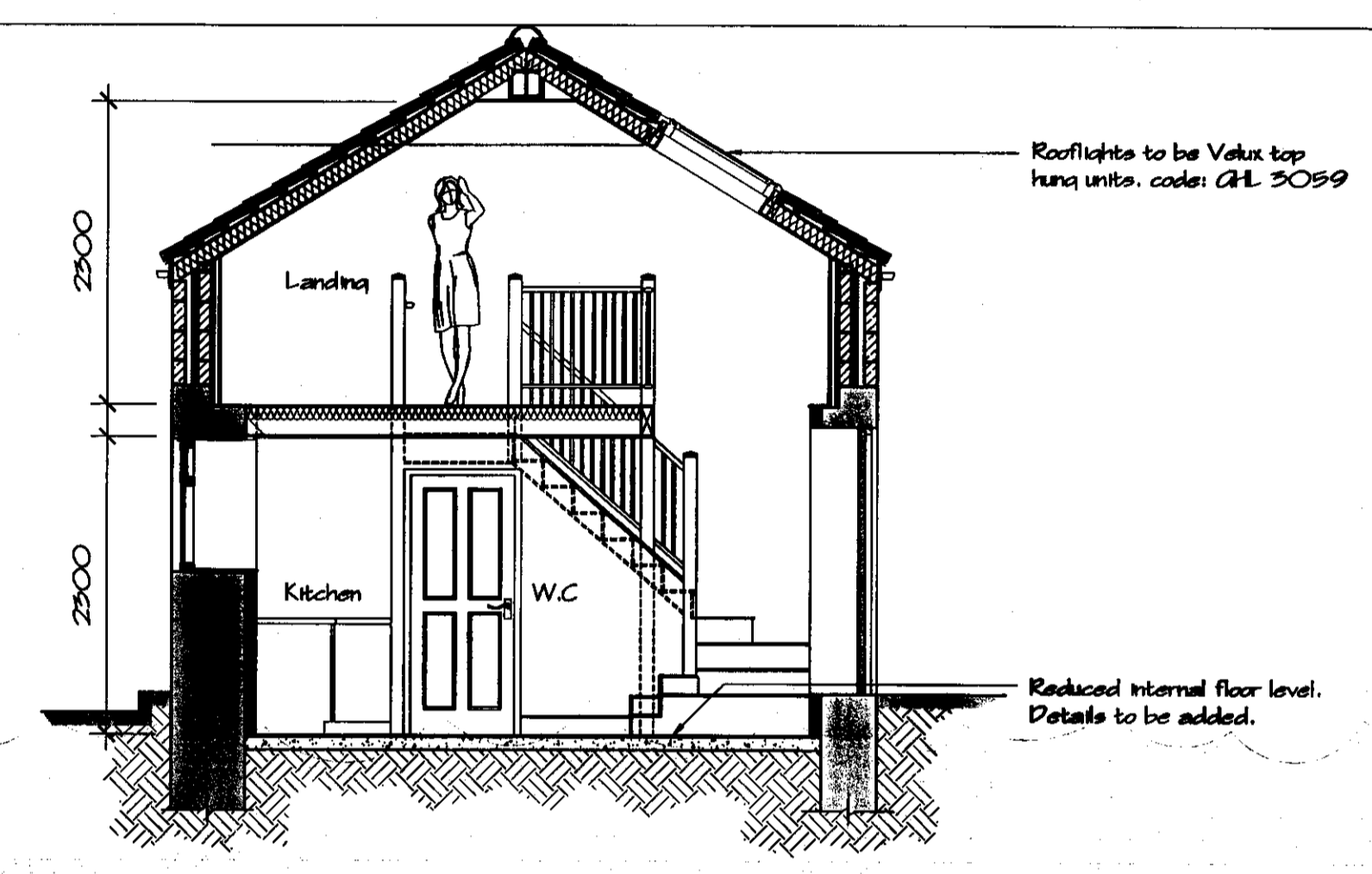
Proposed Side Elevation

1:100



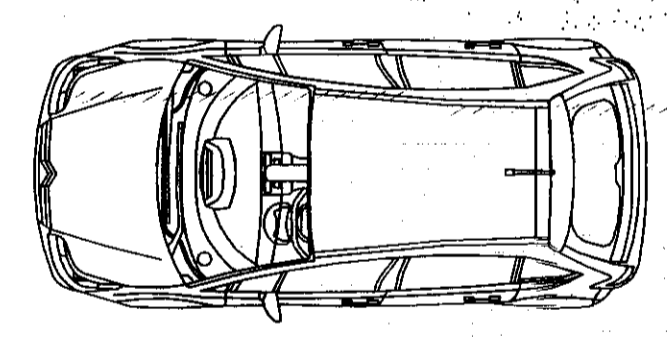
Proposed Rear Elevation

1:100



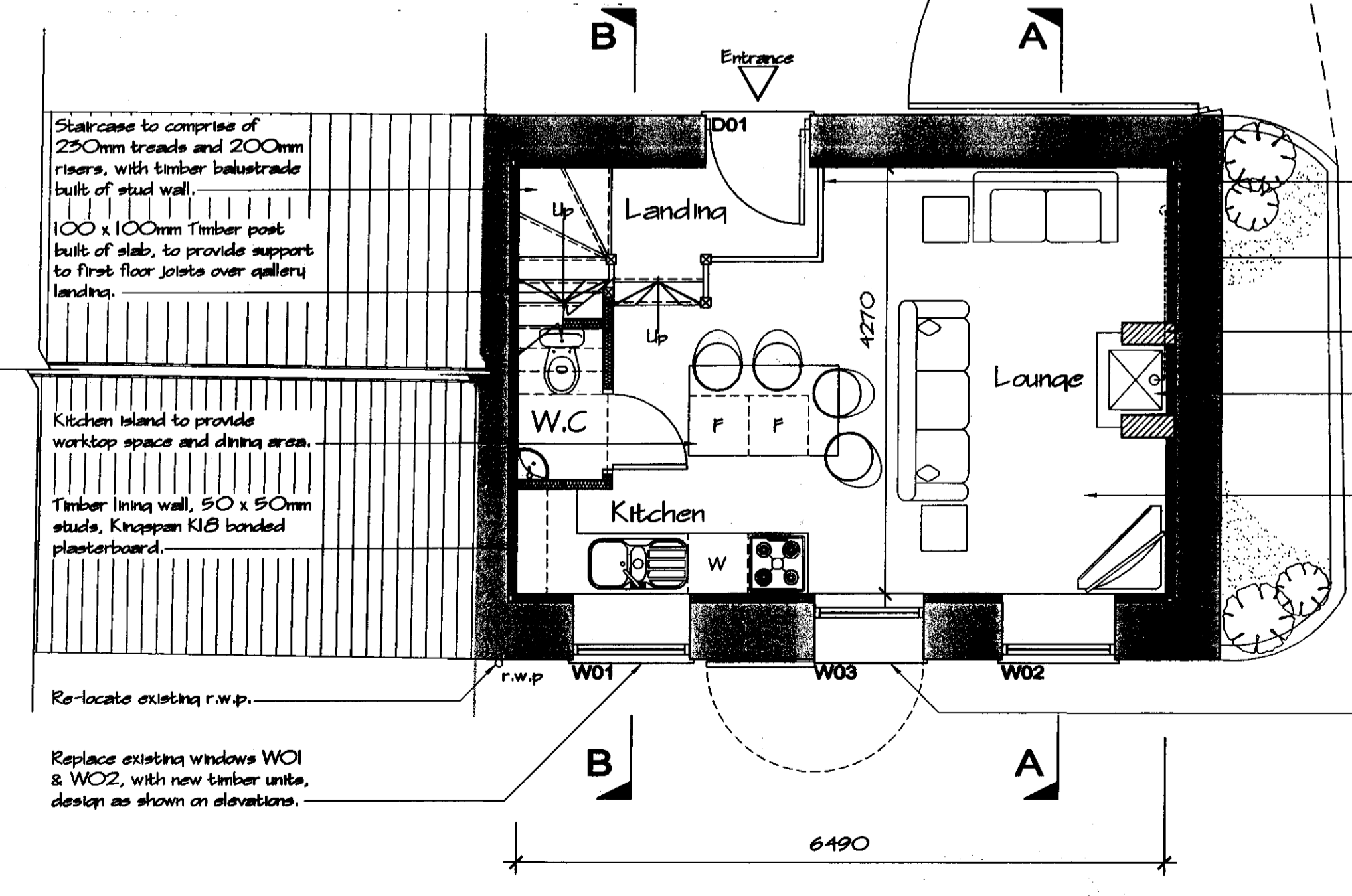
Proposed Section B.B

1:50



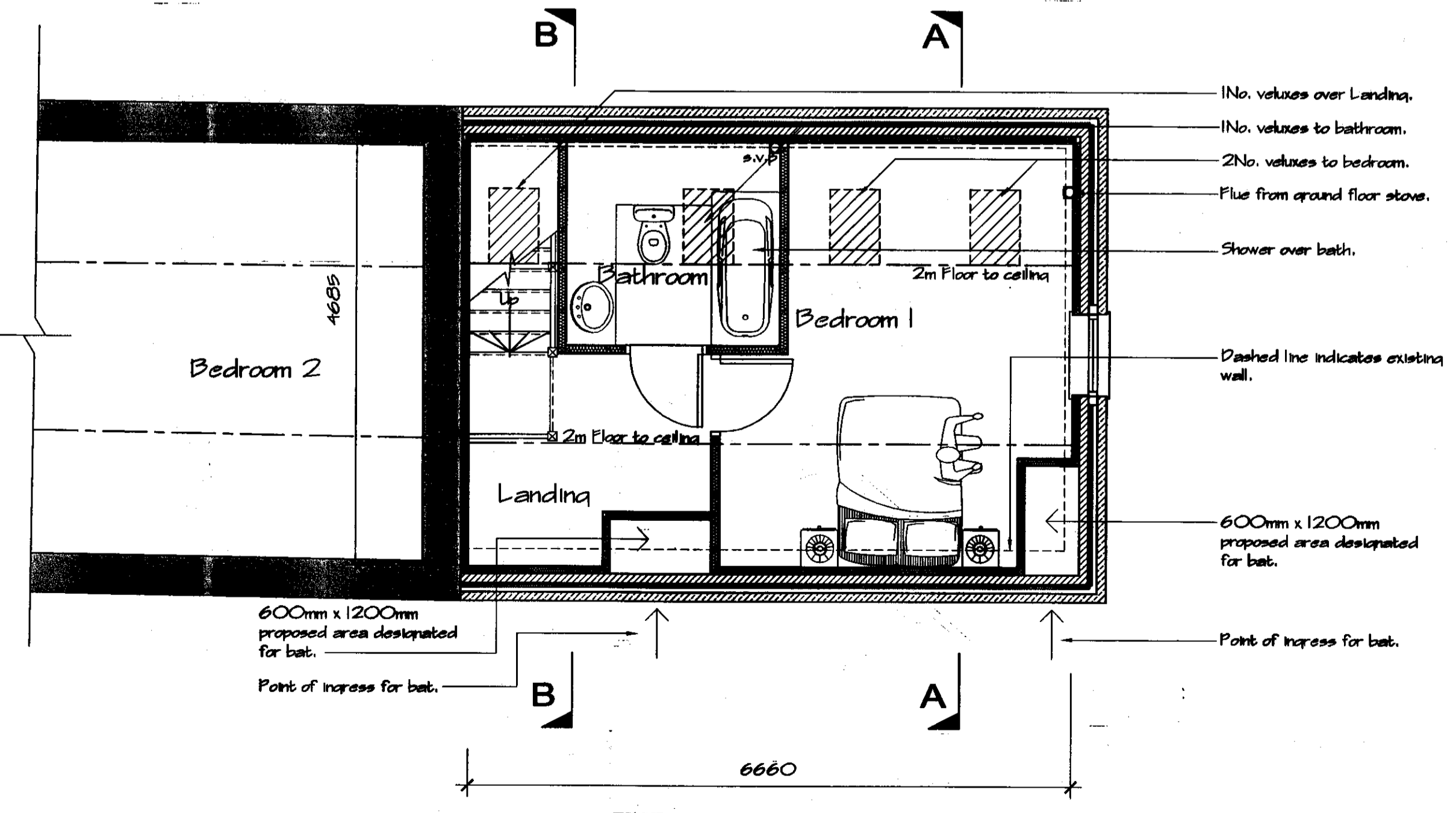
Tarmac Drive

Road



Proposed Ground Floor Plan

1:50



Proposed First Floor Plan

1:50

Drawings for Planning consideration only, Construction Details to be added.

REV	DATE	BY	AMENDMENT	CHKD	APPD
B	21/08/09	DC	Boxing for designated bat areas shown	TRH	
A	12/08/2009	MDT	Issued for approval	TRH	

b h d partnership
 Airy Hill Manor, Whitby, North Yorkshire, UK, YO21 1QB.
 Tel: 01947-604871 Fax: 01947-600010
 general@bhdpartnership.com www.bhdpartnership.com

DISCIPLINE: **ARCHITECTURAL**

CLIENT: **Mr D.Stewart**

PROJECT: **Alterations to, Rigg farm Caravan park, Sneatonthorpe**

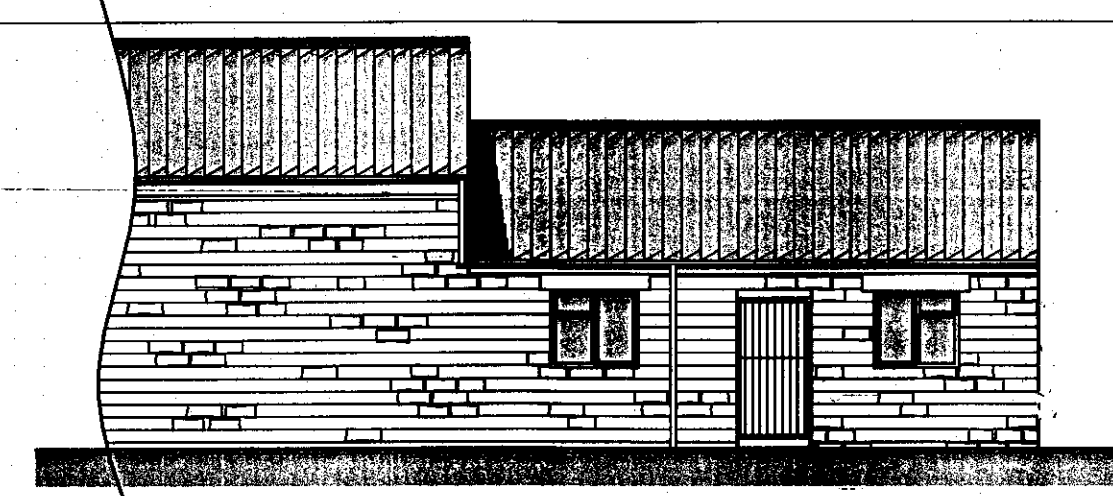
TITLE: **Proposed Plans & Elevations**

DRAWN:	CHECKED:	APPROVED:
M.D.Todd	T.R.Harrison	
SCALE & SIZE:	DATE:	DRAWING STATUS:
1:50, 1:100 @ A1	29/05/2009	Preliminary

DRAWING No: **D9655-04** REF: **B**

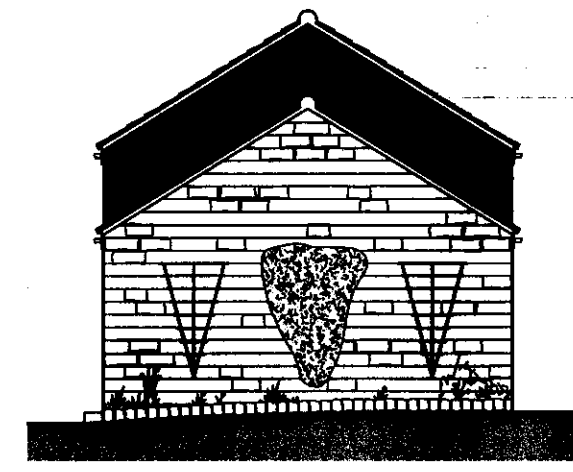
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- The Contractor must report any discrepancies before commencing work. If this drawing exceeds the quantities taken in any way, the Technician is to be informed before work is initiated.
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APPROVA
27 AUG 2009



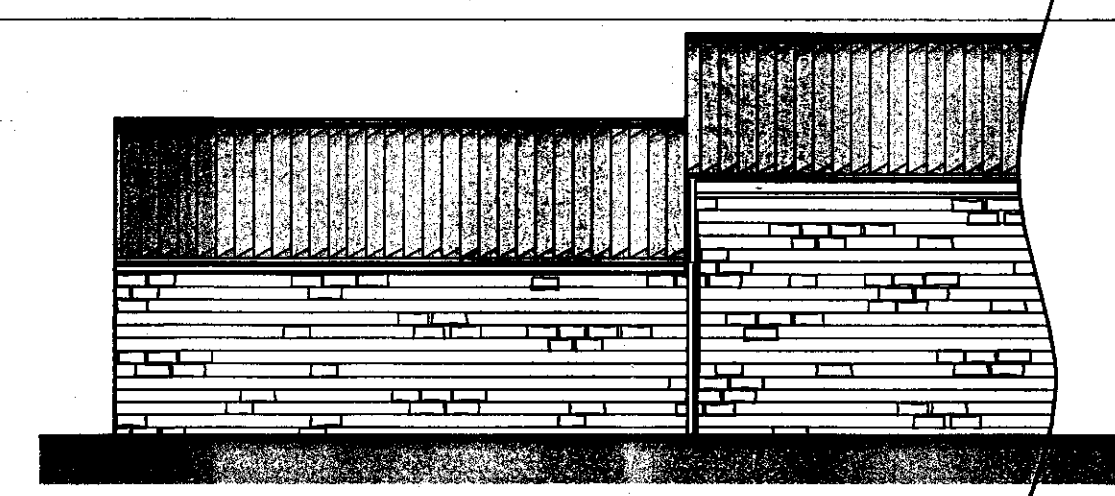
Existing Front Elevation

1:100



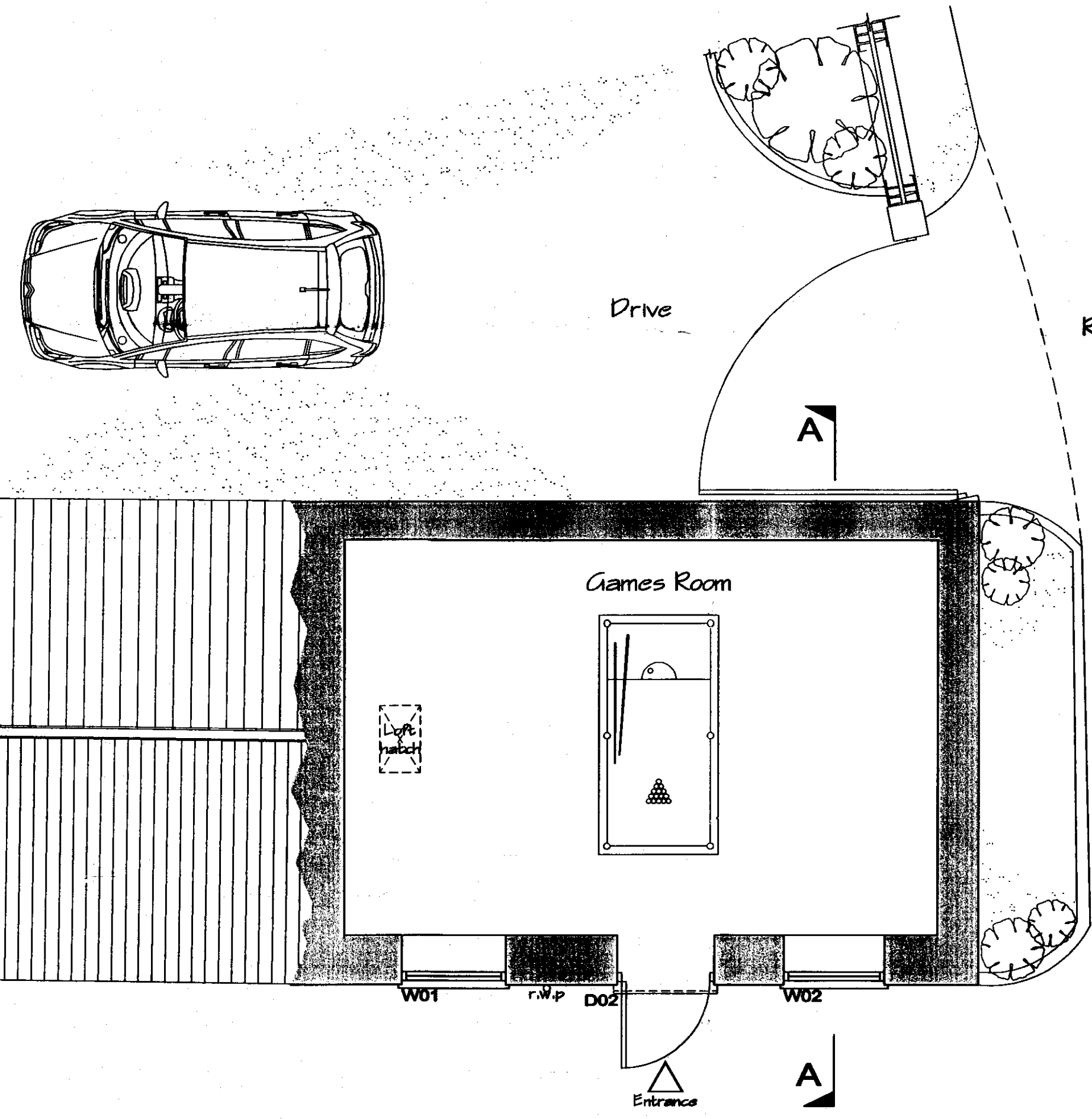
Existing Side Elevation

1:100



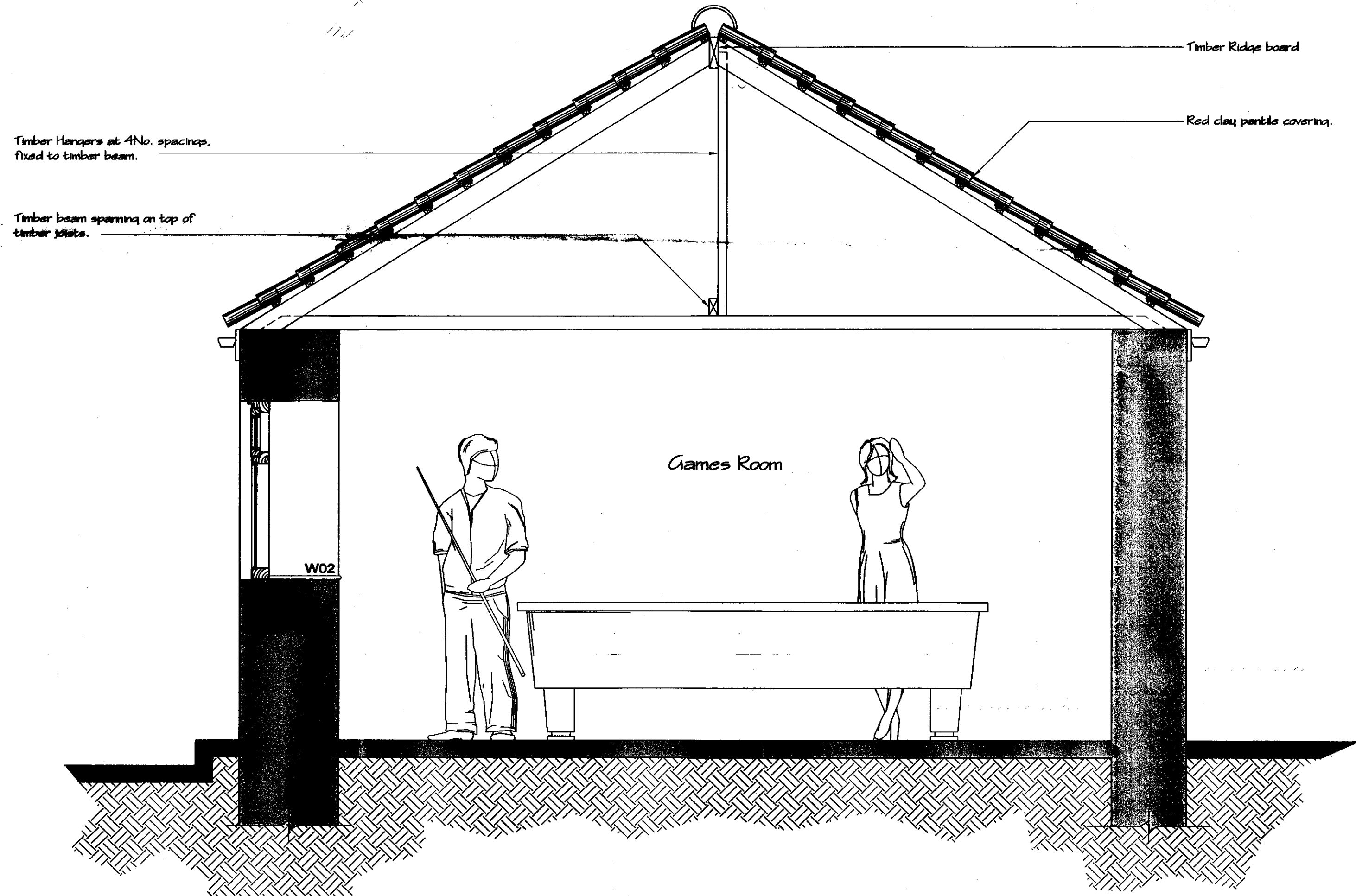
Existing Rear Elevation

1:100



Existing Ground Floor Plan

1:50



Existing Section A.A

1:20

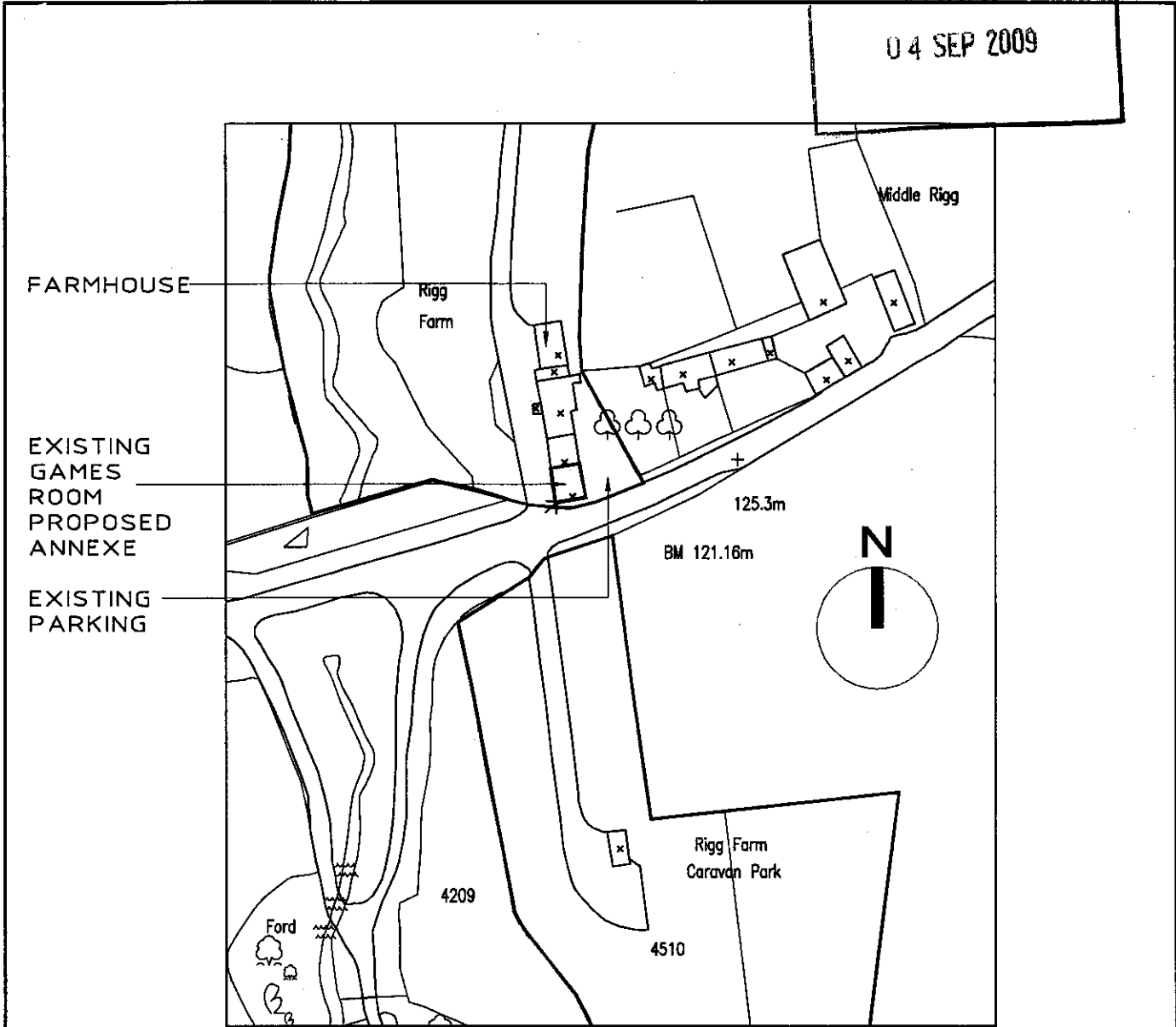
Drawings for Planning consideration only. Construction Details to be added.

REV	DATE	BY	AMENDMENT	CHKD	APPD
A	29/05/2009	MDT	Issued for approval	TRH	

b h d partnership
 Airy Hill Manor, Whitby, North Yorkshire, UK, YO21 1QB.
 Tel: 01947-504871 Fax: 01947-600010
 general@bhdpartnership.com www.bhdpartnership.com

DISCIPLINE: ARCHITECTURAL		
CLIENT: Mr D.Stewart		
PROJECT: Alterations to, Rigg farm Caravan park, Sneatonthorpe		
TITLE: Existing Plans Elevations & Section		
DRAWN: M.D.Todd	CHECKED: T.R.Harrison	APPROVED:
SCALE & SIZE: 1:50, 1:100 @ A1	DATE: 29/05/2009	DRAWING STATUS: Preliminary
DRAWING No: D9655-02		REV: A

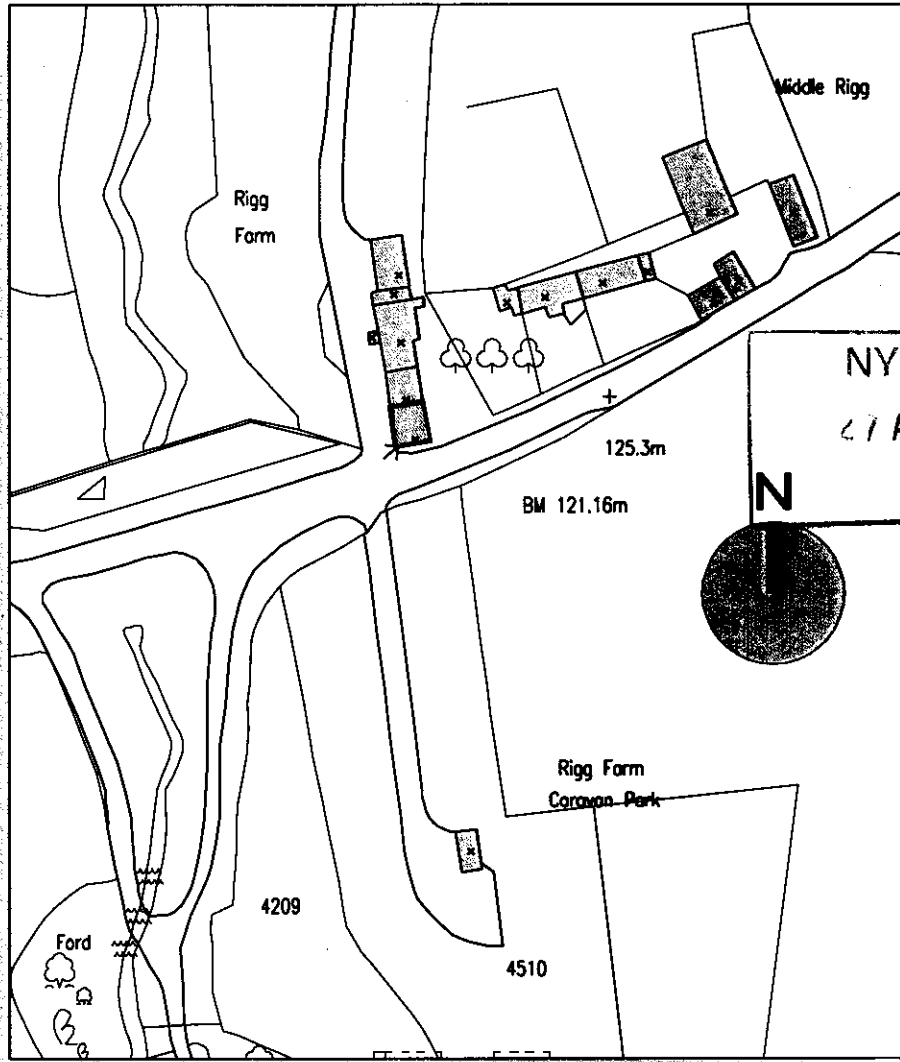
NYMNP
04 SEP 2009



Site Location Plan

1:1250

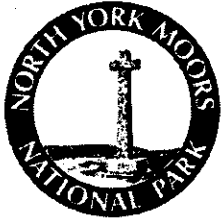
b h d partnership Airy Hill Manor, Whitby, North Yorkshire, UK. YO21 1QB. Tel: 01947-604871 Fax: 01947-600610 general@bhdpartnership.com www.bhdpartnership.com			CLIENT: Mr D. Stewart			DRAWING TITLE: Site Location Plan		
			PROJECT: Alterations to, Rigg farm Caravan Park, Sneaton thorpe			A4	DRN: M.D.Todd	DATE: 26/05/2009
A	MDT	Issued for approval			DRAWING NR: D9655-01			REV: A
REV	DATE	BY	AMENDMENT	CHKD	APVD			



Site Location Plan

1:1250

b h d partnership <small>Aiky Hill Manor, Whidby, North Yorkshire, UK. YO21 1QB. Tel: 01947-604871 Fax: 01947-600010 general@bhdpartnership.com www.bhdpartnership.com</small>		CLIENT: Mr D. Stewart		DRAWING TITLE: Site Location Plan	
		PROJECT: Alterations to, Rigg farm Caravan Park, Sneaton thorpe		A4 DRN: M.D.Todd DATE: 26/05/2009 SCALE: 1:1250 @ A4 ISSUE: Preliminary	
A		MDT	Issued for approval		
REV	DATE	BY	AMENDMENT	CHKD	APVD
				DRAWING NR: D9655-01	
				REV: A	



NYM / 2009 / 0587 / FL

North York Moors National Park Authority
The Old Vicarage
Bondgate
Helmsley
York
YO62 5BP

NZ 91448,06172

091587
PT1

Telephone: 01439 770657
Email: dc@northyorkmoors-npa.gov.uk
Website: www.moors.uk.net

Application for Planning Permission. Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Applicant Name, Address and Contact Details

Title: First name: Surname:

Company name:

Street address:

Town/City:

County:

Country:

Postcode:

Telephone number:

Mobile number:

Fax number:

Email address:

Are you an agent acting on behalf of the applicant? Yes No

NYMNP
27 AUG 2009

2. Agent Name, Address and Contact Details

Title: First Name: Surname:

Company name:

Street address:

Town/City:

County:

Country:

Postcode:

Telephone number:

Mobile number:

Fax number:

Email address:

3. Description of the Proposal

Please describe the proposed development including any change of use:

Has the building, work or change of use already started? Yes No

4. Site Address Details

Full postal address of the site (including full postcode where available)

Description:

House: Suffix:

House name:

Street address:

Town/City:

County:

Postcode:

(Empty description box)

Description of location or a grid reference (must be completed if postcode is not known):

Easting:

Northing:

5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? Yes No

If Yes, please complete the following information about the advice you were given (this will help the authority to deal with this application more efficiently):

Officer name:

Title: First name: Surname:

Reference:

Date (DD/MM/YYYY): (Must be pre-application submission)

Details of the pre-application advice received:

Verbally agreed that the principle of conversion and alteration as proposed, was acceptable.

NYMNPA
 27 AUG 2009

6. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway? Yes No

Is a new or altered pedestrian access proposed to or from the public highway? Yes No

Are there any new public roads to be provided within the site? Yes No

Are there any new public rights of way to be provided within or adjacent to the site? Yes No

Do the proposals require any diversions/extinguishments and/or creation of rights of way? Yes No

7. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste? Yes No

Have arrangements been made for the separate storage and collection of recyclable waste? Yes No

8. Neighbour and Community Consultation

Have you consulted your neighbours or the local community about the proposal? Yes No

9. Authority Employee/Member

With respect to the Authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you? Yes No

10. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

Walls - description:

Description of *existing* materials and finishes:

Description of *proposed* materials and finishes:

10. Materials (continued)

Roof - description:

Description of *existing* materials and finishes:

Natural red clay pantiles

Description of *proposed* materials and finishes:

Natural red clay pantiles

Windows - description:

Description of *existing* materials and finishes:

Timber

Description of *proposed* materials and finishes:

Timber painted white

Doors - description:

Description of *existing* materials and finishes:

Timber

Description of *proposed* materials and finishes:

Timber painted white

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement? Yes No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

D9655-01A
D9655-02A
D9655-04BD&A9655

11. Vehicle Parking

Please provide information on the existing and proposed number of on-site parking spaces:

Type of vehicle	Existing number of spaces	Total proposed (including spaces retained)	Difference in spaces

12. Foul Sewage

Please state how foul sewage is to be disposed of:

- Mains sewer Package treatment plant
 Septic tank Cess pit
 Other

NYMNPA
Unknown 27 AUG 2009

Are you proposing to connect to the existing drainage system? Yes No Unknown

If Yes, please include the details of the existing system on the application drawings and state references for the plan(s)/drawing(s):

13. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.) Yes No

If Yes, you will need to submit an appropriate flood risk assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)? Yes No

Will the proposal increase the flood risk elsewhere? Yes No

How will surface water be disposed of?

- Sustainable drainage system Main sewer Pond/lake
 Soakaway Existing watercourse

14. Biodiversity and Geological Conservation

To assist in answering the following questions refer to the guidance notes for further information on when there is a reasonable likelihood that any important biodiversity or geological conservation features may be present or nearby and whether they are likely to be affected by your proposals.

Having referred to the guidance notes, is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, OR on land adjacent to or near the application site:

- a) Protected and priority species
 Yes, on the development site Yes, on land adjacent to or near the proposed development No
- b) Designated sites, important habitats or other biodiversity features
 Yes, on the development site Yes, on land adjacent to or near the proposed development No
- c) Features of geological conservation importance
 Yes, on the development site Yes, on land adjacent to or near the proposed development No

15. Existing Use

Please describe the current use of the site:

Games room for caravan park

- Is the site currently vacant? Yes No
- Does the proposal involve any of the following:
- Land which is known to be contaminated? Yes No
- Land where contamination is suspected for all or part of the site? Yes No
- A proposed use that would be particularly vulnerable to the presence of contamination? Yes No

Application advice

If you have said Yes to any of the above, you will need to submit an appropriate contamination assessment.

16. Trees and Hedges

- Are there trees or hedges on the proposed development site? Yes No
- And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character? Yes No

If Yes to either or both of the above, you will need to provide a full Tree Survey with accompanying plan before your application can be determined. Your Local Planning Authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to construction - Recommendations'

17. Trade Effluent

- Does the proposal involve the need to dispose of trade effluents or waste? Yes No

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18. Residential Units

- Does your proposal include the gain or loss of residential units? Yes No

Market Housing - Proposed

	Number of bedrooms				
	1	2	3	4+	Unknown
Houses	1				
Flats/Maisonettes					
Live-Work units					
Cluster flats					
Sheltered housing					
Bedsit/Studios					
Unknown					

Proposed Market Housing Total 1

Market Housing - Existing

	Number of bedrooms				
	1	2	3	4+	Unknown
Houses					
Flats/Maisonettes					
Live-Work units					
Cluster flats					
Sheltered housing					
Bedsit/Studios					
Unknown					

Existing Market Housing Total 0

Overall Residential Unit Totals

Total proposed residential units	1
Total existing residential units	0

19. All Types of Development: Non-residential Floorspace

- Does your proposal involve the loss, gain or change of use of non-residential floorspace? Yes No

19. All Types of Development: Non-residential Floorspace (continued)

Use class/type of use	Existing gross internal floorspace (square metres)	Gross internal floorspace to be lost by change of use or demolition (square metres)	Total gross new internal floorspace proposed (including changes of use) (square metres)	Net additional gross internal floorspace following development (square metres)
A1	Net Tradable Area			
A2	Financial and professional services			0.0
A3	Restaurants and cafes			0.0
A4	Drinking establishments			0.0
A5	Hot food takeaways			0.0
B1 (a)	Office (other than A2)			0.0
B1 (b)	Research and development			0.0
B1 (c)	Light industrial			0.0
B2	General industrial			0.0
B8	Storage or distribution			0.0
C1	Hotels and halls of residence			0.0
C2	Residential institutions			0.0
D1	Non-residential institutions			0.0
D2	Assembly and leisure	28.2		0.0
Other				0.0
Other				0.0
	Total	28.2	0.0	0.0

For hotels, residential institutions and hostels, please additionally indicate the loss or gain of rooms:

Use Class	Types of use	Existing rooms to be lost by change of use or demolition	Total rooms proposed (including changes of use)	Net additional rooms
C1	Hotels	0	0	0
C2	Residential institutions	0	0	0
Other		0	0	0
Other				

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20. Employment

If known, please complete the following information regarding employees:

	Full-time	Part-time	Equivalent number of full-time
Existing employees	0	0	0
Proposed employees	0	0	0

21. Hours of Opening

If known, please state the hours of opening for each non-residential use proposed:

Use	Monday to Friday		Saturday		Sunday and Bank Holidays		Not Known
	Start Time	End Time	Start Time	End Time	Start Time	End Time	

22. Site Area

What is the site area? sq.metres

23. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

N/A

Is the proposal for a waste management development? Yes No

24. Hazardous Substances

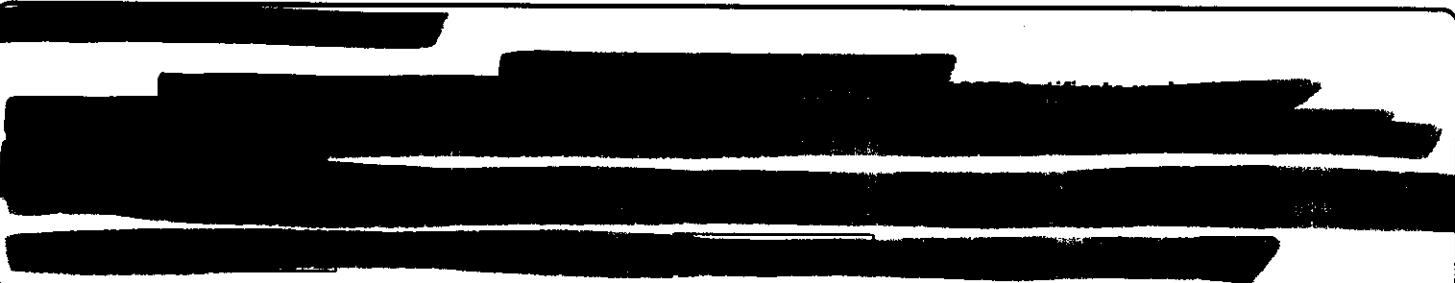
Is any hazardous waste involved in the proposal? Yes No

25. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

The agent The applicant Other person



26. Certificates (Agricultural Holdings Certificate)

Agricultural Holding Certificate

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

Agricultural Land Declaration - You Must Select Either A or B

(A) None of the land to which the application relates is, or is part of an agricultural holding.

(B) I have/The applicant has given the requisite notice to every person other than myself/the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below.

Title: First Name: Surname:

Person role: Declaration date: Declaration Made

27. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Date

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27 AUG 2009

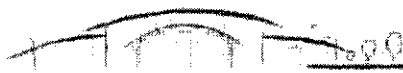
DESIGN AND ACCESS STATEMENT

**Proposed Conversion and Alteration of
Games Room to Annexe Dwelling
At
Rigg Farm Caravan Park
Sneatonthorpe, Whitby, North Yorkshire**

FOR

Mr D Stewart

NYMNPA
27 AUG 2009



imaginative architecture + engineering design

bhd
partnership

Address: Airy Hill Manor,
Whitby,
North Yorkshire,
YO21 1QB

Tel:
Fax:
Email:



1.0 DESIGN

1.1 Context

The Applicant is the owner of the Caravan Park and the building referred to is the former Games Room attached to the existing farmhouse. This is very rarely used by visitors as personal technology has rapidly moved forward over recent years so that they all have T.V.s, music and game systems in the caravans if they wish to use them.

The Applicant's son cannot afford to buy a house in Whitby or the local area and therefore, with various works, this building will provide very suitable accommodation for him.

The building has been used as a Games Room for many years and by removal of the roof and increasing the height to eaves by approximately 800 mm, then the roof space will provide a practical space suitable for use as a bedroom and bathroom, whilst downstairs the large open room will form a small kitchen and lounge area.

The existing windows and doors are to be renewed plus one new door at the rear to form the entrance (accessed from the private yard/drive area). Also, a small new window in the gable at first floor level to provide natural light to the bedroom, and 2 no. rooflights plus 2 no. solar panels on the rear roof.

The Bat Consultant's Report relates to the sighting of two bats from the eaves of the building. Therefore specific spaces are to be built within the eaves areas for them as shown on the Plan and as referred to in the Report from the Naturally Wild Consultants.

The existing building is considered to be structurally sound and capable of conversion. There is no evidence of structural weakness, cracking or deflection of the building.

Pre-Application discussions were held with Hilary Saunders, Senior Area Planning Officer including a site meeting and inspection of the building, where it was verbally agreed that the principle of conversion and alteration as proposed, was acceptable.

For these reasons therefore, we consider that the application conforms with the following policies:

Core Policy G - Landscape, Design & Historic Assets
 Core Policy J - Housing
 Planning Policy Statement 7 - Sustainable Development in Rural Areas
 Development Policy 3 - Design
 Development Policy 8 - Conversion of Traditional Unlisted, Rural Building

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27 AUG 2009

1.2 Amount of Development, Layout and Scale

The proposed dwelling will provide 28.2 m² at ground floor level plus 17.8 m² at first floor level i.e. total floor area of 46 m².

For these reasons consideration of approval for this application is requested.

A method of providing heating.

A small efficient log burning stove will heat the property which is a sustainable

The solar panels are proposed on the rear elevation to provide a means of heating the

water and reducing the energy consumption.

Insulation will be by use of recycled materials.

By use of locally reclaimed natural stone and natural clay Pantiles, the use of

sustainable materials will be addressed. Timber doors and windows also assist.

SUSTAINABILITY

3.0

level and a maximum of 1200 mm high.

The internal and external doors will be a minimum of 850 mm high to provide access

for all and electrical light sockets and switches will be located within the heights

stipulated in Part P of the Building Regulations i.e. minimum of 450 mm above floor

high and 300 mm wide.

Level access into the property will be provided via the new entrance door at the rear.

However, due to the difference in floor levels, some internal steps will be necessary,

although these will be kept to a minimum and will be ambulant at maximum 75 mm

ACCESSIBILITY

2.1

ACCESS

2.0

farmhouse.

New windows and doors will be of timber and painted white to match the adjoining

walling will be of reclaimed natural stone to match the existing.

The roof of the proposed will be clad with natural red clay pantiles and the new

Appearance

1.3

The simple internal layout reflects that of the existing farmhouse and the existing rear

yard driveway will provide a shared space for provision of parking and amenity space.

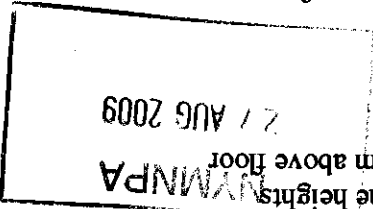
Therefore the scale and layout reflects that of the existing buildings.

reflection of the building's arrangement.

both eaves level and ridge level in order to maintain a difference in height and a

approximately. It will also step down by 250 mm from the adjoining farmhouse at

The building retains its external width of 5.5 m approximately and length of 7.6 m





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27 AUG 2009

**BAT SURVEY
RIGG FARM CARAVAN PARK
STAINSACRE, WHITBY
NORTH YORKSHIRE
YO22 4LP**

**FOR
MR DAVID STUART**

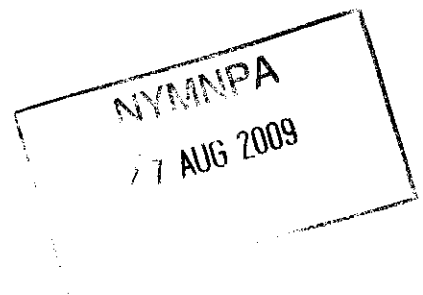
Version	Prepared by	Date	Checked by	Date	Approved by	Date
V1	G. Skinner	20-08-09	JYS	20-08-09	JS	20-08-09
V2	G. Skinner	20-08-09	JS	20-08-09	FL	20-08-09
FINAL	G.Skinner	24-08-09	JS	24-08-09	FL	24-08-09



**FULL BAT SURVEY REPORT
RIGG FARM**

GRID REFERENCE NZ 914 061

**FOR
MR DAVID STUART**



**Naturally Wild Consultants Limited
Unit 8 The Old Dairy
Fonthill Bishop
Wiltshire
SP3 5SH**

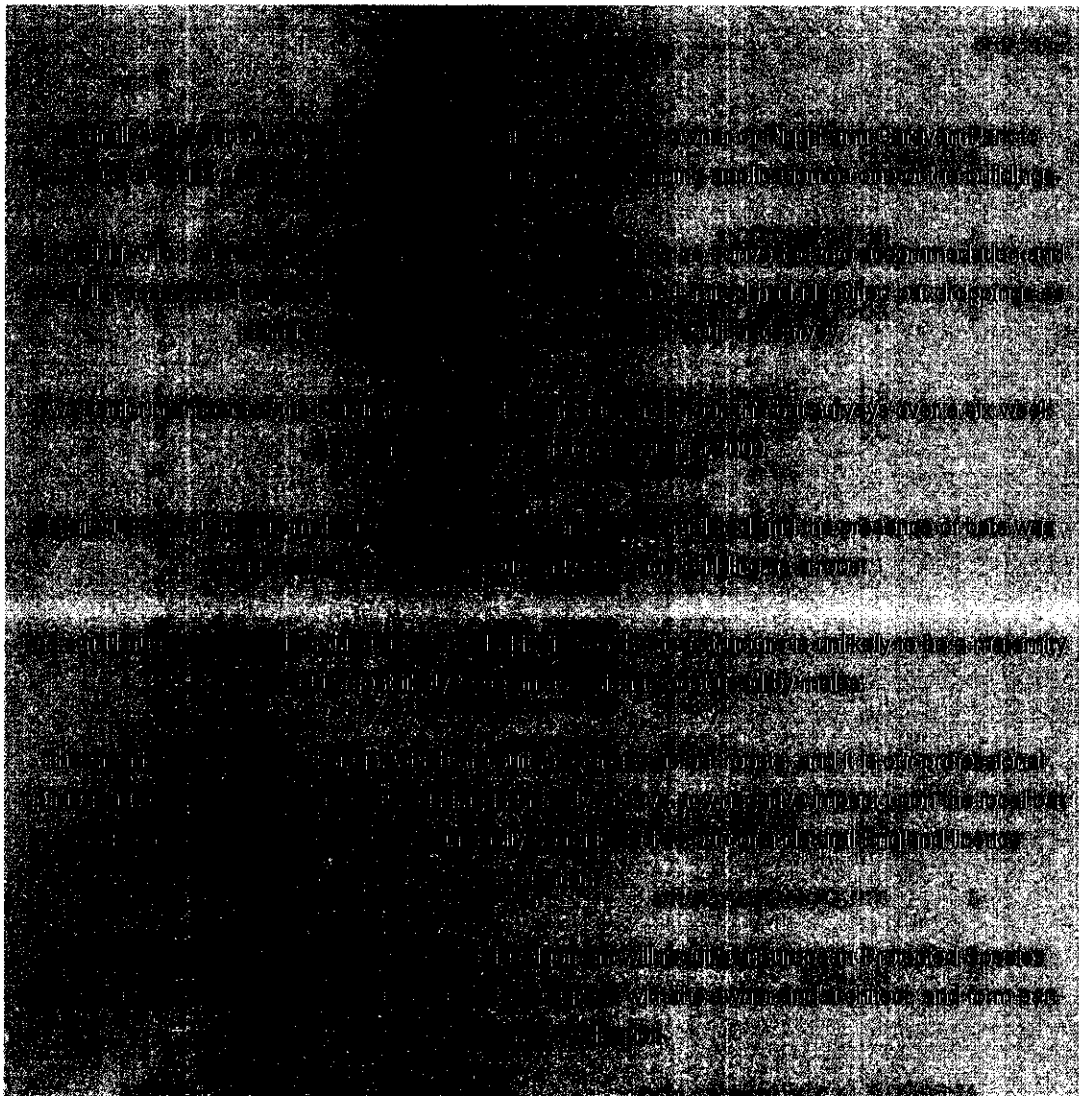
Email: ecology@naturallywild.co.uk



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27 AUG 2009

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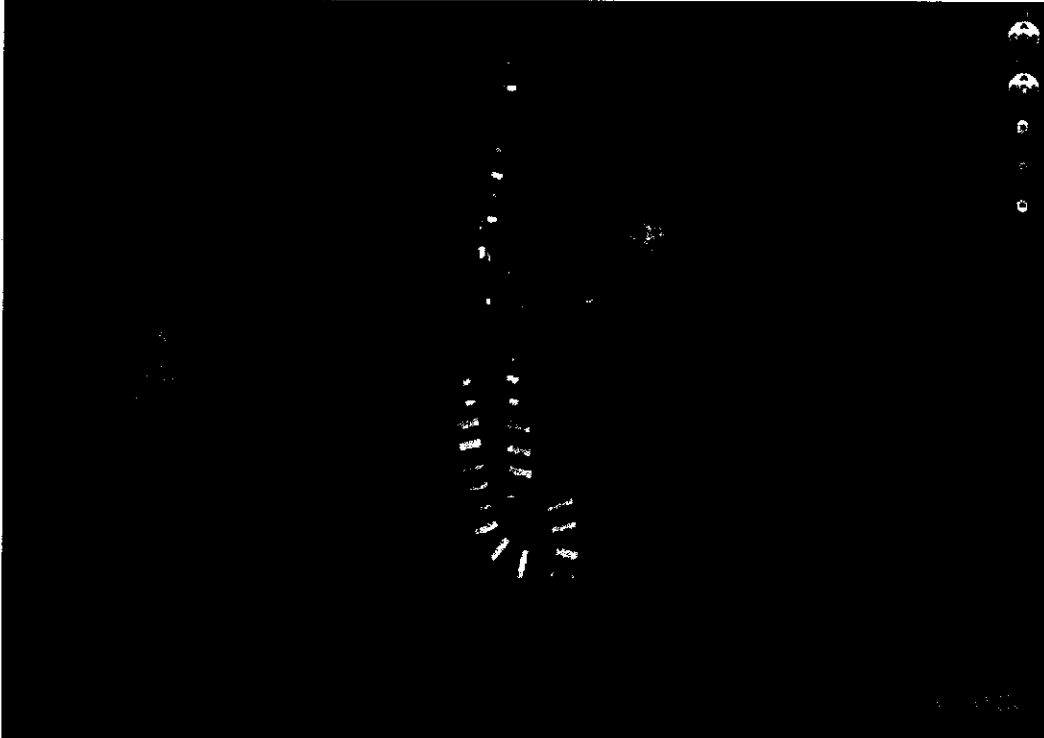
NYM/PA
27 AUG 2009

NYM/NPA

27 AUG 2009

FULL BAT SURVEY, RIGG FARM CARAVAN PARK, STAINSACRE, WHITBY**1 INTRODUCTION**

Naturally Wild Consultants Limited was commissioned by Mr David Stuart to undertake a series of bat surveys at buildings forming part of Rigg Farm Caravan Park near Whitby. The surveys are required ahead of a planning application to change one part of the building from a games room into an accommodation block. The results will also be used to submit a European Protected Species Licence (EPSL) in relation to the building.



Map 1 - Site location

2 ECOLOGICAL FEATURES**2.1 Relevant legislation**

British wildlife is protected by a range of legislation, the most important being the Wildlife and Countryside Act 1981, the Conservation (Natural Habitats &c) Regulations 1994 and the Countryside Rights of Way Act 2000.

The Wildlife and Countryside Act as amended mainly by the Countryside Rights of Way Act protects species listed in Schedules 5 and 8 of the Act (animals and plants respectively) from being killed, injured, and used for trade. For some species, such as Great Crested Newts and **all bat species**, the provisions of this act go further to protect animals from being disturbed or taken from the wild and protects aspects of their habitats. The act also stipulates that offences occur regardless of whether they were committed intentionally or recklessly. The parts of this legislation that applies to most reptile species is in regard to killing, injury and trade only and



does not protect their habitat, nor are they protected from disturbance or from being taken from their habitat.

The Conservation (Natural Habitats &c) Regulations is the English enactment of European legislation and provides similar but subtly different protection for species listed on Schedules 2 and 4 of those regulations. A recent change in this legislation means that the provisions of this act now complement those of the Wildlife and Countryside Act more. Species to which these provisions apply are the European Protected Species. Activities that might cause offences to be committed can be made legitimised by obtaining a licence from the relevant statutory body.

Birds receive protection under the Wildlife and Countryside Act also. It is an offence to intentionally or recklessly kill, injure or take any wild bird; take, damage or destroy a nest of a wild bird whilst it is in use or being built; or to take, damage or destroy an egg of a wild bird. The bird nesting season is defined as being from 1st February until 31st August with exceptions and alterations for some species.

2.2 Ecological survey

2.2.1 Methodology

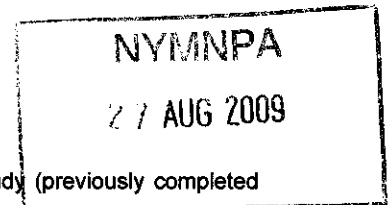
The ecological surveys comprised two parts; a desktop study (previously completed during scoping assessment) and site visits. The desk top search collates all available public information regarding the biodiversity of the area, the habitat structure of the surrounding area and statutory and non-statutory designations.

The site visits were conducted by Graeme Skinner, a licensed bat worker and experienced ecologist and was assisted by Julie Skinner who is trained in bat survey techniques.

During the surveys the ecologists examined the inside of the structure and all external areas where it was practical to undertake detailed examination. Cracks, crevices and holes were thoroughly examined using high-powered torches and where practical an endoscope was used to inspect inside voids.

Areas with potential for bat droppings and staining from urine were also closely examined. Further detailed examination of all areas was made for signs of feeding i.e. butterfly wings etc.

As part of the wider examination the local terrestrial habitats were also examined and an assessment made as to the potential value for feeding bats. Local buildings were also assessed, as were local trees all again to gain an overall picture of the locality and its overall potential value for bat species. These activities were not limited solely to the site and the surroundings were also investigated.





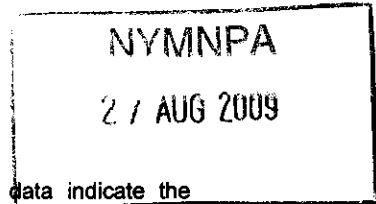
Three surveys were completed at a time of year generally accepted as being ideal for the purpose of bat surveying and were undertaken on days where the weather offered optimal opportunities for bats to forage and be active.

The ecologists were on site in previously identified positions before sunset to ensure that any early bats would be observed emerging from the roost.

The monitoring continued for up to two hours after dusk ensuring that any bats using the roost were recorded.

This period also allowed the ecologists to record other bat activity within the area immediately surrounding the target building.

2.2.2 Results



2.2.2.1 Desktop study

The publicly available records and our own historical data indicate the following species as being recorded in the vicinity of the site:

- Brandt's bats, *Myotis brandtii*
- Long-eared bats, *Plecotus sp*
- Common pipistrelle bats, *Pipistrellus pipistrellus*

2.2.2.2 Site visits

The initial survey of the structure had positively identified bat droppings along one side of the building and these were cleaned away at that time ensuring that when the site was visited for the main surveys a new activity could be identified.

Three site visits were made to establish species and potential numbers, which were using the building to roost and to determine what impact the change of use and construction would have upon the bats.

The results table overleaf clearly shows the level of activity associated with the structure and the level of activity adjacent to the building.



Date	Weather	Temp	Species	Notes
21 July	Dry/Light Drizzle Rain/cloudy	18c 90% humidity	Common Pipistrelle + 1 Unidentified Bat	10.05 first activity 10.10 pip flying in lane N-S. 10.12 pip emerged from corner of building. 10.20 second pip emerged. 10.25-11.15 regular flights over house and round both front and back of property. Regular feeding buzz recorded 10.50 unidentified bat recorded in lane, poor recording? Maximum of three bats recorded at any one time. These were also observed early on during survey. Extremely high number of insects noted throughout survey, good feeding night!
4 August	Dry with occasional drops of rain Heavy Cloud	16c 88% humidity	Common Pipistrelle	9.50 Pip recorded in lane 9.53 Pip emerged from behind drainpipe to left of door, flew straight at GS, good view! Second pip seemed to emerge from gap in roof tile and immediately started to feed. 10.00 three pips noted in lane and flying round building. 10.03-11.15 feeding in lane mainly circling round house. Additional bat activity picked up for property to north of farm. Large numbers of insects noted.
18 August	Dry, humid No wind Light cloud cover	18c 82% humidity	Common Pippistrelle	9.28 first bat noted flying from north of site over roof. 9.40 pip emerged from crack near corner of building. 9.40-10.00 very little activity though occasional pip activity noted in lane. 10.00-11.00 Increased activities in lane and feeding to front of farm in reception area. High Level of insect activity but less bat activity noted than on previous occasions. Only pips detected.

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2.2.2.4 Conclusions

The level of activity and small number of recent droppings since the earlier surveys indicate that only a very small number of bats are using this roost (possibly two or three) and this may be attributed to occasional use or use by males. No new bat dropping were noted in the loft space and only a few new ones were noted on the external part of the building near the emergence points

The evidence does not indicate that this is a maternity roost and is unlikely to be used as a hibernatory roost.

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2.2.2.5 Building description

The building is constructed from sandstone blocks, which appear to be of a twin block, design with a rubble infill, a design that is typical of the area.

The roof consists of red clay tiles, which are affixed on top of wooden laths, and the roof is unlined and un-insulated. The overall condition is good with few gaps and cracks. The fascia boards have numerous gaps and some cracks to stonework were also noted.

Externally two areas showed signs of bats in the form of droppings; both areas were noted during the initial scoping assessment and had been "cleaned" by Graeme Skinner at that time. As a result recent activity in the form of new droppings was noted at both positions. Endoscopic surveys were also undertaken particularly in those areas where bat were noted as having emerged. It should be noted that none were observed using the endoscope. Internally no new droppings were noted in the loft void.

2.2.2.6 Constraints

Full access was available during all surveys and visits. The surveys were undertaken in good weather during an active time for bat species, so no constraints to the survey were encountered.

It should be noted however that the increased level of human activity during the survey period (peak tourist season) may have had an impact upon bat activity.

2.2 Ecological features

The building is a current bat roost and the surrounding area, which is mostly woodland or agricultural land, provide ideal habitat for bats to forage. There are a number of buildings in the vicinity, which have recently been surveyed as part of other possible developments and are likely to provide roosting opportunities.

3 RECOMMENDATIONS

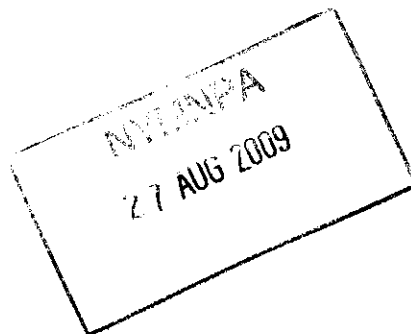
As a confirmed roost, the development will require a European Protected Species Licence to allow work to take place. This will need to identify sufficient mitigation to ensure that the proposed works does not unduly affect the bat population. As the surveys indicate that the use is a small number of non-breeding bats this mitigation can be completed easily.

In this case we recommend that a small section of the current loft area be designed as a bat roost and this can be included in the final architectural drawings, which will be submitted for planning.

These can also be included in the licence application, which will be submitted in due course.

The licence application will also set out the measures which will need to be taken to ensure that the bats are protected at all stages of construction. These measures are likely to include the following:

- Timing of works to ensure potential for disturbance of hibernating bats is minimised
- Use of additional endoscopic checks prior to removal of boarding and brickwork
- Hand strip of roofing materials
- Tool box talk
- Ecological support
- Construction of bat space within design see attached drawing with suggested positions
- Use of external bat boxes as part of mitigation



4 IMAGES



Image 1 – Building from roadside



Image 2 – Bat Emergence point 1

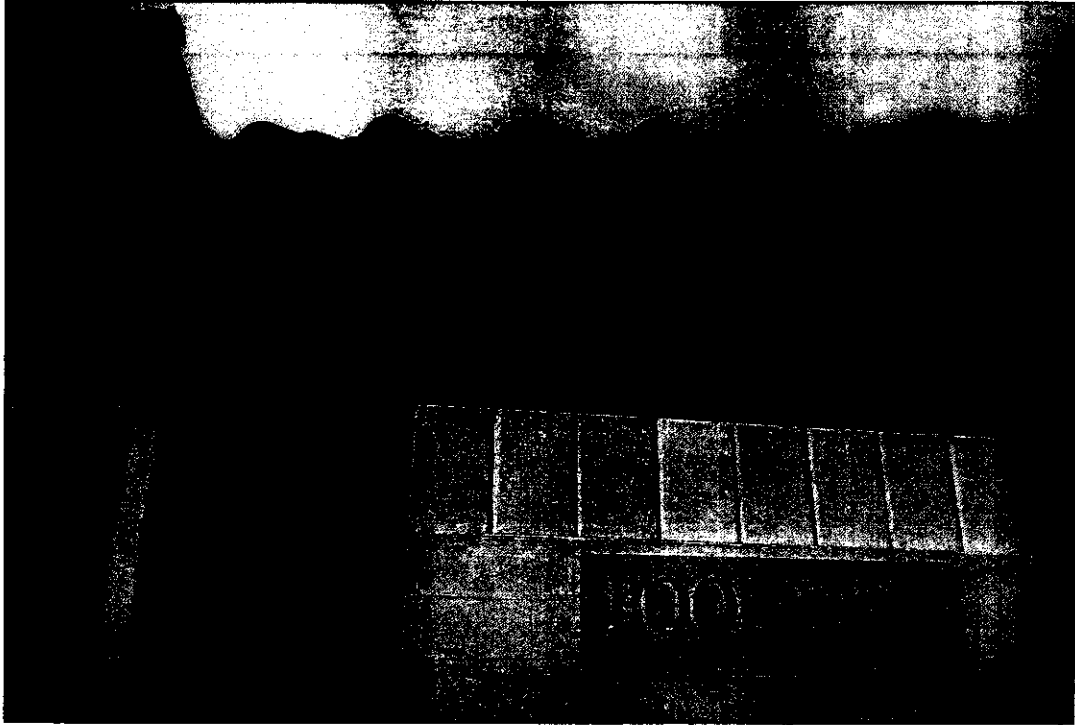


Image 3 – Bat Emergence point 2



Image 4 – Bat emergence point 2



Image 5 -- Road used as regular flight line

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Image 6 -- End of structure and dwelling house and barn to rear (bat activity noted)

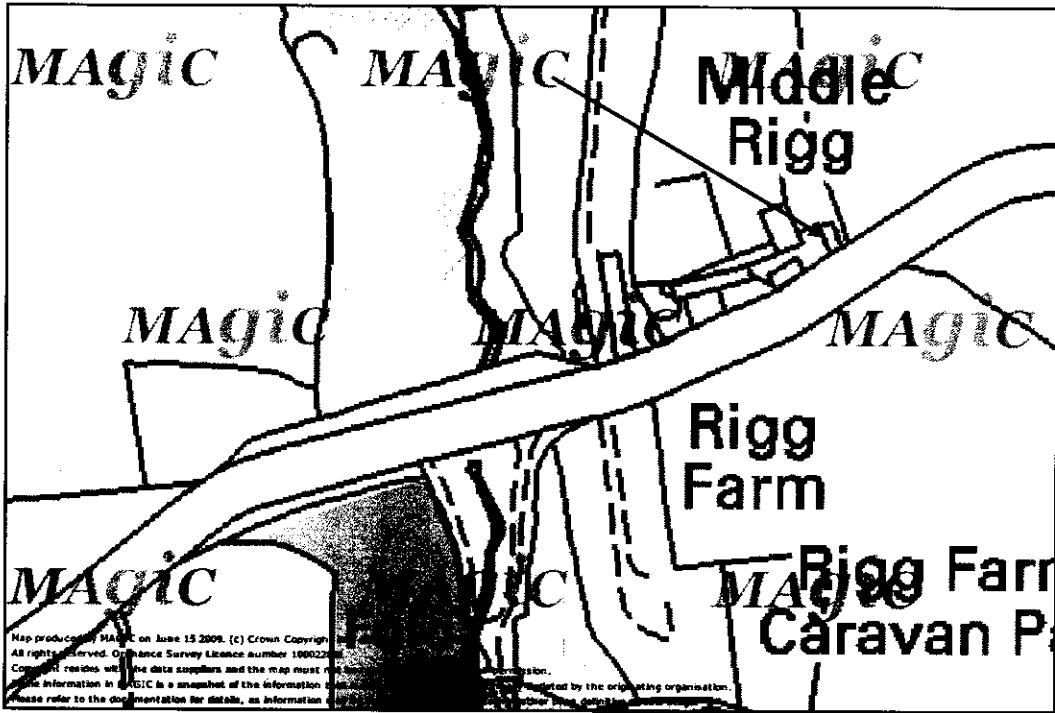


Image 7 showing location of other possible roost; Red arrow is same for both above images

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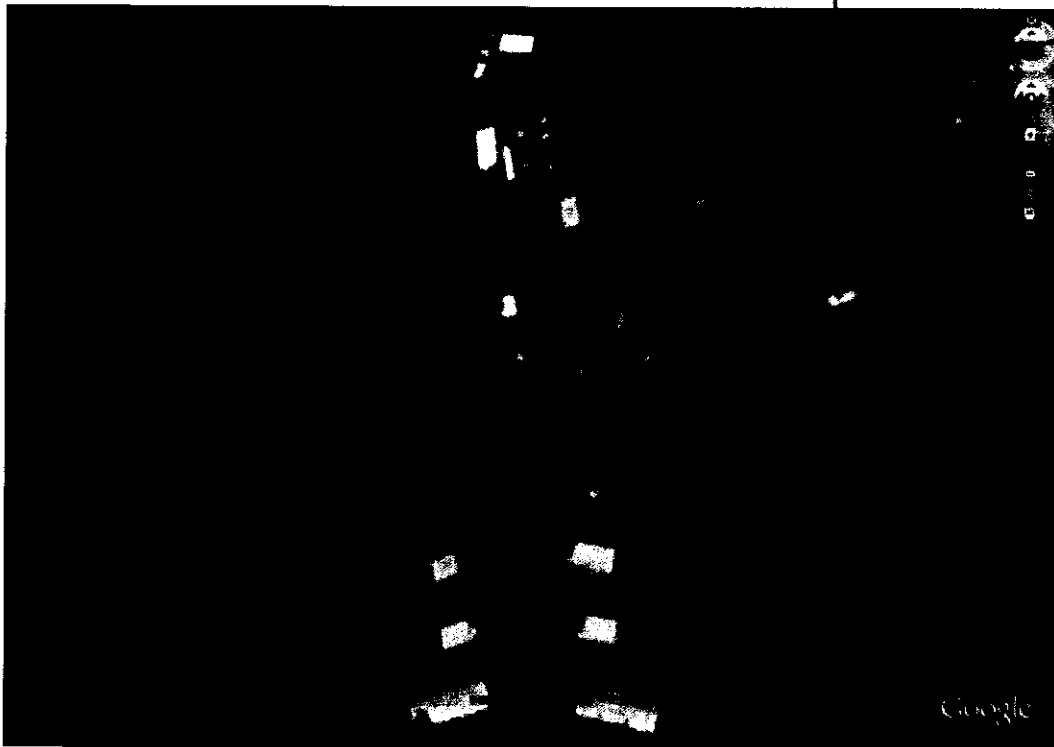


Image 8 positions of surveyors

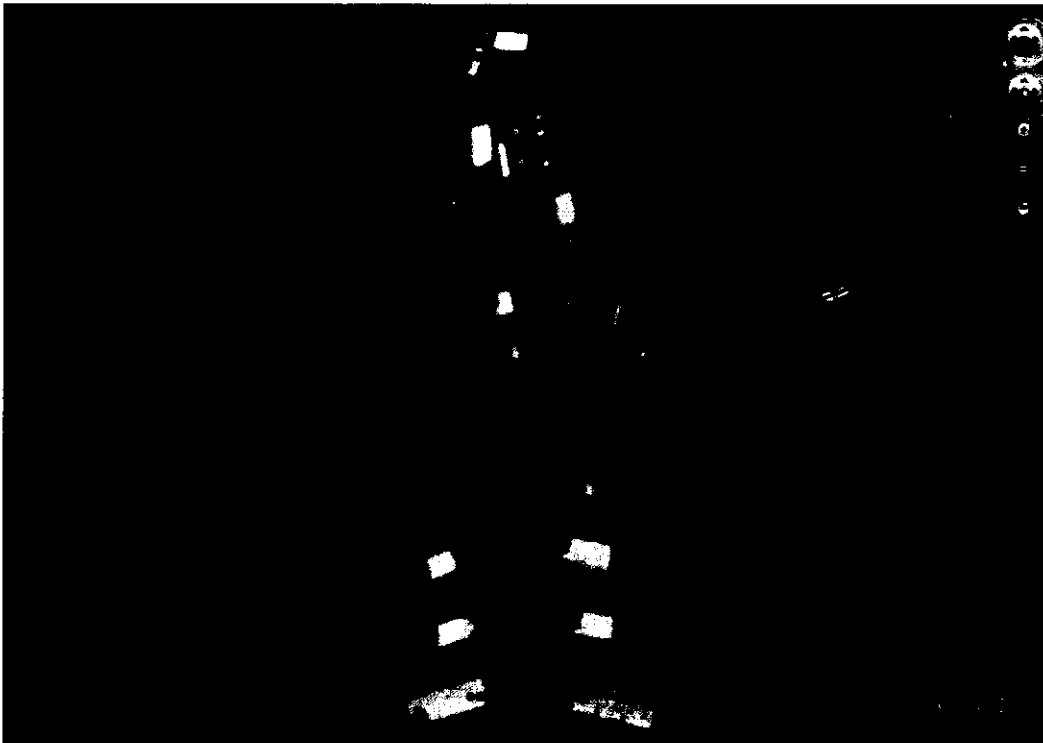
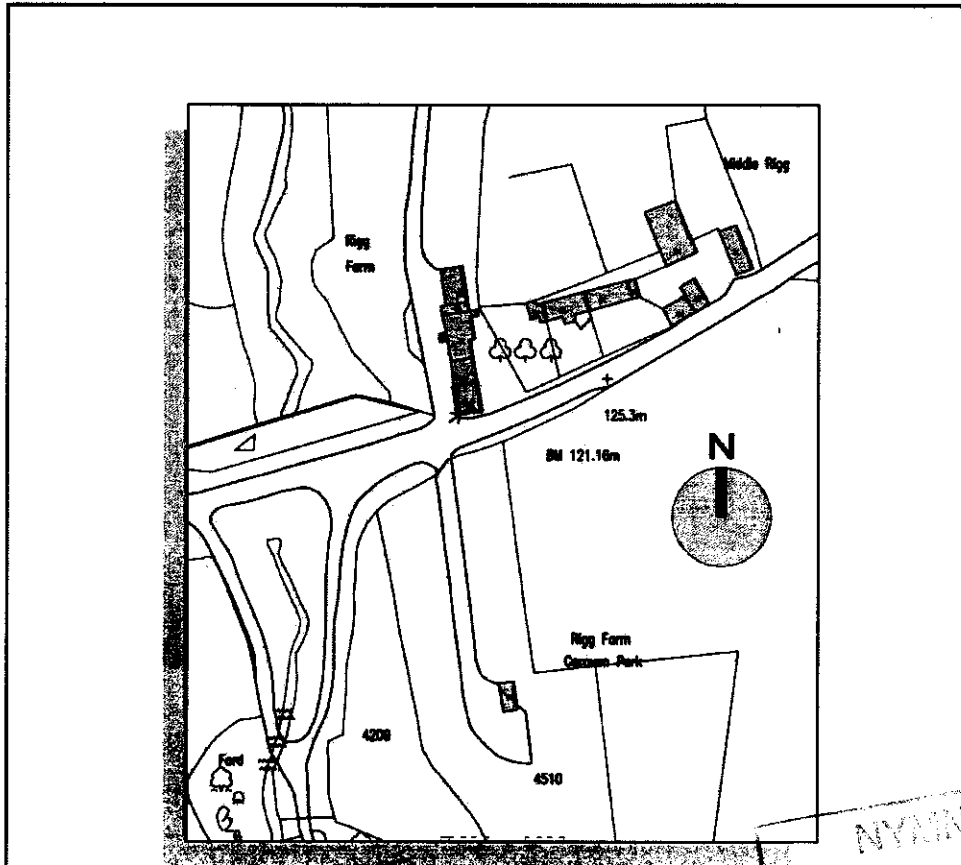


Image 9 Flight lines noted (pink) emergence points (red)

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APPENDIX I – Site location plan



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Site Location Plan

1:1250

b h d partnership <small>Any Hill House, White, North Yorkshire, DL1 7DD UK Tel: 01927-646971 Fax: 01927-646960 www.bhdpartnership.com</small>		CLIENT: Mr D. Stewart		DRAWING TITLE: Site Location Plan	
		PROJECT: Alterations to, Rigg farm Caravan Park, Seaton thorpe		M DRN M.D.Todd DATE: 26/05/2009 SCALE: 1:1250 @ A4 ISSUE: Preliminary	
A		MDV	Issued for approval		
REV	DATE	BY	AMENDMENT	CHG	APPD
				DRAWING NR: D9655-01	
				REV: A	

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Existing Front Elevation
1:100

Existing Side Elevation
1:100

Existing Rear Elevation
1:100

Existing Ground Floor Plan
1:100

Existing Section A.A
1:100

b b d partnership	
ARCHITECTURAL	
In Consult	
Approved in Big Box Change job, Re-orientation	
Project Name Stainsacre & Stains	
DATE	SCALE
18/08/09	1:100
PROJECT	A

NYMNP
21 AUG 2009

Proposed Front Elevation
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Proposed Side Elevation
1:100

Proposed Rear Elevation
1:100

Proposed Section B.B
1:100

Proposed Ground Floor Plan
1:100

Proposed First Floor Plan
1:100

b b d partnership	
ARCHITECTURAL	
In Consult	
Approved in Big Box Change job, Re-orientation	
Project Name Stainsacre & Stains	
DATE	SCALE
18/08/09	1:100
PROJECT	B

